



TO: Goleta Design Review Board

SUBMITTED BY: Brian Hiefield, Senior Planner

SUBJECT: 5611 Hollister Ave. (APN 071-140-083) Changes and Additions to the Service Shop Area at the Toyota dealership 24-0036-DRB / 24-0011-DP

DRB ACTIONS FOR CONSIDERATION:

1. Conduct Final review with/without conditions of approval.

If the Final approval request cannot be granted at this meeting, the DRB can continue the item for additional information, or add a condition that the Director confirm or verify that minor items are added to the plan sheets.

PROJECT DESCRIPTION:

The DRB initially reviewed this proposal on February 11, 2025, and then again on July 22, 2025, and continued the item to allow the applicant time to respond to the concerns raised at the meetings. The DRB granted Preliminary Review approval on August 12, 2025. This is a request for a **Final** Review to demolish the existing unpermitted detached service shop structure within the Streamside Protection Area (SPA) and construct a new detached service shop structure outside the SPA. Also included as part of the proposal is an addition to the service shop that is part of the main building, an attached vehicle delivery canopy, an overhang addition, and façade improvements. The details of the approved project are as follows:

- Demolition of an existing unpermitted detached service shop structure as required by 19-074-DP – 2,385 sq. ft.
- Construction of a new detached service shop structure (relocated outside the SPA as required by 19-074-DP – 3,831 sq. ft.
- Construction of a new service drive and auto-detailing addition in main building – 2,116 sq. ft.
- Construction of a new attached vehicle delivery canopy – 690 sq. ft.
- Reconfiguration of the parking in the rear area – 76 spaces total (plus 85 display/inventory spaces)
- Construction of façade improvements to Building 1 (see Discussion below)

- Installation of new landscaping

The new net building square footage added for the project will be 4,302 sq. ft.

The project is located on a parcel totaling 2.78 acres located in the Old Town (OT) zone district.

The project was filed by agent Travis Muilenburg of John Mohoney Architects on behalf of Michael Pacheco of VT Companies, property owner.

BACKGROUND:

The dealership building was constructed in 1987. The current underlying applicable entitlement for this parcel, Development Plan (DP) 19-074-DP, was approved November 2, 2020. At that time Tentative Parcel Map (TPM) 19-072-TPM was approved to split the original parcel into three parcels, one for each dealership. The Final Map associated with the three-lot parcel split was recorded on June 15, 2021. Each of the three dealerships are now on three separate legal lots and operate under three individual development plans.

The 19-074-DP entitlement included the demolition and relocation of the service shop and other minor site improvements. The existing service shop building was constructed without benefits of city review and permits, and this project will resolve the issue. The current request, Development Plan Amendment (DPAM) 24-0011-DP, seeks to amend 19-074-DP to include the project described above.

As shared above, the DRB granted Preliminary approval on August 12, 2025. Subsequently, the Planning and Environmental Review (PER) Director, who has decision-making authority for the DPAM, approved DPAM 24-0004-DP on November 6, 2025, for the land use of the project. As a condition of the approval, the project must obtain Final DRB review. At the time of Preliminary Design Approval and DPAM approval, no additional design related conditions of approval were added by either the DRB or the PER Director.

DISCUSSION:

Pursuant to Goleta Municipal Code (GMC), Title 17, Section 17.58.060(C), Final Review for DRB, the applicant has provided Final level working drawings for the project, excluding electrical, plumbing, mechanical and structural drawings that do not affect the exterior of the building. The DRB is asked to review all details, colors, materials, exterior lighting fixtures, final site grading and drainage, and final landscaping.

The approved new exterior lighting is limited to the project area depicted on the lighting plans and will not increase light levels at the property lines beyond 0.1 foot-candles as shown on the photometric plan. The existing perimeter lighting outside of the project area is not within the scope of this project and will remain as-is.

Note that any signage depicted on the plans is for reference only. All new signage will be subject to separate design review and permitting at a later date.

An action of the DRB to grant Final approval is not subject to appeal. The Findings and the CEQA determination were made at the time of Preliminary Design approval.

NEXT STEPS AND ASSOCIATED LAND USE ACTION:

If the DRB grants the applicant's request, the next steps include: (1) ministerial issuance of a Zoning Clearance to effectuate the DPAM once the conditions of approval have been met; and (2) Building Plan Check and Permit issuance.

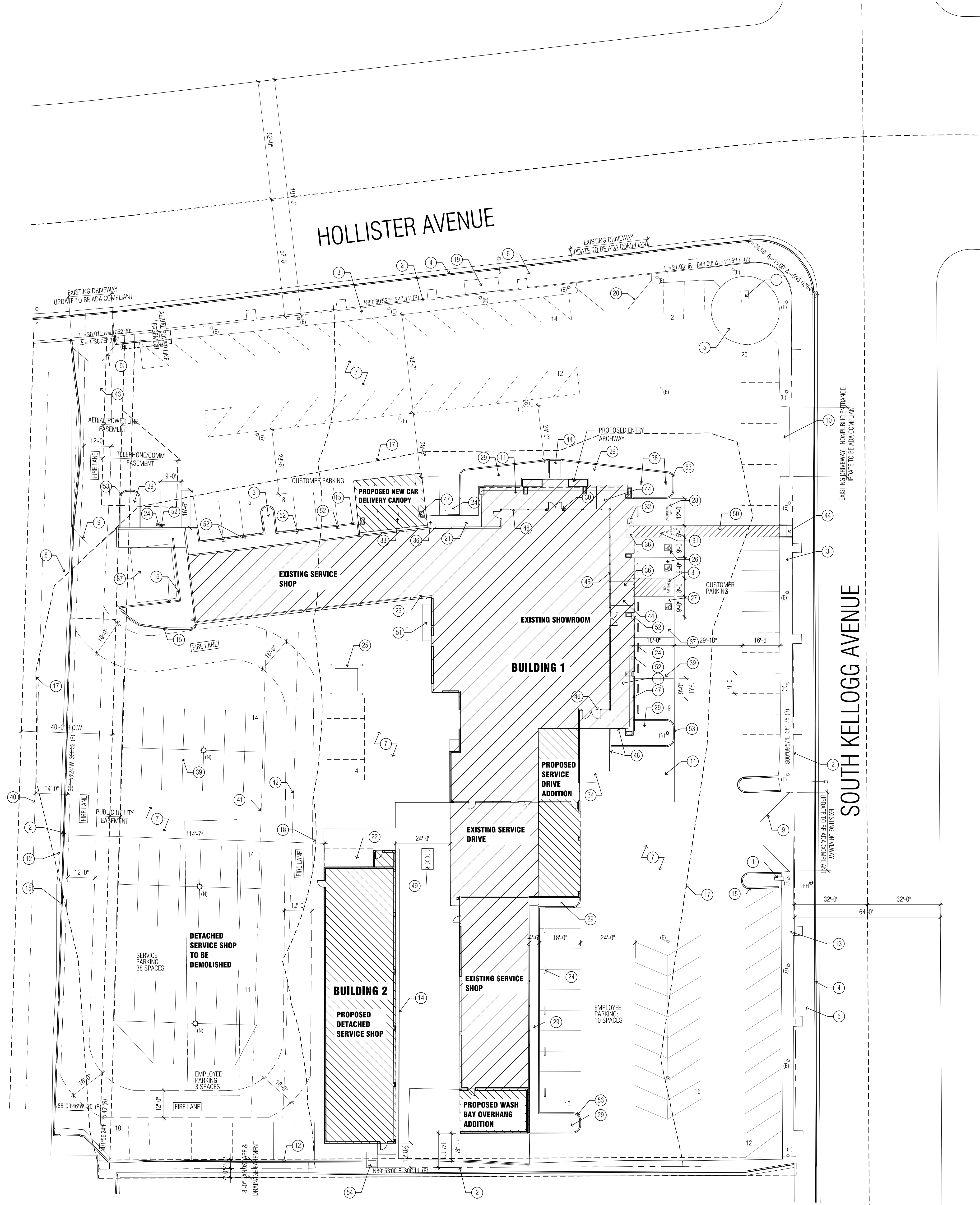
ATTACHMENTS:

A – Project Plans

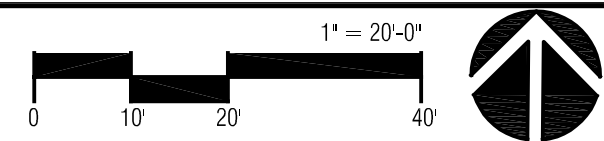
Attachment A

Changes and additions to the service shop area at the Toyota dealership

Project Plans



SITE PLAN



PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF DEMOLISHING AND RELOCATING AN EXISTING, UNPERMITTED DETACHED SERVICE CANOPY STRUCTURE IN ORDER TO MEET THE CITY OF GOLETA'S 100-FOOT STREAM SIDE PROTECTION AREA (SPA) BUFFER REQUIREMENTS. NEW SERVICE SHOP, SERVICE DRIVE, & SHOWROOM ADDITIONS ARE ALSO PROPOSED. A DETACHED NEW CAR DELIVERY CANOPY WILL BE LOCATED ON THE NORTH SIDE OF THE BUILDING. A NEW TOYOTA BRAND WALL IS PROPOSED AT THE ENTRY OF THE BUILDING. THE EXISTING WASH BAY ON THE SOUTHWEST CORNER OF THE BUILDING WILL BE COVERED BY A ROOF. ALL WASH BAY RUN OFF WILL ENTER A DRAIN THAT IS ROUTED THROUGH A NEW SAND/OIL SEPARATOR WHICH IS TIED TO THE DOMESTIC SEWER.

SITE NOTES

- MISCELLANEOUS AND LOW HAZARD MATERIALS / ITEMS CURRENTLY BEING STORED IN VARIOUS OUTDOOR AREAS ARE TO BE RELOCATED TO A SCREENED AND COVERED LOCATION WITHIN NEW PROPOSED SERVICE CANOPY.
- COLLECTION OF REFUSE AND RECYCLABLES FOR THIS DEALERSHIP IS CONTRACTED WITH MARBORG.
- IF DURING CONSTRUCTION ANY BURIED UNDERGROUND STORAGE TANKS, OR ANY STAINED/COIERHOUS OR IMPACTED SOILS ARE DISCOVERED, THE APPLICANT SHALL CONTACT CALIFORNIA'S UNIFIED PROGRAM (CUPA) OVERSEEN BY CALEPA AND COLLECT SOIL SAMPLES FOR LABORATORY ANALYTICAL TESTING. A SOIL MANAGEMENT PLAN WILL BE REQUIRED.

PROJECT INFO

PROJECT NAME: TOYOTA OF SANTA BARBARA
PROJECT ADDRESS: 5611 HOLLISTER AVE
OWNER: VAG, TSBCA RE, LLC
ARCHITECT: JOHN MAHONEY ARCHITECT, INC
650 W. ELLIOT ROAD #108
TEMPE, ARIZONA 85284

BUILDING CONSTRUCTION TYPE: V-B (EXISTING)
ZONING: C-2 RETAIL, COMMERCIAL
GENERAL PLAN: OLD TOWN & GENERAL COMMERCIAL
GENERAL PLAN: YES (EXISTING)

FIRE SPRINKLERS:
MAX ALLOWABLE BUILDING HEIGHT: 35'-0"
PROPOSED BUILDING HEIGHT: 29'-0"
ASSESSORS PARCEL NUMBER: 071-140-083

SETBACKS:
FRONT: 0'-0" (10'-0" PARKING)
REAR: 10'-0"
SIDE: 0'-0"

RELATED CASES:
• 19-074-DP
• 21-0058-ZC
• 87-DPF-057

GROSS SITE AREA: 121,100 S.F.
NET SITE AREA: 113,413 S.F.

EXISTING FLOOR AREA: 15,203 S.F.
DEMOLISHED FLOOR AREA: 2,385 S.F.

PROPOSED BUILDING AREA:
BUILDING 2 SHOP FLOOR AREA: 3,831 S.F.
NEW CAR DELIVERY CANOPY: 690 S.F.
SERVICE DRIVE & DETAIL ADDITIONS: 2,116 S.F.

BUILDING FLOOR AREA (EXISTING + PROPOSED FOOTPRINT):
SALES/GENERAL OFFICE: 10,914 S.F.
SERVICE SHOP: 6,621 S.F.
SERVICE DRIVE: 2,371 S.F.
TOTAL PROPOSED: 19,906 S.F.

TOTAL GROSS FLOOR AREA (FOOTPRINT): 19,906 + 5,537 + 690 = 26,133 S.F.

COVERAGE STATISTICS

PROPOSED BUILDING:	26,113 / 113,413 = 23.0%
LANDSCAPE:	6,348 / 113,413 = 5.6%
POROUS PAVING:	0%
HARDSCAPE:	78,172 / 113,413 = 69%
TOTAL:	100%

PARKING CALCULATIONS:
CUSTOMER/EMPLOYEE: 1 SPACE / 3,000 S.F. OF NET LOT AREA
113,413 S.F. / 3,000 S.F. = 38 SPACES
19 SERVICE BAYS X2 = 38 SPACES
TOTAL REQUIRED: 76 SPACES
TOTAL ADA REQUIRED: 4 SPACES
TOTAL ADA PROPOSED: 4 SPACES (1 EV CHARGING)

PROPOSED:
EMPLOYEE: 13 SPACES
CUSTOMER: 25 SPACES (4 ADA)
SERVICE: 38 SPACES
TOTAL PROVIDED: 76 SPACES
DISPLAY/INVENTORY: 85 SPACES

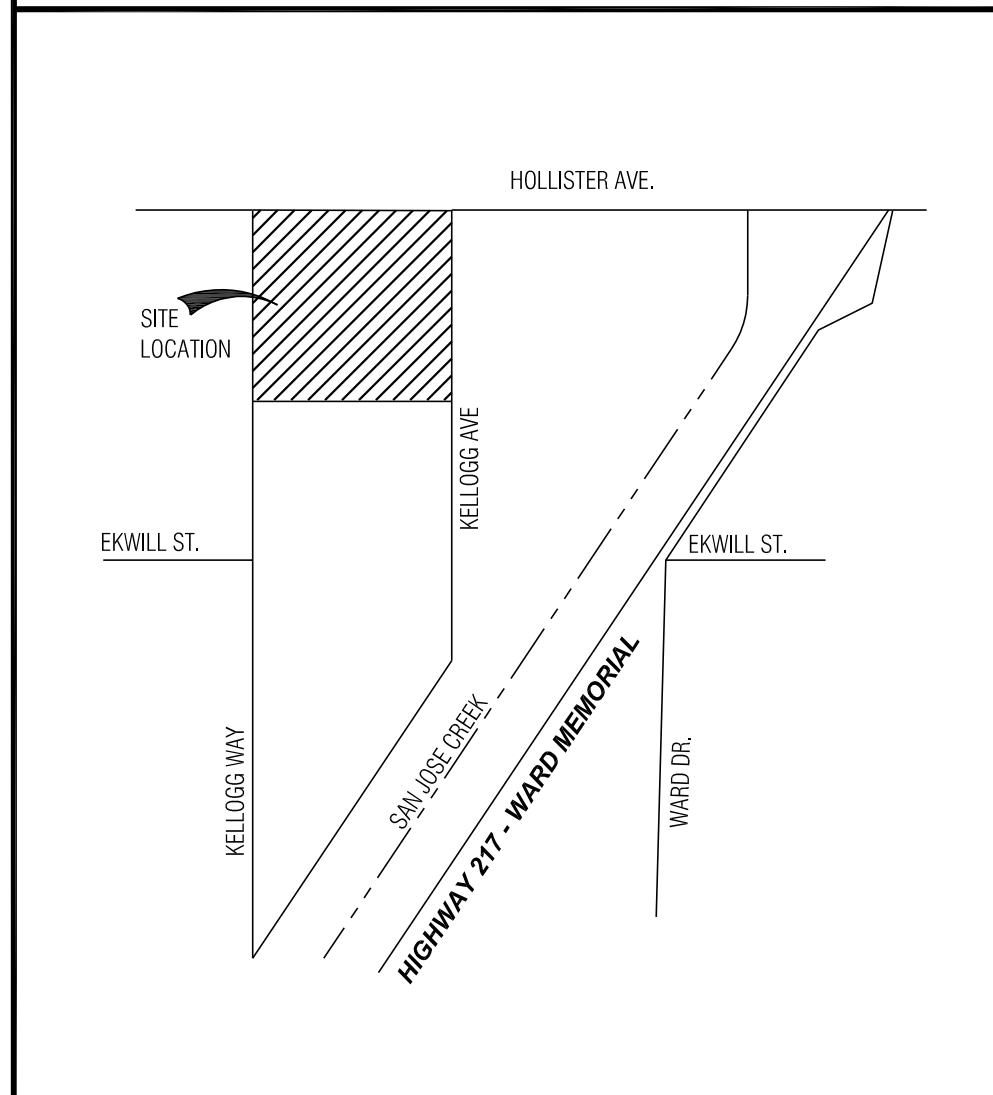
EV CHARGERS REQUIRED/PROVIDED: 4
FUTURE EV CHARGERS REQUIRED/PROVIDED: 17

KEYNOTES

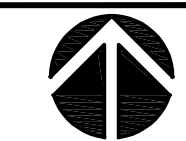
- REFACE EXISTING SIGN - UNDER SEPARATE PERMIT
- PROPERTY LINE
- EXISTING LANDSCAPING
- EXISTING STREET CURB & GUTTER
- EXISTING CONCRETE VEHICLE DISPLAY PAD
- EXISTING SIDEWALK
- EXISTING ASPHALT PAVING
- EXISTING ELEC TRANSFORMER - SEE ELEC
- EXISTING STEEL GATE
- EXISTING NON-PUBLIC ACCESS DRIVEWAY
- NEW CONCRETE HARDSCAPE
- EXISTING CHAIN LINK FENCE
- EXISTING FIRE DEPARTMENT CONNECTION
- TRENCH DRAIN - SEE CIVIL
- EXISTING CURB
- NEW RETAINING WALL - SEE CIVIL & STRUCT.
- EXISTING FLOOD ZONE "X"
- LINE OF STREAMSIDE PROTECTION AREA
- EXISTING CITY BUS STOP
- NEW STEEL GATE TO MATCH EXISTING
- NEW ADA RAMP
- NEW 8'X20' COVERED REFUSE YARD
- EXISTING ELECTRICAL SERVICE ENTRANCE SECTION - SEE ELEC
- NEW CONCRETE WHEELSTOP - PAINT SAFETY YELLOW
- NEW ELECTRICAL TRANSFORMER - SEE ELEC
- STANDARD ADA PARKING STALL
- VAN ACCESSIBLE ADA PARKING STALL
- ACCESSIBLE EV CHARGING STALL
- NEW LANDSCAPE AREA
- KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS
- ACCESSIBLE AISLE
- EXISTING EV CHARGER
- CUT-IN CURB OPENING
- EXISTING VEHICLE RAMP
- EXISTING CONCRETE HARDSCAPE
- AREA OF TRUNCATED DOME DETECTABLE WARNING - SEE CIVIL
- EXISTING RELOCATED FLAG POLE
- NEW PARKING STRIPING PER CITY STANDARDS
- APPROXIMATE EDGE OF RIPARIAN VEGETATION
- APPROXIMATE 100' S.P.A. FROM EDGE OF RIPARIAN VEGETATION
- 100' OFFSET FROM BACK OF REAR (WEST) CURB
- ARROW DENOTES PATH OF TRAVEL FOR TRASH VENDOR/TRUCK
- ADA CURB RAMP
- EXISTING PLANTER
- LINE OF EXTERIOR WALL BELOW
- NEW EV CHARGER - SEE ELEC
- NEW CONCRETE RETAINING WALL
- NEW SAND/OIL SEPARATOR - SEE PLUMB & CIVIL
- ADA CROSSWALK
- NEW ELECTRICAL SERVICE ENTRANCE SECTION - SEE ELEC
- FUTURE EV CHARGER - SEE ELEC
- NEW CONCRETE CURB - SEE CIVIL
- MODULAR WETLAND SYSTEM - SEE CIVIL

SYMBOLS

- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE ON CONCRETE BASE
- NEW LIGHT POLE ON CONCRETE BASE
- TYPICAL ORDINANCE REQUIRED PARKING SPACE
- TYPICAL DISPLAY OR INVENTORY SPACE - DASHED LINES SHALL NOT BE PAINTED



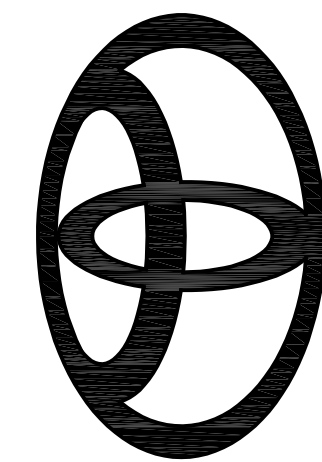
VICINITY MAP



JOHN MAHONEY ARCHITECT
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www.mahoneyarch.com



TOYOTA OF SANTA BARBARA
5611 HOLLISTER AVENUE
GOLETA, CALIFORNIA 93117



PROJECT NO.: 2216
ISSUE DATE: 1/31/25

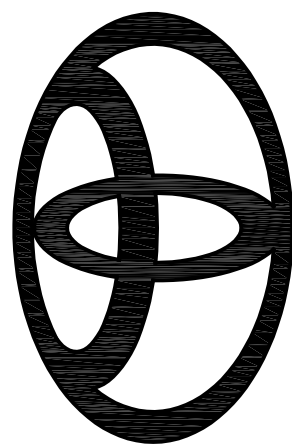
SITE PLAN

A100



TOYOTA OF SANTA BARBARA

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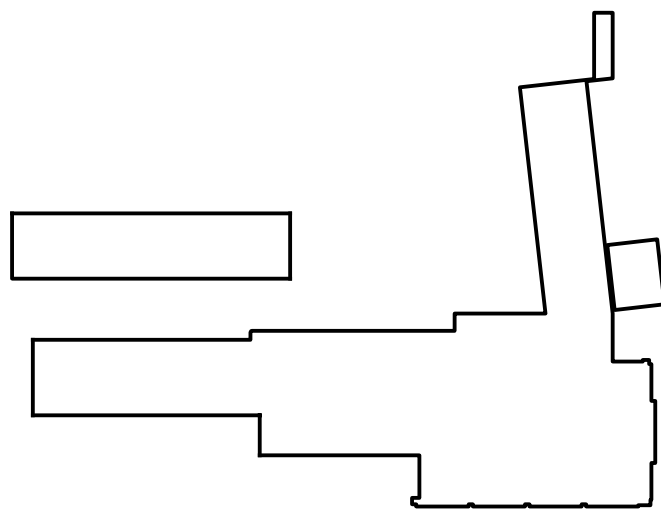


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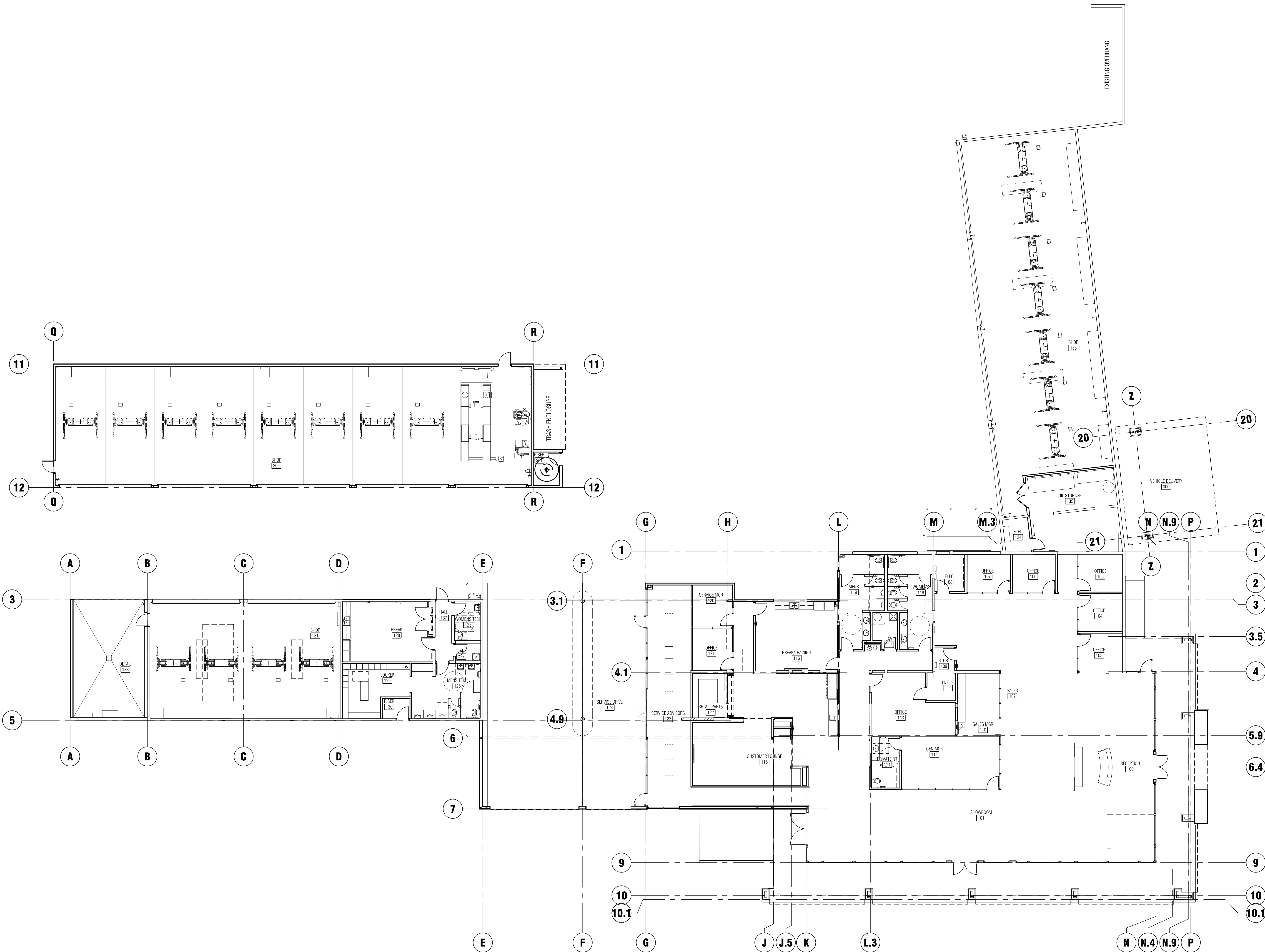
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OVERALL FLOOR
PLANS

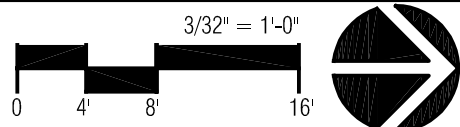
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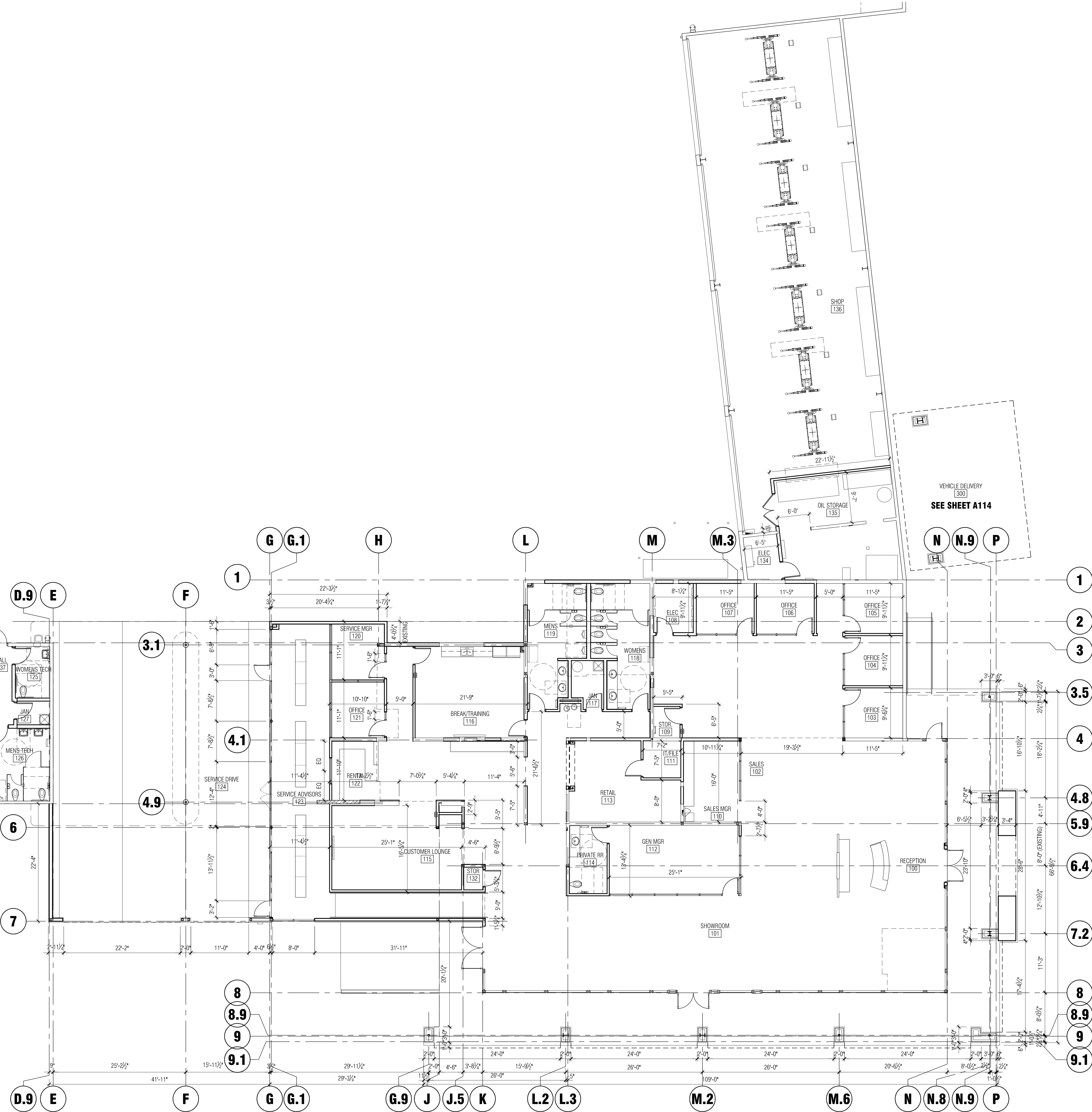


KEY PLAN

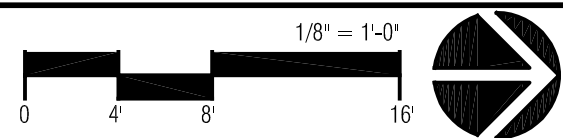


OVERALL FLOOR PLANS





PARTIAL FLOOR PLAN



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
2. PROVIDE WALL CONTROL JOINTS IN ALL INTERIOR FRAMED WALL / GYP. BD. WALLS PER DETAIL XX/A540

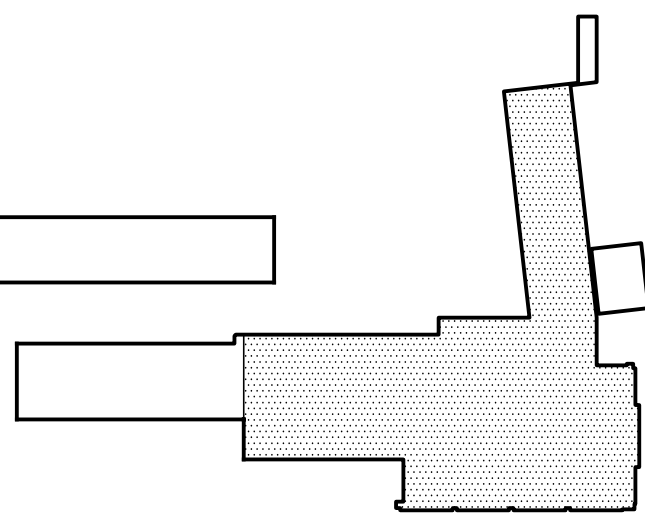
KEYNOTES

1. FACE OF SOFFIT/CANOPY ABOVE
2. EXISTING WOOD POST
3. DUAL HEIGHT DRINKING FOUNTAIN - SEE PLUMBING
4. NEW 3" HIGH PAINTED CONCRETE BASE AT EXISTING STEEL COLUMN, SACK TO PROVIDE SMOOTH FINISH
5. EXISTING FIRE SPRINKLER RISER MODIFY AS REQD
6. ROOF & OVERFLOW DRAIN TO NOZZLE - SEE 1/A520
7. ELEC. PANELS
8. TV / MEDIA DISPLAY - COORD UTILITIES
9. VEHICLE LOADING DOORS
10. FLOOR DRAIN
11. CASEWORK BY OWNER - COORD ELEC & PLUMB REQMTS
12. CASEWORK PROVIDED BY OWNER - NO TRANSACTIONS THIS LOCATION
13. RETAIL DISPLAY CASEWORK PROVIDED BY OWNER, PROVIDE LOCKED DISPLAY
14. KEY MACHINE BY OWNER
15. VENDING MACHINE BY OWNER
16. REFRIGERATOR BY OWNER
17. ROOF ACCESS LADDER & EXISTING HATCH - SEE XX/A520
18. 2-A-20-B-C FIRE EXT CAB MTD PER XX/A540, SEMI-RECESSED COSMOPOLITAN 1032 JL INDUSTRIES OR EQUAL
19. 4-A-60-B-C WALL MTD PORTABLE FIRE EXT MTD PER XX/A540
20. CLEAR ANOD BRASS METAL COLUMN ENCLOSURE TO MATCH WINDOW FRAME FINISH
21. WATER HEATER - SEE PLUMB
22. EXISTING SERVICE ENTRANCE SECTION - SEE ELEC
23. KEYROP BY OWNER
24. DOUBLE TIER LOCKERS BY OWNER
25. SERVICE SINK
26. EMERGENCY EYEWASH / SHOWER
27. EXISTING STEEL COLUMN
28. IN-GROUND VEHICLE LIFT BY OWNER
29. WORKBENCH BY OWNER
30. INFILL EXISTING PIT W/ CONCRETE - SEE STRUCT.
31. EXTEND WALL TO MATCH ADJACENT WALL CONSTRUCTION
32. NEW WOOD POST - SEE STRUCT.
33. KNOX BOX PER AHJ REQUIREMENTS
34. CONCRETE RAMP - SEE STRUCT.
35. INFILL FLOOR AREA TO ALIGN W/ EXISTING FINISH FLOOR HEIGHT - SEE STRUCT.
36. INFILL EXISTING WALL OPENING TO MATCH ADJACENT WALL CONSTRUCTION
37. NEW INTERNALLY LIT PORTAL BY OWNER'S VENDOR
38. EXISTING MASONRY BEARING WALL
39. NEW STEEL COLUMN - SEE STRUCT.
40. EXISTING DEMARC
41. EXISTING ELECTRICAL PANEL
42. EXISTING RELOCATED EV CHARGER
43. AIR COMPRESSOR BY OWNER
44. LINE OF EXISTING STEP IN THE FLOOR HEIGHT
45. LINE OF EXISTING EXTERIOR WALL/STOREFRONT
46. DRINKING FOUNTAIN
47. FACE OF EXISTING SOFFIT/FASCIA ABOVE
48. NEW CONCRETE SLAB ON GRADE AREA TO MATCH EXISTING
49. EXISTING CONCRETE WALL, SACK & PAINT EXPOSED FACE
50. ADA BENCH BY OWNER - SEE X/XXXX
51. INSULATE THERMAL WALL THIS AREA
52. OIL STORAGE TANK WITH SECONDARY CONTAINMENT BY OWNER
53. ANTIFREEZE TANK BY OWNER
54. NEW SERVICE ENTRANCE SECTION - SEE ELEC
55. PROVIDE GYP. BD. OVER PLYWOOD THIS AREA
56. AIR DRYER BY OWNER

NOTE: ALL NOTES MAY NOT BE REFERENCED ON EACH SHEET

SYMBOLS

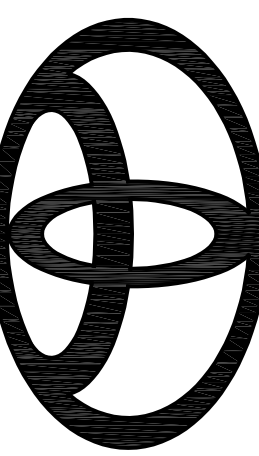
- XXX DOOR NUMBER - SEE SHEET A400
- X WINDOW FRAME NUMBER - SEE SHEET A220 - A221
- X WALL CONSTRUCTION TYPE - SEE SHEET A550 & A551
- X RATED WALL CONSTRUCTION - SEE A105, A550 & A551
- X INTERIOR ELEVATION / CASEWORK ELEVATION
- SHEET NO. CMU WALL
- METAL STUD WALL
- X WALL SECTION



KEY PLAN

JOHN MAHONEY ARCHITECT
850 W. ELLIOT ROAD, #108
TEMPE, ARIZONA 85284
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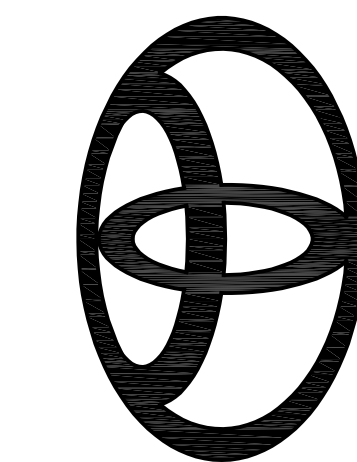
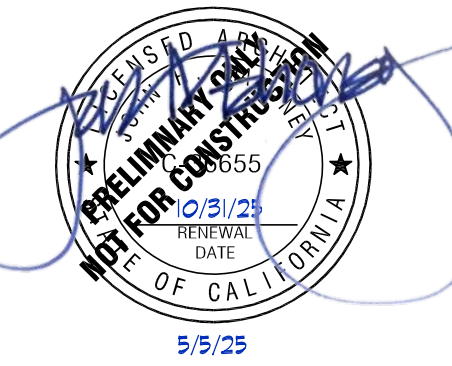


PROJECT NO.: 2216

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PARTIAL FLOOR PLAN

A111



PROJECT NO.: 2216

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PROPOSED EXTERIOR
ELEVATIONS

A201

GENERAL NOTES

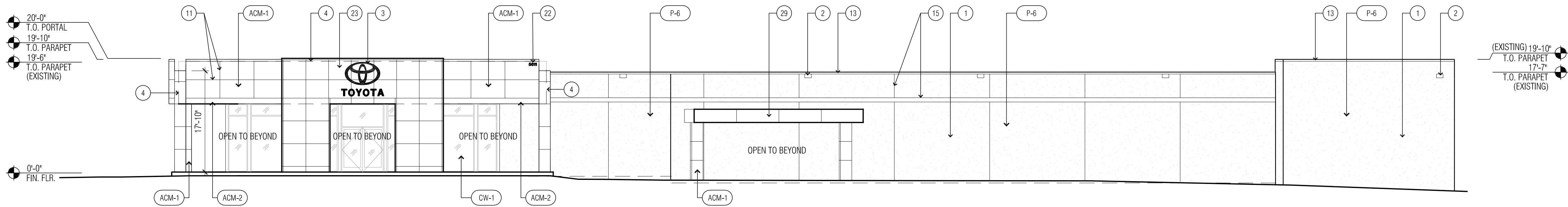
1. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL. UNO.
2. WATERPROOF MEMBRANE SHALL BE INSPECTED BY ACM FABRICATOR AND MEET AIR AND WATER INFILTRATION SPECIFICATIONS.
3. ALL EXTERIOR SIGNAGE SHALL BE BY SEPARATE PERMIT. EXTERIOR SIGNAGE SHALL BE BY PATTISON SIGN CO.
4. APPLY HEAVY EIFS MESH UNDER STANDARD MESH AT ALL HIGH TRAFFIC AREAS TO A HEIGHT OF 8'-0" A.F.F. OR TO THE NEAREST HORIZONTAL ARCHITECTURAL JOINT / REVEAL.

KEYNOTES

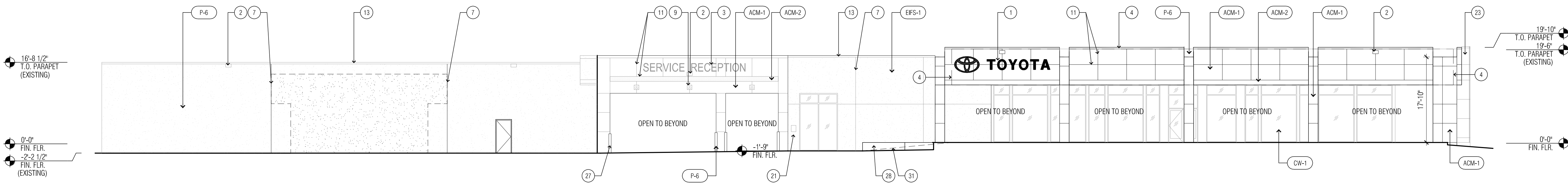
- 1 EXISTING STUCCO
- 2 NEW WALL PACK. REPLACE EXISTING WHERE OCCURS - SEE ELEC
- 3 INTERNALLY ILLUMINATED SIGNAGE UNDER SEPARATE SUBMITTAL & PERMIT
- 4 EXISTING FASCIA BEYOND (DASHED)
- 5 ADA RAMP
- 6 ALUMINUM HANDRAIL
- 7 NEW EIFS REVEAL TO MATCH EXISTING
- 8 LOUVER - SEE MECH
- 9 TRAFFIC CONTROL LIGHT - SEE ELEC
- 10 NEW CONCRETE BASE AT EXISTING STEEL COLUMN
- 11 ACM REVEAL
- 12 TOP OF ROOF BEYOND
- 13 PRE-FINISHED SHEET METAL CAP TO MATCH ADJ. WALL COLOR
- 14 INFILL WALL OPENING TO MATCH ADJACENT CONSTRUCTION
- 15 EXISTING STUCCO REVEAL
- 16 EXISTING OVERHEAD DOOR
- 17 EXISTING STANDING SEAM METAL ROOFING
- 18 REROUTED ROOF DRAIN LEADERS - SEE PLUMB
- 19 EXISTING DOOR. PAINT TO MATCH ADJ. WALL COLOR
- 20 EXISTING COLUMN. PAINT P-6
- 21 NIGHT KEY DROP BOX PROVIDED BY OWNER
- 22 ADDRESS NUMERALS BY GC
- 23 INTERNALLY LIT ENTRY PORTAL BY OWNERS VENDOR
- 24 CONCRETE STEPS
- 25 OVERHEAD COILING DOOR
- 26 LINE OF NEW DETACHED SHOP
- 27 TYPICAL BOLLARD W/ COVER
- 28 EXISTING CONCRETE WALL. SACK & PAINT (P-6) EXPOSED FACE
- 29 ACM CLAD CANOPY
- 30 LINE OF EXISTING ROOF
- 31 EXISTING VEHICLE RAMP BEYOND
- 32 BUILDING EXPANSION JOINT
- 33 SERVICE ENTRANCE SECTION - SEE ELEC

FINISH LEGEND

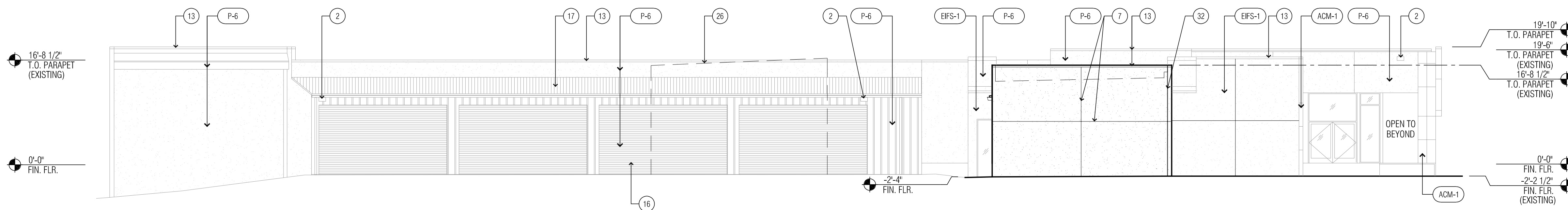
SYM.	MATERIAL DESCRIPTION
ACM-1	MATERIAL: ALUMINUM COMPOSITE PANEL MANUF: REYNOBOND OR ALPOLIC SYSTEM: 4 MM THICK BONDED METAL PANEL - 3/4" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS COLOR: TOYOTA SILVER NOTE: FLASHINGS TO MATCH ADJ. WALL PANEL
ACM-2	MATERIAL: ALUMINUM COMPOSITE PANEL MANUF: REYNOBOND OR ALPOLIC SYSTEM: 4 MM THICK BONDED METAL PANEL - 3/4" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS COLOR: TOYOTA RED NOTE: FLASHINGS TO MATCH ADJ. WALL PANEL
CW-1	MATERIAL: ALUMINUM CURTAIN WALL SYSTEM MANUF: KAWNEER OR EQUAL AS APPROVED SYSTEM: 1600 SYSTEM 1, FRONT GLAZED SIZE: 7 1/4" FINISH: CLEAR ANODIZED ALUMINUM
P-6	MATERIAL: EXTERIOR SATIN PAINT MANUF: SHERWIN WILLIAMS COLOR: MOONLIGHT WHITE CUSTOM COLORS ASBESTOS EXTRA WHITE BASE
EIFS-1	MATERIAL: EXTERIOR INSULATION & FINISH SYSTEM MANUF: DRYVIT OR STO COLOR: MATCH P-6



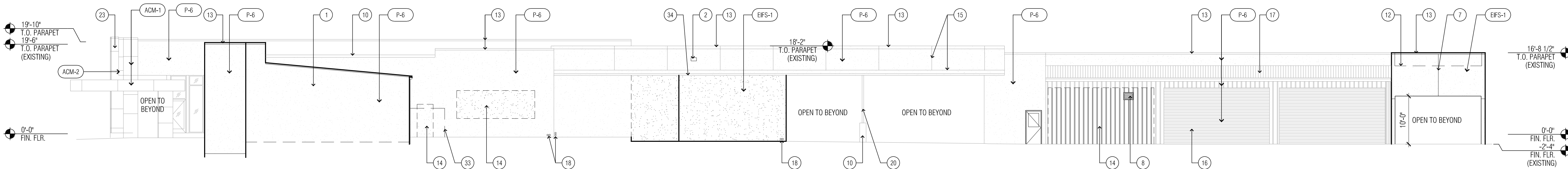
PROPOSED NORTH ELEVATION



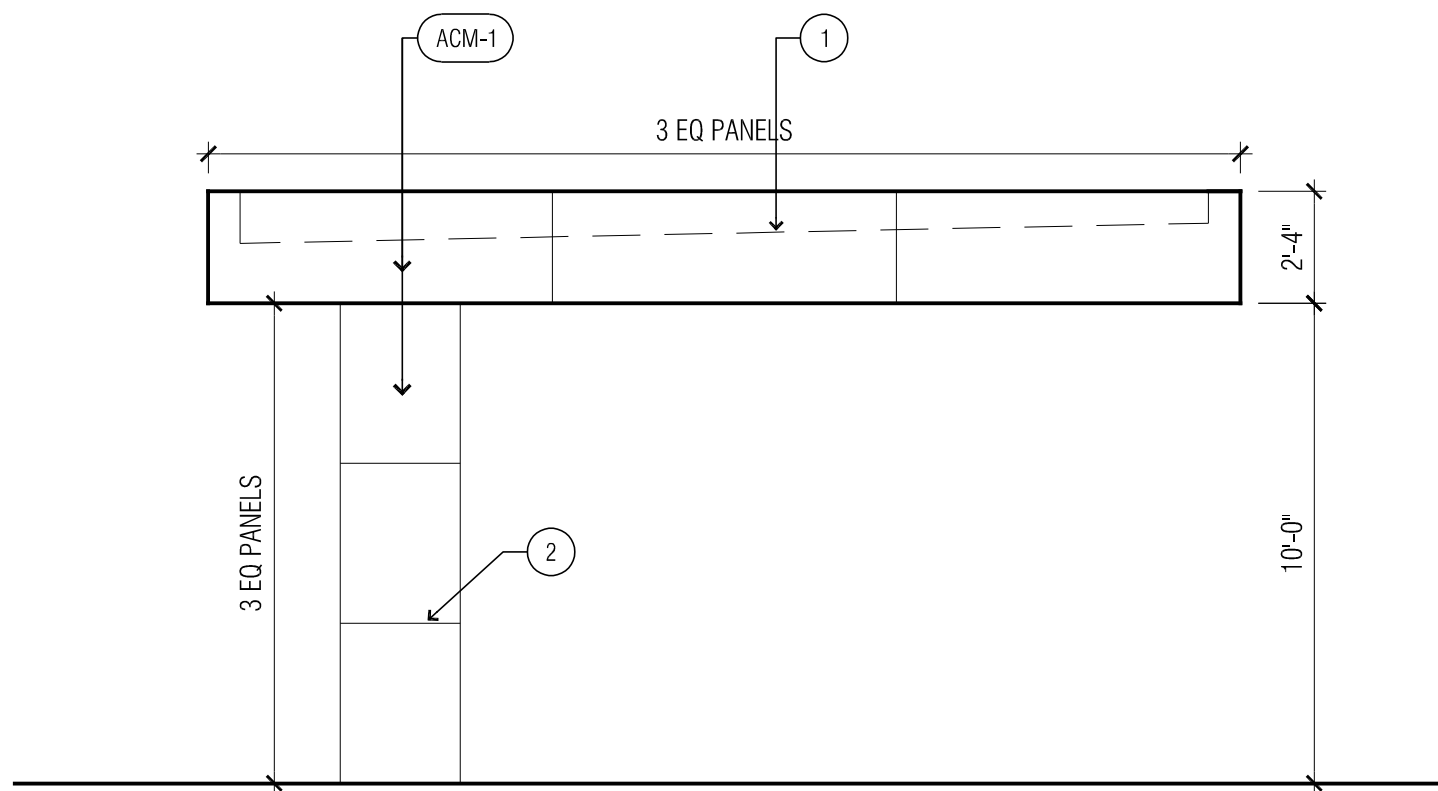
PROPOSED EAST ELEVATION



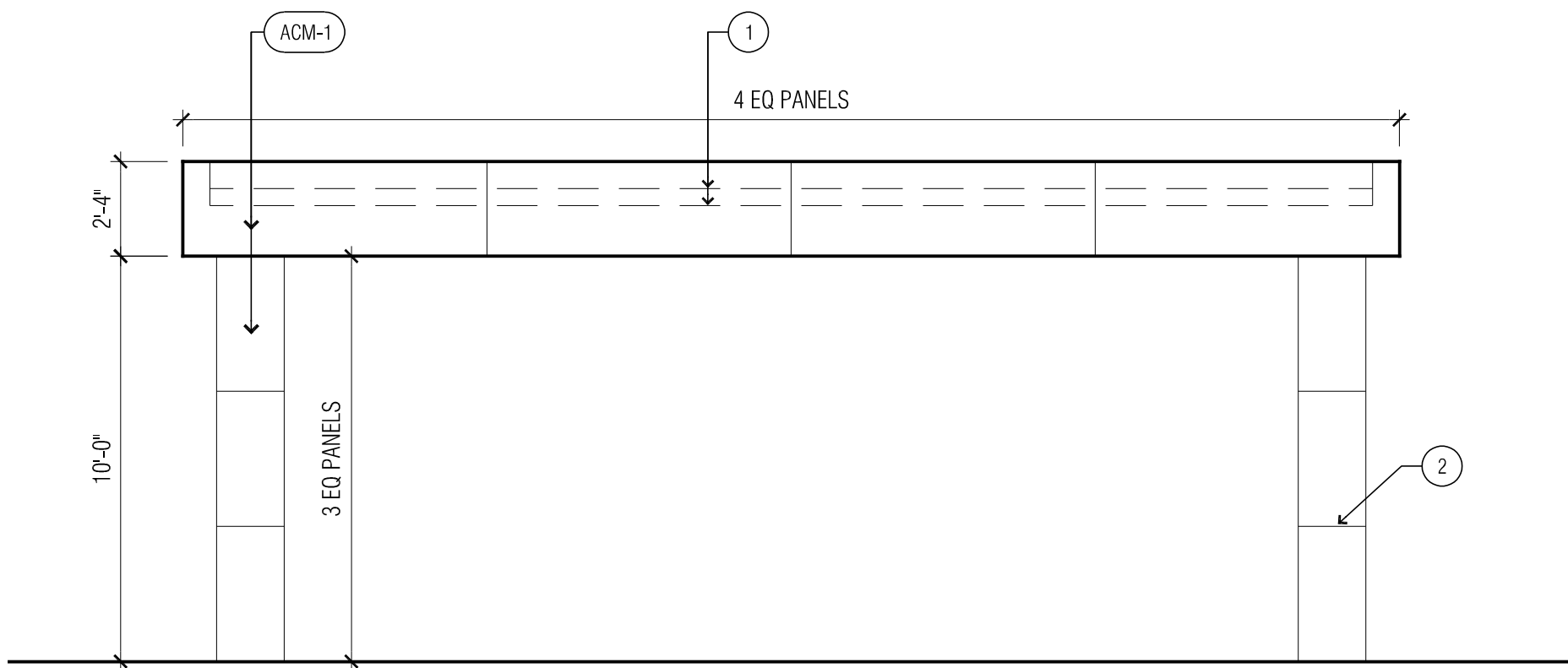
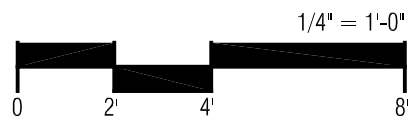
PROPOSED SOUTH ELEVATION



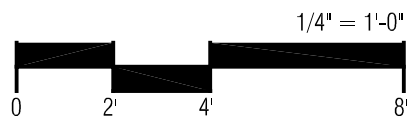
PROPOSED WEST ELEVATION



SIDE ELEVATION



FRONT/REAR ELEVATION



GENERAL NOTES

1. WATERPROOF MEMBRANE SHALL BE INSPECTED BY ACM FABRICATOR AND MEET AIR AND WATER INFILTRATION SPECIFICATIONS.
2. APPLY HEAVY EIFS MESH UNDER STANDARD MESH AT ALL HIGH TRAFFIC AREAS TO A HEIGHT OF 8'-0" A.F.F. OR TO THE NEAREST HORIZONTAL ARCHITECTURAL JOINT / REVEAL

KEYNOTES

- 1 LINE OF ROOF BEYOND
- 2 ACM REVEAL

FINISH LEGEND

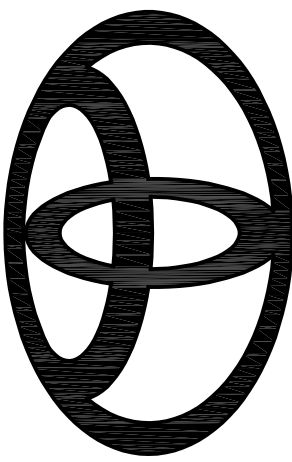
SYM.	MATERIAL DESCRIPTION	
ACM-1	MATERIAL:	ALUMINUM COMPOSITE PANEL
	MANUF:	REYNOBOND OR ALPOLIC
	SYSTEM:	4 MM THICK BONDED METAL PANEL - 1/2" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS
	COLOR:	TOYOTA SILVER
	NOTE:	FLASHINGS TO MATCH ADJ. WALL PANEL
P-6	MATERIAL:	EXTERIOR SATIN PAINT
	MANUF:	SHERWIN WILLIAMS
	COLOR:	MOONLIGHT WHITE CUSTOM COLORS A82W151 EXTRA WHITE BASE
EIFS-1	MATERIAL:	EXTERIOR INSULATION & FINISH SYSTEM
	MANUF:	DRYVIT OR STO
	COLOR:	MATCH P-6

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TOYOTA OF SANTA BARBARA

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GOLETA, CALIFORNIA 93117

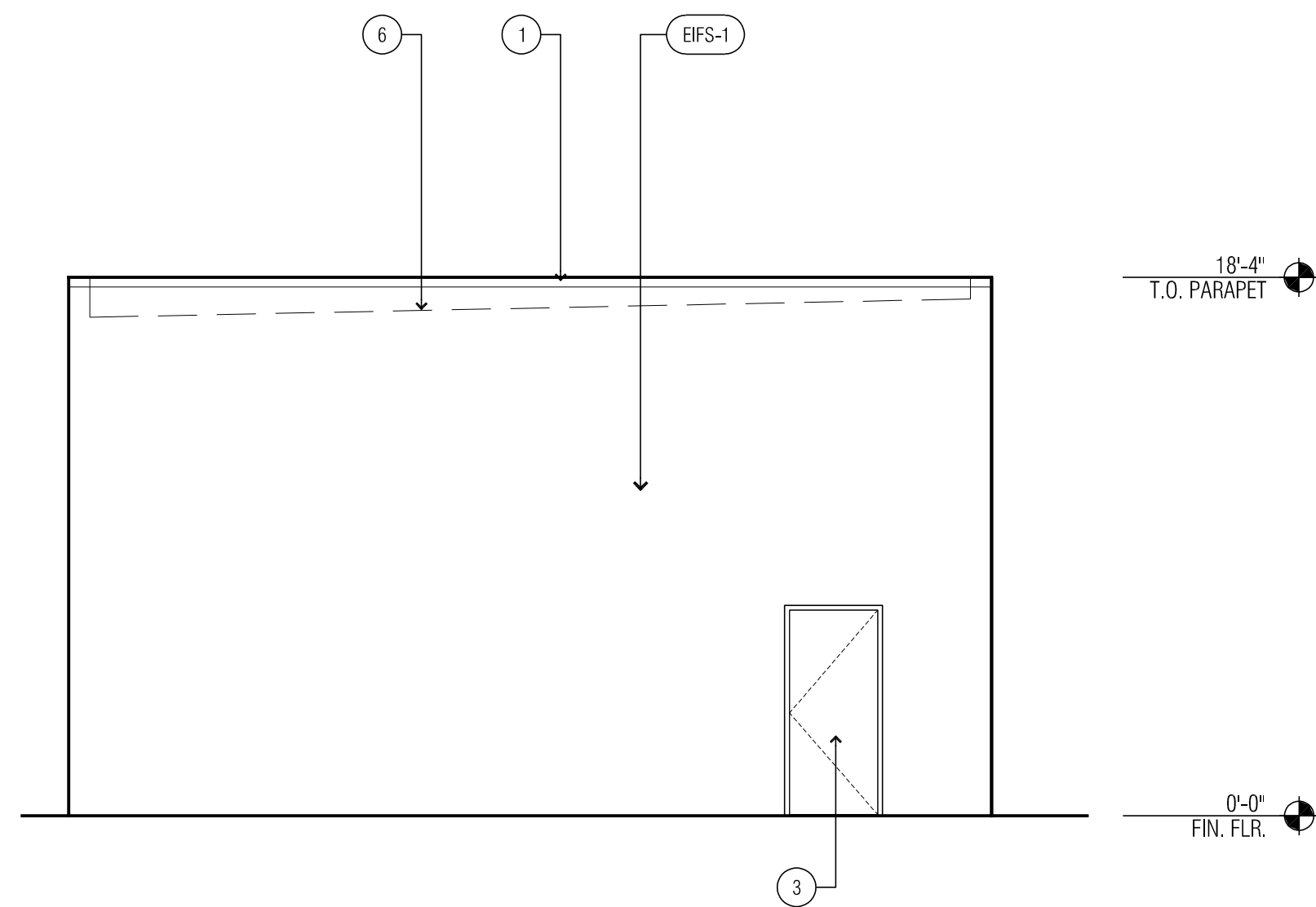


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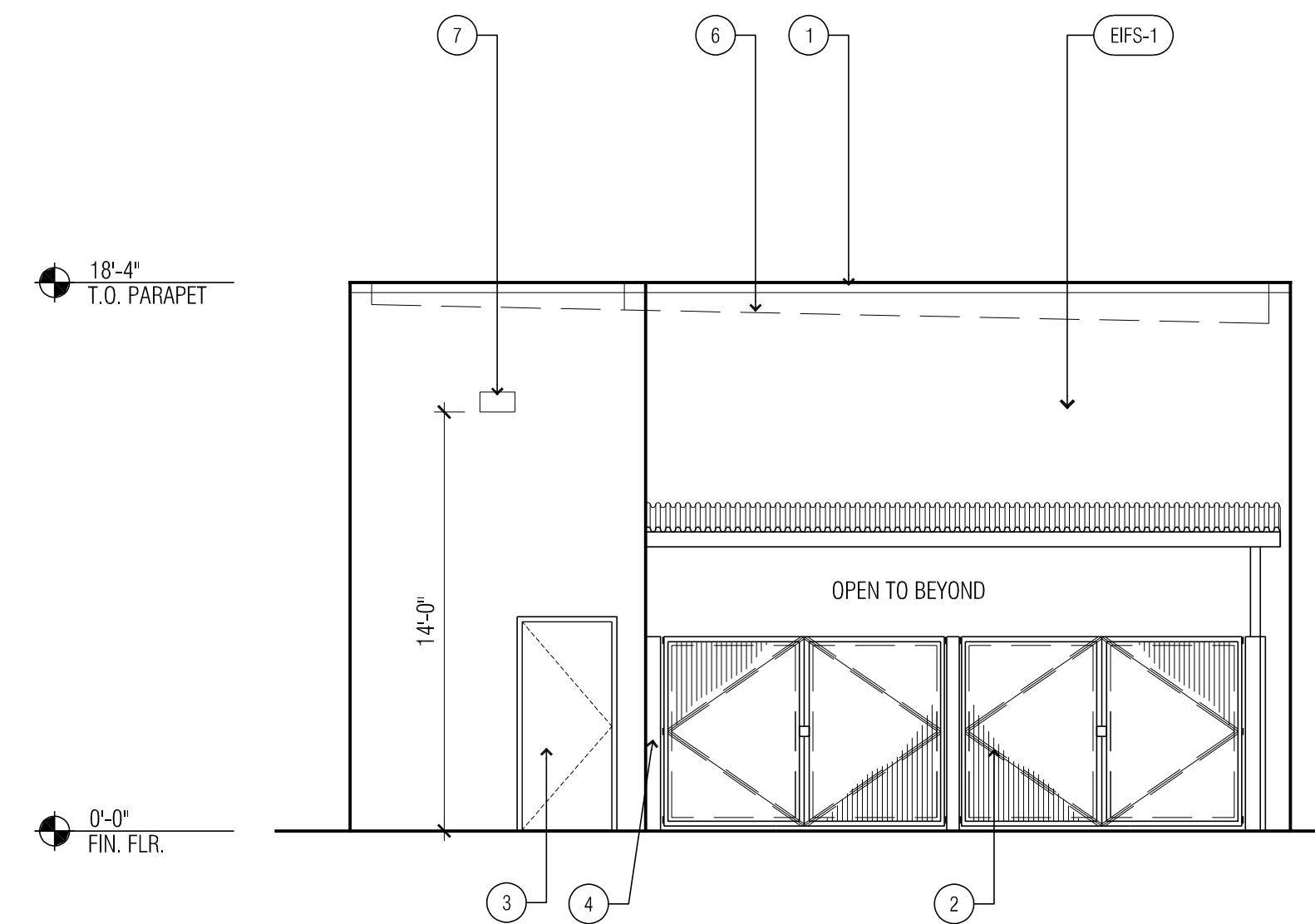
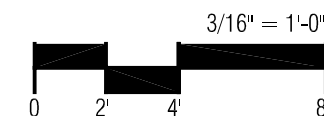
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EXTERIOR ELEV'S -
VEHICLE DELIVERY

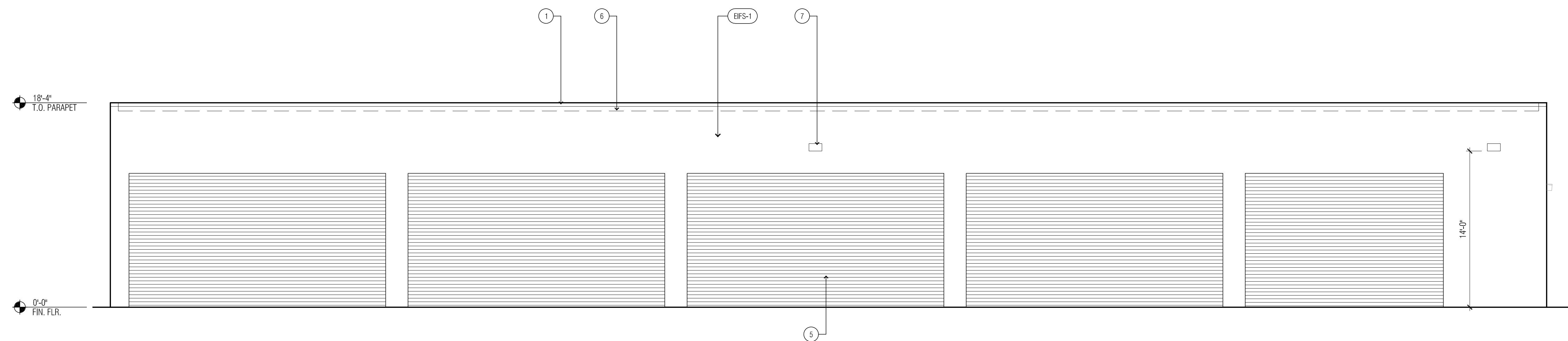
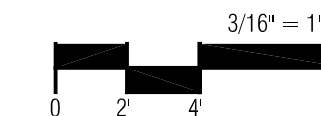
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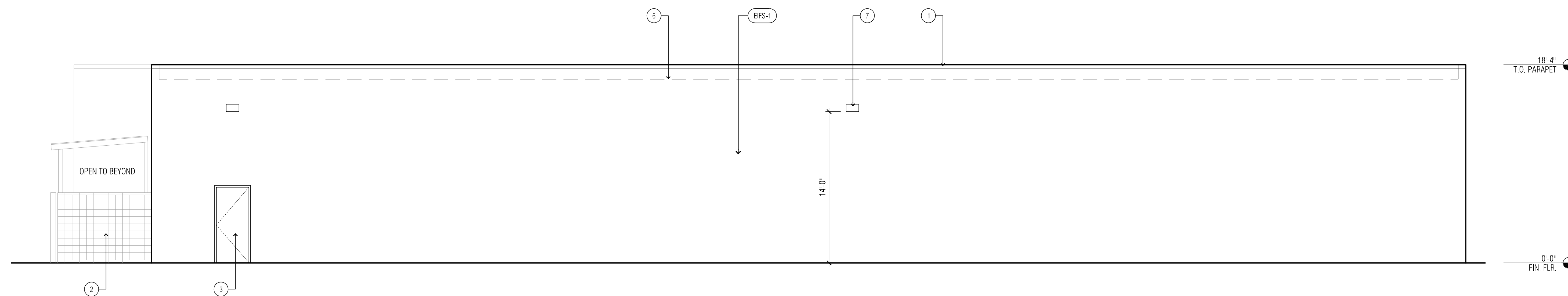
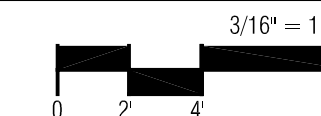
SOUTH ELEVATION - DETACHED SHOP



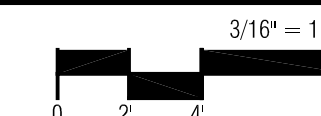
NORTH ELEVATION - DETACHED SHOP



EAST ELEVATION - DETACHED SHOP



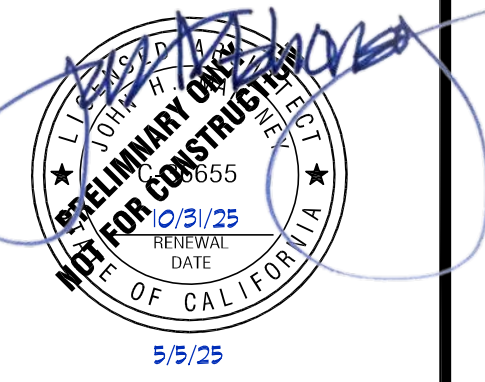
WEST ELEVATION - DETACHED SHOP



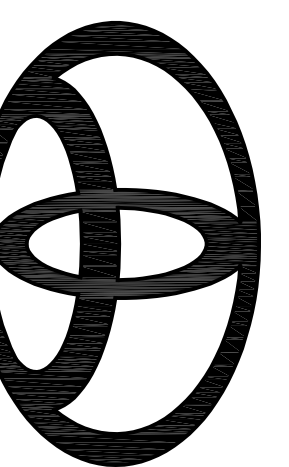
KEYNOTES

- 1 PRE-FINISHED SHEET METAL CAP TO MATCH ADJ. WALL COLOR
- 2 TRASH ENCLOSURE
- 3 HOLLOW METAL DOOR, PAINT TO MATCH ADJ. WALL COLOR
- 4 PAINTED STEEL POST
- 5 OVERHEAD COILING DOOR, PAINT TO MATCH ADJ. WALL COLOR
- 6 LINE OF ROOF BEYOND
- 7 WALL PACK LIGHT FIXTURE - SEE ELEC

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EXTERIOR ELEV'S -
DETACHED SHOP

A202







PROJECT LOCATION



LIMITS OF PROJECT

Landscape Key

- 1 PLANTED MODULAR WETLAND BMP
- 2 VEHICLE DISPLAY AREA
- 3 VEHICLE SHOWCASE
- 4 NEW CAR DELIVERY
- 5 UPGRADED STREETScape PLANTING
- 6 EXISTING TREE - PISTACHE
- 7 EXISTING TREE - WINDMILL PALM
- 8 EXISTING TREE - MEXICAN FAN PALM
- 9 NEW TREE - LAURUS NOBILIS

Hardscape Key

- A WALKWAY PAVING: HOLLAND
STONE CONCRETE PAVERS

Notes for Irrigation System

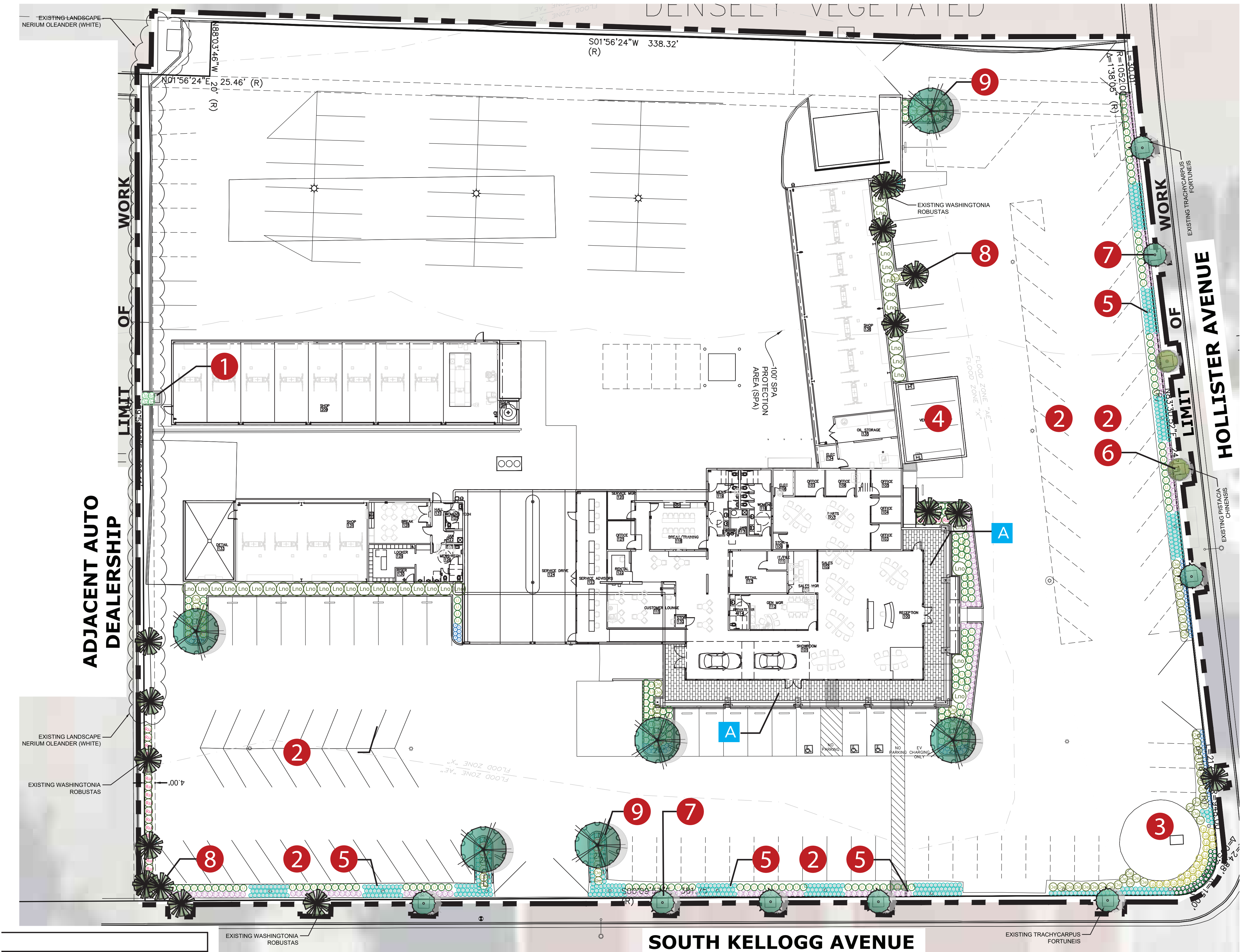
- All landscape areas shall be irrigated by an automatic irrigation system all the trees be irrigated via separate, dedicated bubbler circuits all other landscape areas shall be irrigated via a drip irrigation system. The entire irrigation system shall be on an automatically controlled system with a separate programs capable of irrigating each hydrozone independently. The intent of the landscape and water delivery systems is to comply with all aspects of the City of Goleta Water Efficient Landscape Ordinance. Water efficiency calculations will be provided at time of construction document plan submittal.
- All planting areas are to be covered with 3" of mulch.

Planting Legend

- | | |
|--|-----------------------|
| A Aloe "Blue Elf" | Laurus nobilis |
| Ca Calandrinia spectabilis | Pistacia chinensis |
| D Dianella revoluta 'Little Rev' [DR500] | Trachycarpus fortunei |
| Lno Laurus nobilis | Washingtonia robusta |
| Li Lomandra longifolia 'Breeze' [LM300] | |
| Lp Lomandra longifolia 'Roma 13' | |
| JP Juncus patens | |
| OE Olea europaea 'Montra' | |
| Ru Rhiphiolopsis umbellata | |
| Tc Teucrium chamaedrys | |

Conceptual Tree and Shrub Count

- | | |
|--------------------------|------------------------|
| • 24" box tree (new) = 6 | • 1 gal shrubs = 1,008 |
| • Existing tree = 26 | • 5 gal shrubs = 97 |
| TOTAL TREES = 32 | • 15 gal shrubs = 41 |
| | TOTAL SHRUBS = 1,146 |





Sweet Bay
Laurus nobilis



Chinese Pistache - Existing
Pistacia chinensis



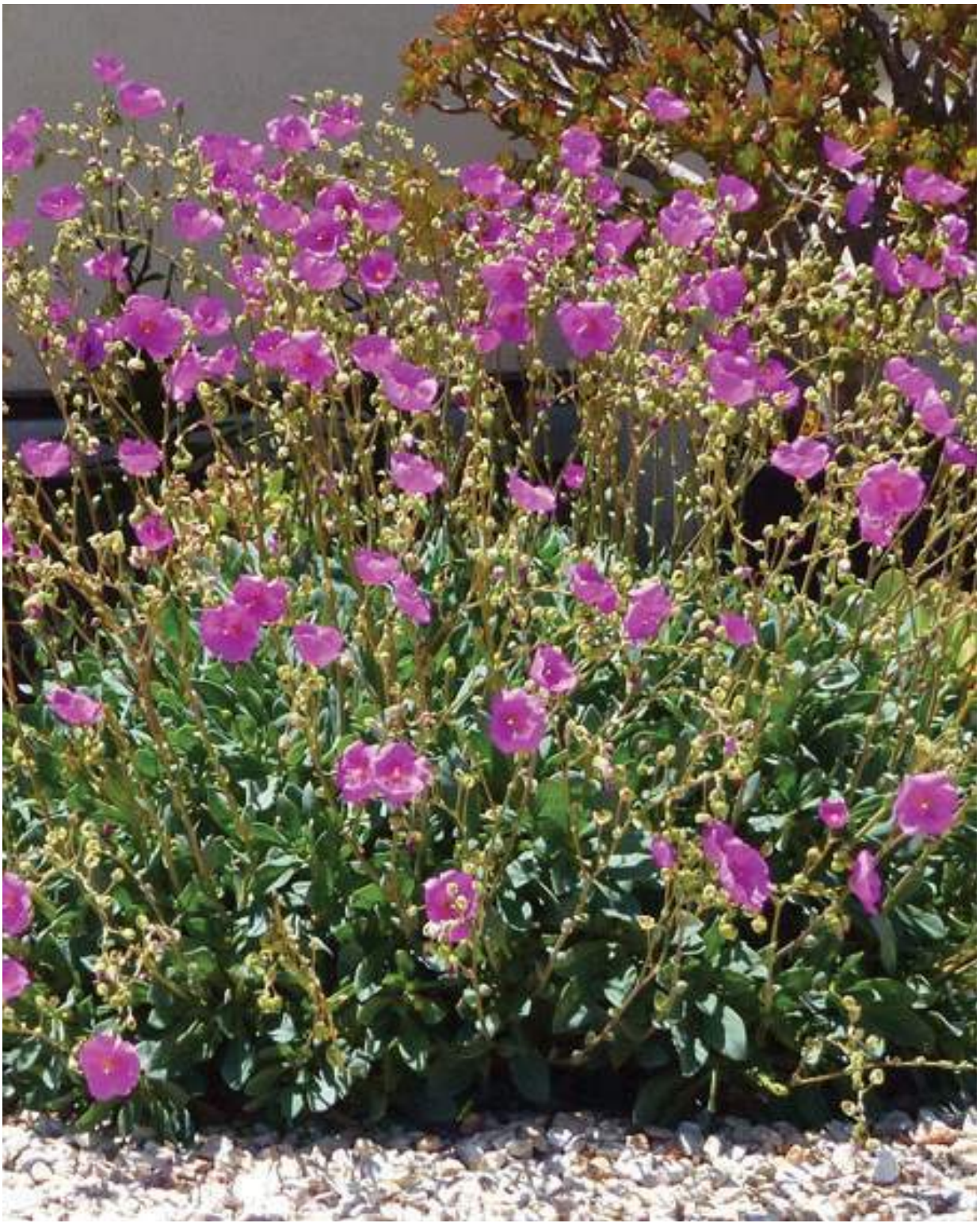
Windmill Palm - Existing
Trachycarpus fortunei



Mexican Fan Palm - Existing
Washingtonia robusta



Blue Elf Aloe
Aloe 'Blue Elf'



Rock Purslane
Calandrinia spectabilis



Little Rev Flax Lily
Dianella revoluta 'Little Rev'
[DR500]



Sweet Bay
Laurus nobilis



Dwarf Mat Rush
Lomandra longifolia 'Breeze'
[LM300]



Platinum Beauty Mat Rush
Lomandra longifolia 'Roma 13'



Rush
Juncus patens



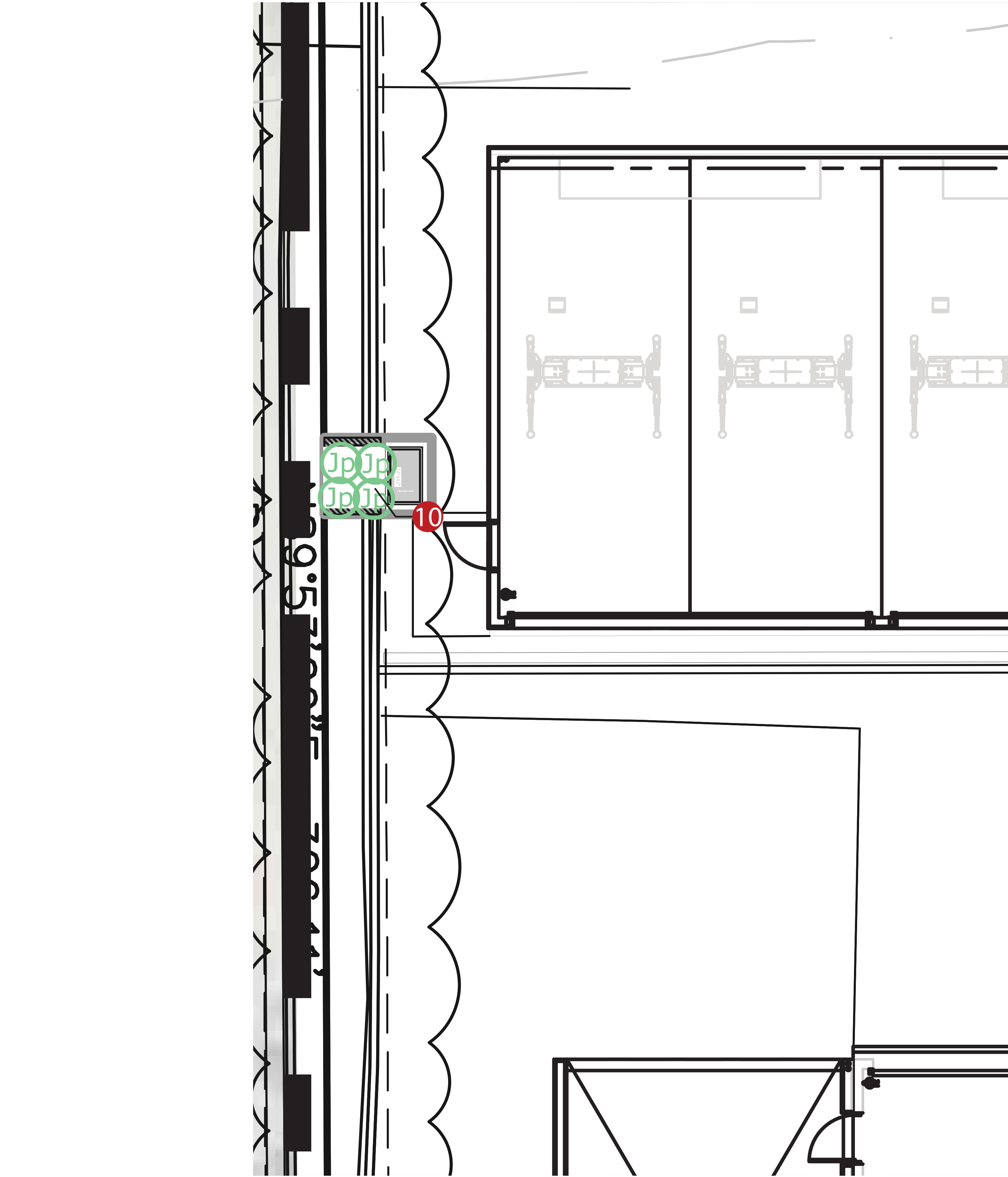
Little Ollie Dwarf Olive
Olea europaea 'Montra'



Yeddo Hawthorn
Raphiolepis umbellata



Teucrium chamaedrys
Germander



Landscape Key

1

PLANTED MODULAR WETLAND BMP

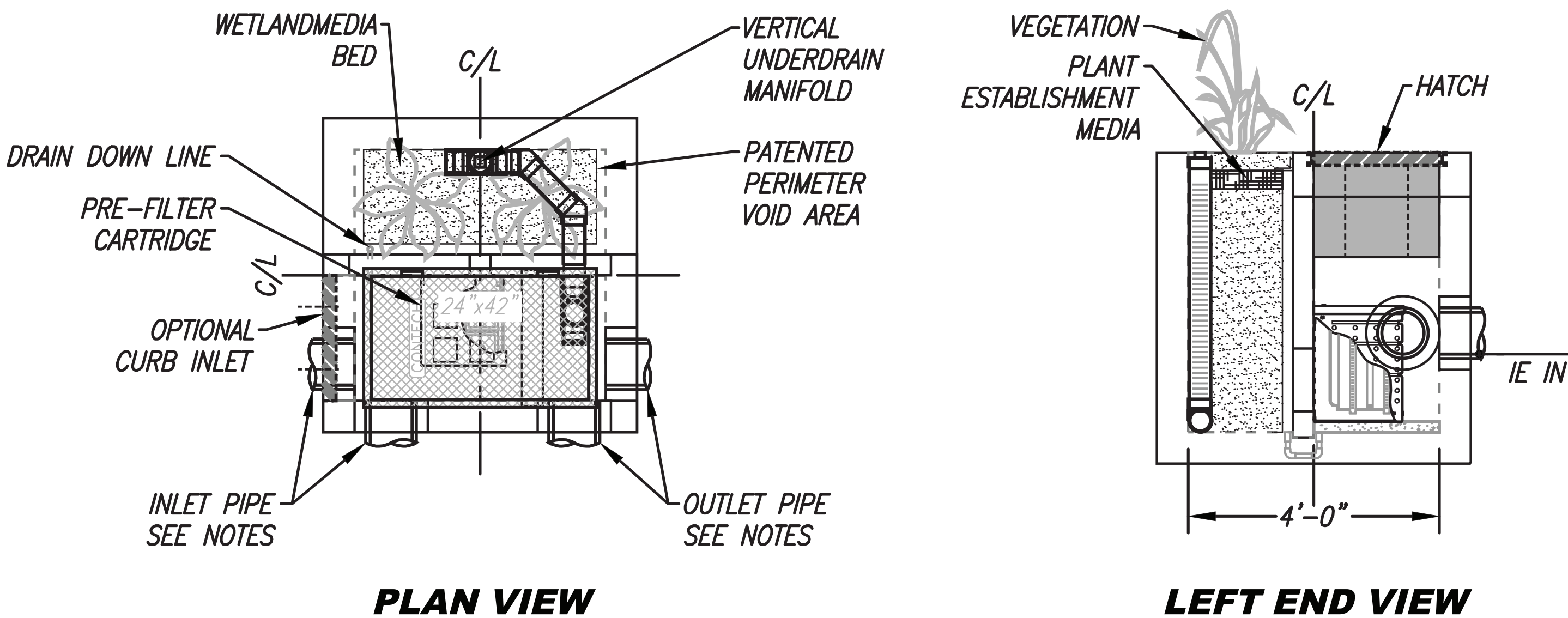
Planting Legend



Juncus patens

Notes for Irrigation System

- All landscape areas shall be irrigated by an automatic irrigation system all the trees be irrigated via separate, dedicated bubbler circuits all other landscape areas shall be irrigated via a drip irrigation system. The entire irrigation system shall be on an automatically controlled system with a separate programs capable of irrigating each hydrozone independently. The intent of the landscape and water delivery systems is to comply with all aspects of the City of Tustin Water Efficient Landscape Ordinance. Water efficiency calculations will be provided at time of construction document plan submittal.
- All planting areas are to be covered with 3" of mulch.



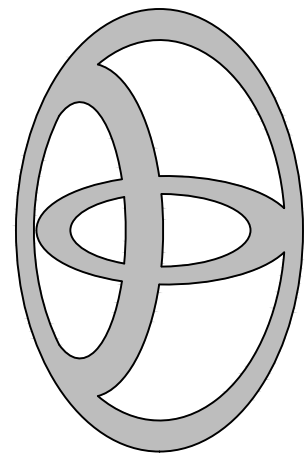
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ELECTRICAL CONSULTING ENGINEERS
PROJECT CONTACT: BRIAN R. SANDON
PROJECT # 23-390
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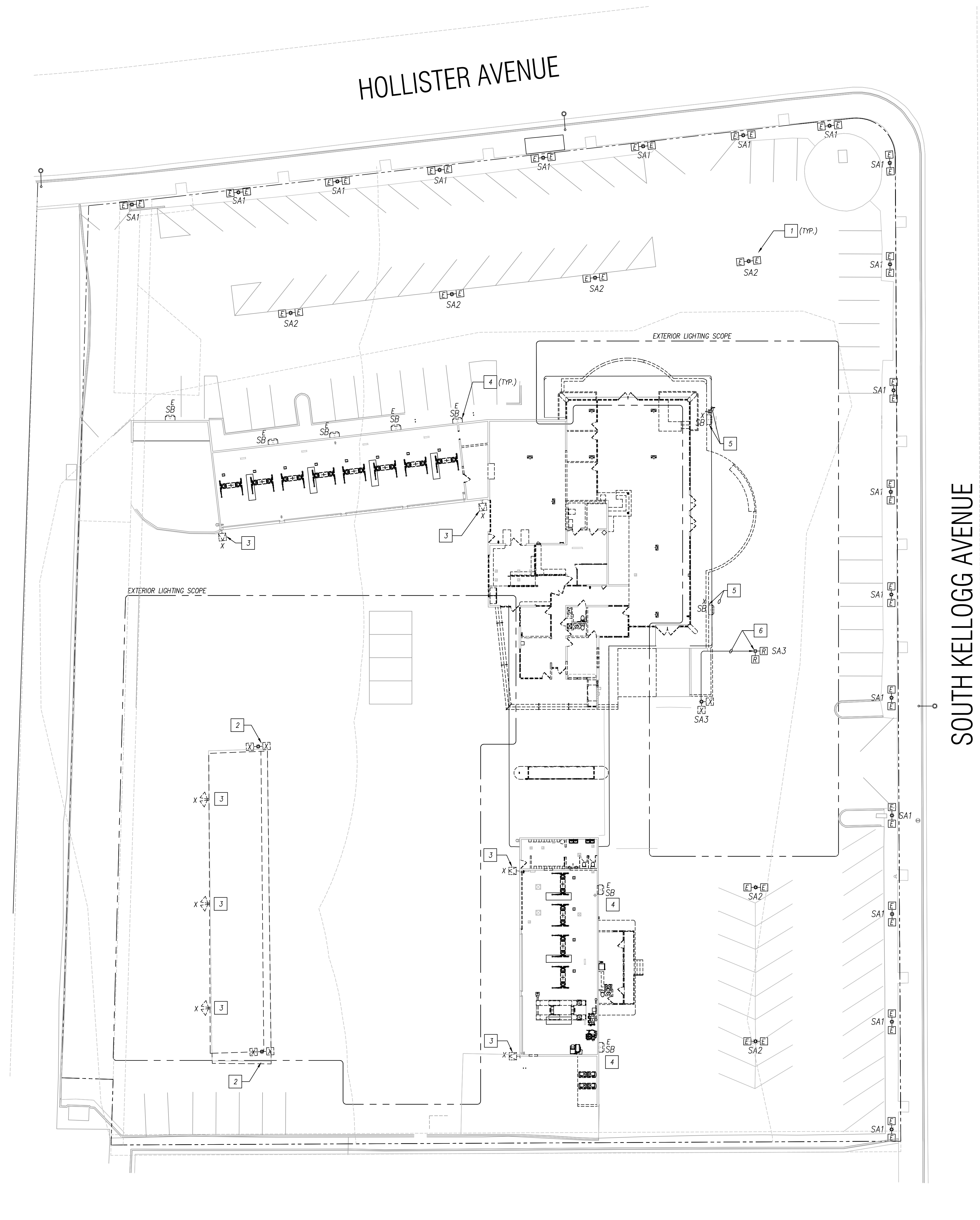
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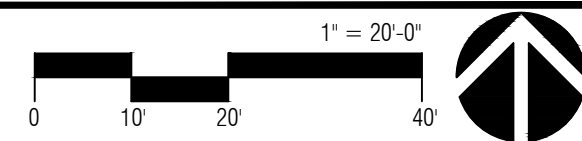
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**DEMOLITION
SITE PLAN**

ES10



DEMOLITION SITE PLAN



[illegible]

SOUTH KELLOGG AVENUE

KEYED NOTES

- | | |
|----|--|
| 1 | EXISTING LIGHT POLE TO REMAIN UNCHANGED. |
| 2 | EXISTING LIGHT POLE TO BE DEMOLISHED. |
| 3 | EXISTING BUILDING MOUNTED FIXTURE TO BE DEMOLISHED. |
| 4 | EXISTING BUILDING MOUNTED FIXTURE TO REMAIN UNCHANGED. |
| 5 | EXISTING BUILDING MOUNTED FIXTURE TO BE RELOCATED. EXTEND EXISTING CONDUIT AND WIRE TO MAINTAIN EXISTING OPERATION. |
| 6 | EXISTING LIGHT POLE TO BE RELOCATED. EXTEND EXISTING CONDUIT AND WIRE TO MAINTAIN EXISTING OPERATION. |
| 7 | EXISTING LIGHT POLE AND HEADS TO BE DEMOLISHED AND RETURNED TO OWNER'S STOCKPILE. |
| 8 | ELECTRICAL CONTRACTOR SHALL REMOVE AND REPLACE EXISTING FLOOD LIGHT WITH NEW WALLPACK. TOTAL LOAD ON BRANCH CIRCUIT REDUCED. |
| 9 | RELOCATED FLOOD LIGHT SHALL STAY ON EXISTING BRANCH CIRCUIT (SEE KEYED NOTE #5). |
| 10 | PROVIDE WITH INTEGRAL OCCUPANCY SENSOR TO AUTOMATICALLY REDUCE LIGHT OUTPUT BY 50% WHEN UNOCCUPIED. UPON DETECTION OF OCCUPANCY DETECTION, LIGHT LEVELS SHALL INCREASE BACK TO 100% ON/OFF FUNCTIONALITY SHALL BE BY LIGHTING CONTROL RELAY PANEL - (SEE SCHEDULE ON SHEET 16) ALL INSTALLATIONS SHALL COMPLY WITH TITLE 24, PROVIDE WITH (1) "4x-5800M" HAND-HELD CONTROLLER FOR PROGRAMMING/COMMISSIONING. |

LIGHT FIXTURE SCHEDULE

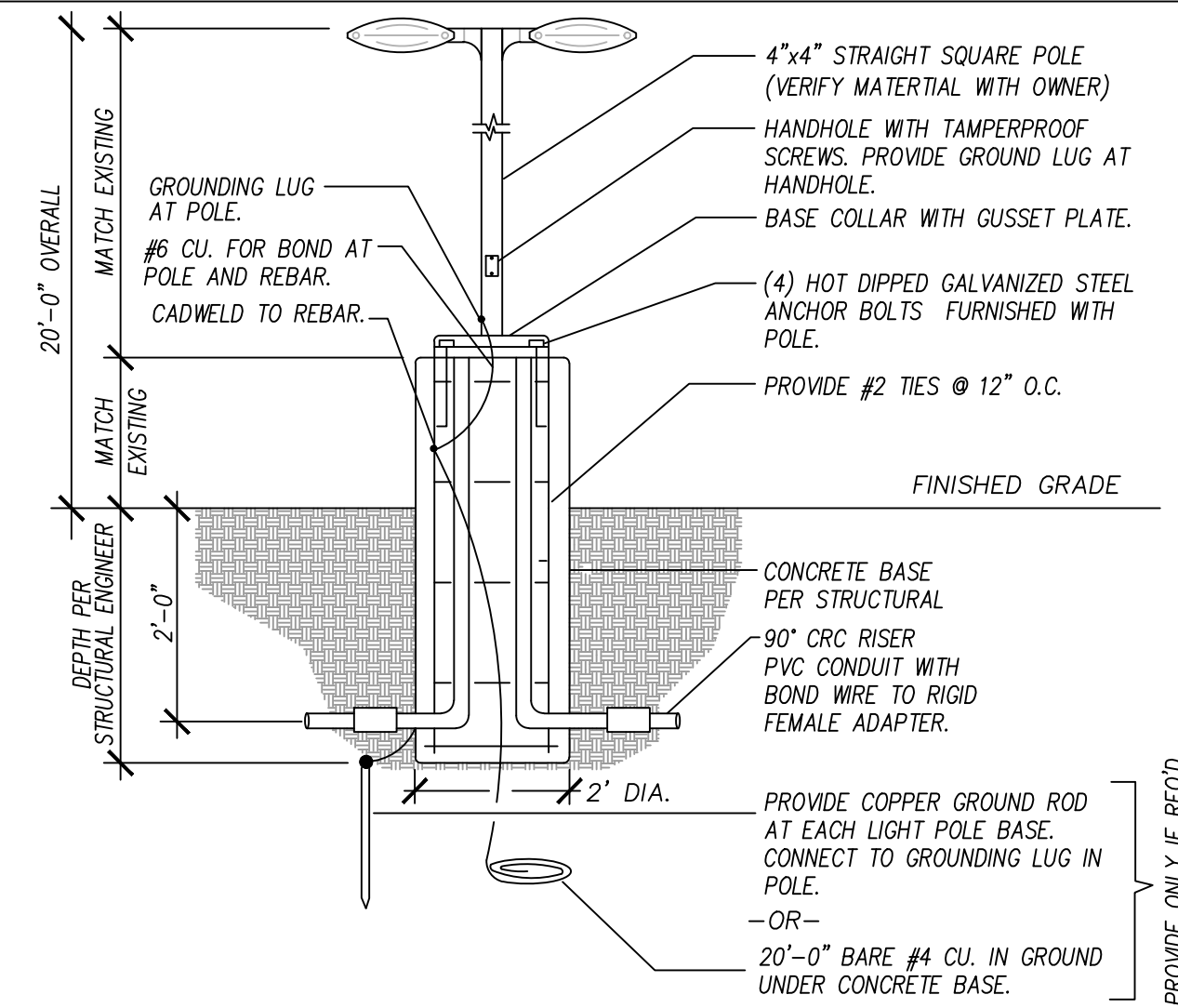
	TAG	VOLTS	MANUFACTURER	PART #	LAMPING CCT/WATTS	DESCRIPTION/NOTES
	SA1	UNV.	CREE	NTA-A-NM-13-11L-40K-UL- W/NTA-BR5F-11L	LED (7575umens/ 4000W/40W)	EXISTING TWIN-HEAD LED LIGHT POLE WITH BACKLIGHT SHIELD TO REMAIN UNCHANGED. (B1, UO, G1)
	SA2	UNV.	CREE	NTA-A-NM-13-11L-40K-UL- W/NTA-BR5F-11L	LED (7575umens/ 4000W/40W)	EXISTING TWIN-HEAD LED LIGHT POLE WITH BACKLIGHT SHIELD TO REMAIN UNCHANGED. (B1, UO, G1)
	SA3	UNV.	CREE	NTA-A-NM-13-11L-40K-UL- W/NTA-BR5F-11L	LED (7575umens/ 4000W/40W)	EXISTING TWIN-HEAD (90° MOUNTED) LED LIGHT POLE WITH BACKLIGHT SHIELD TO REMAIN UNCHANGED. (B1, UO, G1)
	SB	UNV.	CREE	OSOW-C-6L-40K7-3M-UL- WHITE	LED (6075umens/ 4000W/40W)	EXISTING LED WALL PACK TO REMAIN UNCHANGED. (B1, UO, G1)
10	SC	UNV.	CREE	NTA-A-NM-13-11L-40K-UL- W/NTA-BR5F-11L W/OSOW-DIMSW UNB	LED (7575umens/ 4000W/40W)	NW TWIN-HEAD LED LIGHT POLE (B1, UO, G1) OVERALL MOUNTING HEIGHT = 5'-3" PROVIDE WITH INTERNAL OCCUPANCY/DARKNESS SENSOR
10	SD	UNV.	CREE	OSOW-C-6L-40K7-3M-UL- WHITE	LED (6075umens/ 4000W/40W)	NEW LED WALL PACK TO MATCH EXISTING B1, UO, G1. PROVIDE WITH INTERNAL OCCUPANCY/DARKNESS SENSOR

SCHEDULE NOTES:

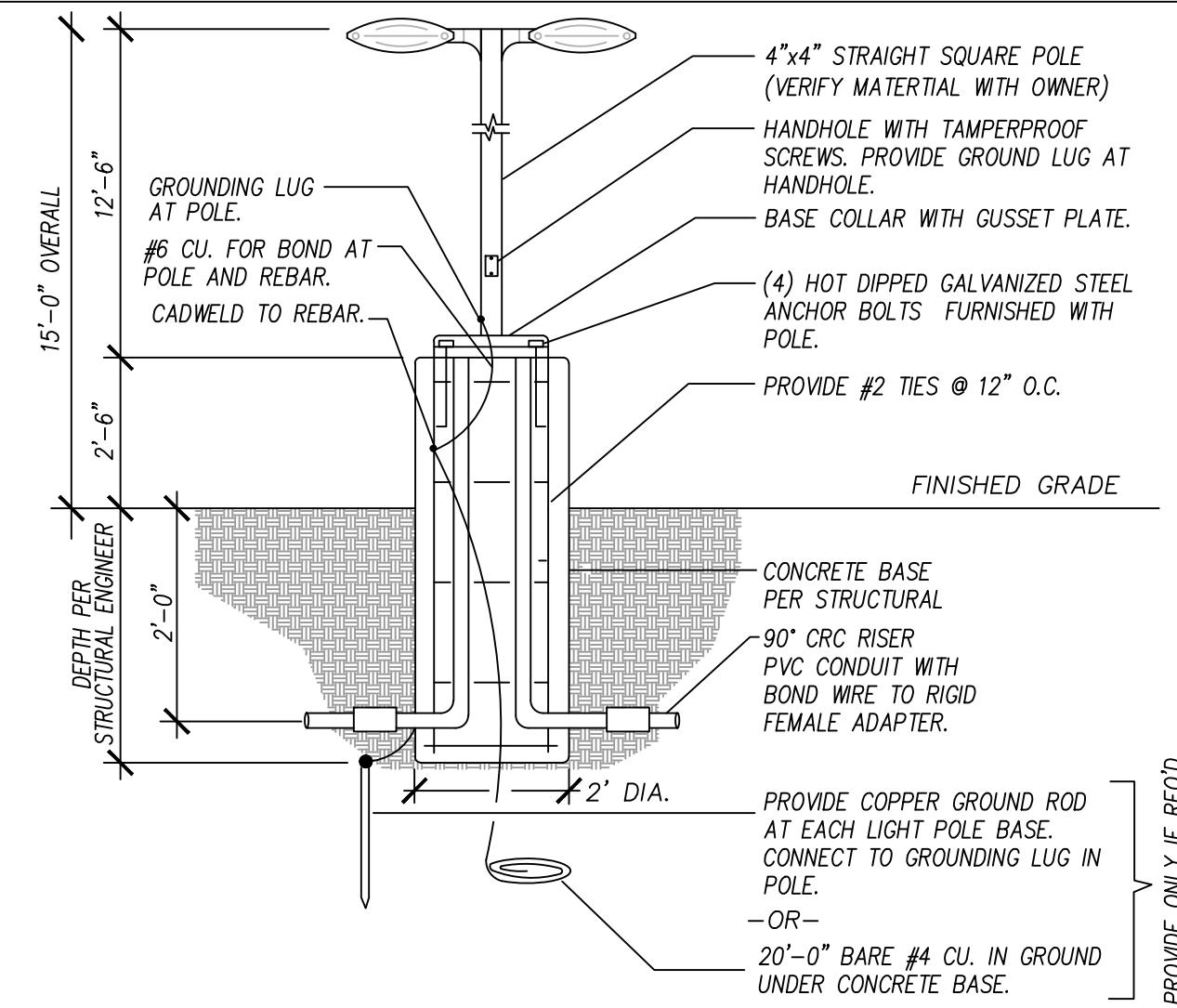
1. ALL EMERGENCY FIXTURE SHALL PROVIDE MINIMUM OF 90-MINUTE BATTERY BACK-UP, UNLESS A LIFE SAFETY GENERATOR IS PRESENT, THEN CONNECT TO EMERGENCY BACKUP CIRCUITING IN THE AREA. IF THE GENERAL LIGHTING IN THE AREA IS HD, ALL FIXTURES IN THE AREA SHALL HAVE A MINIMUM OF A 10-MINUTE TIME DELAY.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE A BASE BID OFF THE LIGHT FIXTURE SCHEDULE. ALTERNATES MAY BE SUBMITTED AFTER AWARD OF CONTRACT, PROVIDING THE BID IS SUBMITTED WITH WRITTEN OWNER APPROVAL AND IS PRICED DEDUCT FROM THE BASE BID. ANY RE-DESIGN PROVIDED BY AN ALTERNATE PACKAGE SHALL BE BILLED TO THE ELECTRICAL CONTRACTOR.
3. MODULAR WIRING IS ACCEPTABLE.
4. ALL DIMMED EMERGENCY FIXTURES SHALL BE PROVIDED WITH UL924 SHUNT RELAY DEVICE WHEN NOT PROVIDED INTEGRAL TO LIGHT FIXTURE.
5. ALL DIMMED LIGHTING ZONES SHALL HAVE DEDICATED NEUTRAL.

ALL CREE CONTROLS MUST BE REGISTERED WITH THE STATE OF CALIFORNIA PRIOR TO ORDERING ANY FIXTURES/CONRTOLS. NO EXCEPTIONS WILL BE MADE FOR FAILURE TO COMPLY.

POLE MOUNTED DETAIL-TYPES "SA1"/"SA2"/"SA3"



POLE MOUNTED DETAIL-TYPE "SC"



SITE LIGHTING NOTE:

ALL LIGHT FIXTURES SHALL BE AIMED AND SHIELDED SO THAT THE DIRECT ILLUMINATION SHALL BE CONFINED TO THE PROPERTY BOUNDRIES OF THE SOURCE OR THE ADJOINING PUBLIC RIGH OF WAY. LIGHTING SHALL NOT BE AIMED ONTO ADJACENT PROPERTIES.

NOTE:

ALL SITE LIGHTING BRANCH CIRCUIT
AND HOMERUN CONDUCTORS SHALL BE
#8CU (XHHW) WITH #8 CU BOND IN
1-1/4" C. MINIMUM U.N.O.

CALL PRIOR TO ANY EXCAVATION!
(800) 782-5348



Know what's below.
Call before you dig.



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TEMPE, ARIZONA 85284
80.345.8457 www.mahoneyarch.com

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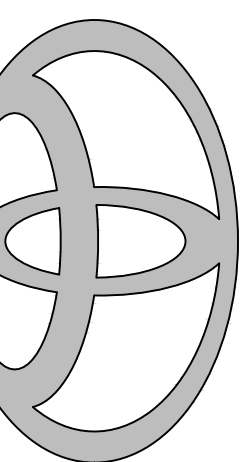
WELCH & SANDON DESIGN, LLC
ELECTRICAL CONSULTING ENGINEERS
PROJECT CONTACT: BRIAN R. SANDON
WSD PROJECT# 23-390

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www.welch-sandon.com

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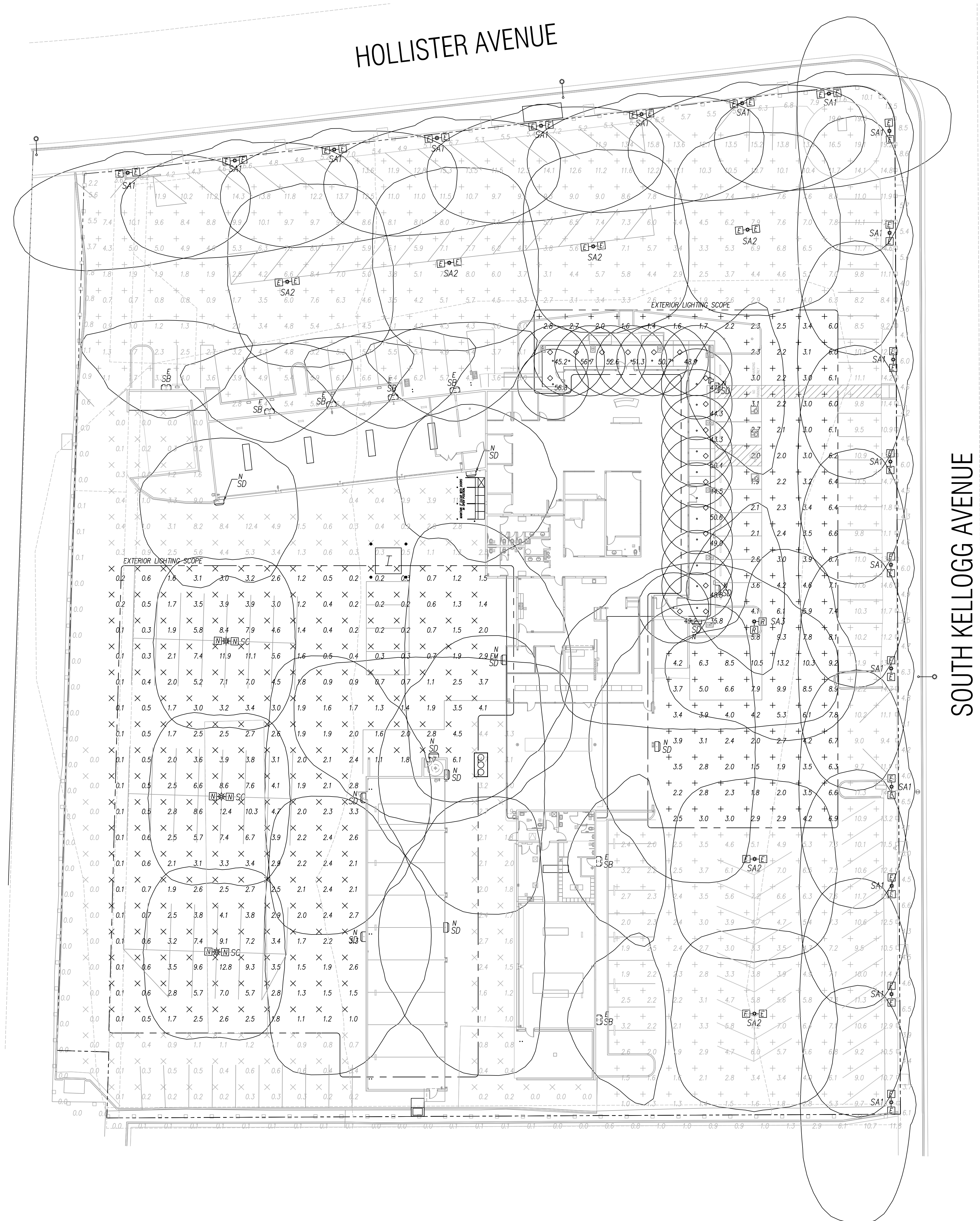
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ELECTRICAL SITE PLAN

ES11

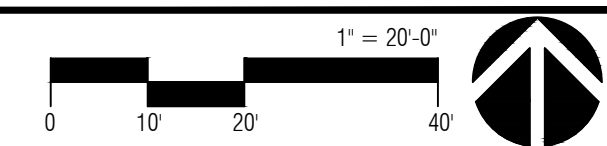
ELECTRICAL SITE PLAN



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
○	F3S	21	Prescolite	LFR-6RD-M-30L-40K WD-DW1-EM		1	3088	1	24.3
□	SA1	18	Cree Lighting	NTA-A-NM-T3-11L-40K- UL-BZ w/NTA-BLSF-11L	Noctura Area Luminaire, Type III Distribution w/ Backlight Shield, 11L Lumen Package, 40K	1	7236	1	150.2
□	SA2	6	Cree Lighting	NTA-A-NM-T3-11L-40K- UL-BZ w/NTA-BLSF-11L	Noctura Area Luminaire, Type III Distribution w/ Backlight Shield, 11L Lumen Package, 40K	1	7236	1	150.2
□	SA3	1	Cree Lighting	NTA-A-NM-T3-11L-40K- UL-BZ w/NTA-BLSF-11L	Noctura Area Luminaire, Type III Distribution w/ Backlight Shield, 11L Lumen Package, 40K	1	7236	1	150.2
□	SB	7	Cree Lighting	OSQW-C-6L-40K7-3M-UL- WM-xx-xx-xx	OSQW-C Wall Mount Luminaire, 6L Lumen Package, 4000K 70CRI, Type 3M Optics	1	6086	1	40.6
□	SC	3	Cree Lighting	NTA-A-NM-T3-11L-40K- UL-BZ w/NTA-BLSF-11L	Noctura Area Luminaire, Type III Distribution w/ Backlight Shield, 11L Lumen Package, 40K	1	7236	1	150.2
□	SD	12	Cree Lighting	OSQW-C-6L-40K7-3M-UL- WM-xx-xx-xx	OSQW-C Wall Mount Luminaire, 6L Lumen Package, 4000K 70CRI, Type 3M Optics	1	6086	1	40.6

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CANOPY	◇	48.5 fc	56.8 fc	35.8 fc	1.6:1	1.4:1
FRONT LOT	+	6.4 fc	19.3 fc	0.7 fc	27.6:1	9.1:1
PROPERTY LINE	□	3.2 fc	12.5 fc	0.0 fc	N/A	N/A
BACK LOT	×	2.2 fc	12.8 fc	0.0 fc	N/A	N/A

PHOTOMERTIC SITE PLAN



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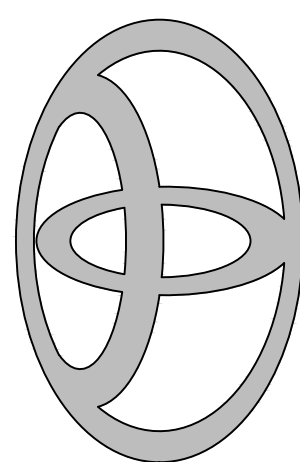
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PHOTOMETRIC
SITE PLAN

ES12

Noctura Series

LED Area Luminaires

Product Description

The Noctura® LED Area luminaire minimizes cost of ownership with easy installation, high performance and quality backed by a Cree Lighting 3-year limited warranty. The Noctura Series has a coordinated style across area, flood and wall mount luminaires to provide a consistent daytime appearance across a building site or campus. Versatile mounting configurations offer installation flexibility and ease of application for direct pole, fence or vertical flat surface mounting.

Applications: Ideal for both retrofit and new installation: parking area, security, or site pathway applications.

Performance Summary

Lumen Output: Up to 35,400 lumens

Efficacy: Up to 150 LPW

CRB: Minimum 70 CRI

CCT: 4000K, 5000K

Limited Warranty: 5 years on luminaires, mounts, backlight shields, bird spikes, occupancy sensor and cabinet/1 year on remaining field-installed accessories

See www.creeledighting.com/warranty for warranty terms.

Accessories

Field-Installed

Backlight Shield

N7A-BLSP-11L

- For use with 11L only

N7A-BLSP-19L

- For use with 19L only

N7A-BLSP-35L

- For use with 35L only

Bird Spikes

N7A-BSPIC-25L

- For use with 19L only

- For use with 35L only

Button Protocol

A-2002

- For use with 11L only

N7A-BLSP-11L

- For use with 19L only

N7A-BLSP-19L

- For use with 35L only

Pole Mounted Occupancy Sensor

N7A-PMOS-11L

- Requires A-2002

N7A-PMOS-19L

- Requires A-2002

N7A-PMOS-35L

- Requires A-2002

Hard-Wired Remote

N7A-HWR-11L

- For use with 11L only

N7A-HWR-19L

- For use with 19L only

N7A-HWR-35L

- For use with 35L only

Shoring Cap

N7A-SC-11L

- For use with 11L only

N7A-SC-19L

- For use with 19L only

N7A-SC-35L

- For use with 35L only

Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately.

Example: Mount: N7A-DK-BZ-U • Luminaire: N7A-A-NM-T3-11L-40K-UL-BZ

Mount Luminaire must be ordered separately:

Direct Arm Mounts

N7A-DK-BZ-U (125-480 Wd)

- Direct Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

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N7A-DK-BZ-U (125-480 Wd)

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- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

N7A-DK-BZ-U (125-480 Wd)

- Standard Arm Mount

TYPES: "SA1/SA2/SA3/SC"

OSQ Series

OSQW™ LED Wall Mount Luminaire featuring Patented NanoComfort® Technology

Product Description

The OSQW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang, 3-Bay and dual gang single gang, 3-Bay. The luminaire allows for through-wired or conduit entry from the top, bottom, side and rear. The housing design is intended specifically for LED technology including a waterproof LED driver compartment and thermal management. Optic design features high-efficiency illumination delivered precisely where it is needed.

Applications: General area and security lighting

Performance Summary

Utilizes Patented NanoComfort® Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

Input Power: 16 - 55 watts

Efficacy: Up to 150 LPW

CRB: Minimum 70 CRI (2700K, 3000K, 4000K & 5000K), 90 CRI (5000K)

CCT: 2700K, 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years for luminaire/10 years for Colorfast DeltaGuard® finish/5 years for (BKL and MLI, non-warranty) 5 years for Synapse® accessories/1 year for accessories

Limited Warranty Emergency Back Up (EB) Battery: 1 year for Battery Back Up. Test regularly in accordance with local code

See www.creeledighting.com/warranty for warranty terms. For Synapse accessories, consult Synapse spec sheets for details

Accessories

Field-Installed

Back Plate

WM-PLT-11" (125-480 Wd)

- Back Plate

WM-PLT-19" (125-480 Wd)

- Back Plate

WM-PLT-35" (125-480 Wd)

- Back Plate

Synapse® Simplex™ On-Site Controller

SSC-001

- Requires 11L or 19L

SSC-002

- Requires 19L or 35L

Synapse® Simplex™ 100 Interface

SI-100

- Requires 11L or 19L

SI-100

- Requires 19L or 35L

Synapse® Simplex™ Base Station

BS-001

- Requires 11L or 19L

BS-002

- Requires 19L or 35L

Synapse® Simplex™ Sensor

SS-001

- Requires 11L or 19L

SS-002

- Requires 19L or 35L

Synapse® Simplex™ Relay

SR-001

- Requires 11L or 19L

SR-002

- Requires 19L or 35L

Synapse® Simplex™ Switch

SW-001

- Requires 11L or 19L

SW-002

- Requires 19L or 35L

Synapse® Simplex™ Dimmer

DM-001

- Requires 11L or 19L

DM-002

- Requires 19L or 35L

Synapse® Simplex™ Relay

SR-001

- Requires 11L or 19L

SR-002

- Requires 19L or 35L

Synapse® Simplex™ Switch

SW-001

- Requires 11L or 19L

SW-002

- Requires 19L or 35L

Synapse® Simplex™ Dimmer

DM-001

- Requires 11L or 19L

DM-002

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- Requires 11L or 19L

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- Requires 11L or 19L

SW-002

- Requires 19L or 35L

Synapse® Simplex™ Dimmer

DM-001

- Requires 11L or 19L

DM-002

- Requires 19L or 35L

Synapse® Simplex™ Relay

SR-001

- Requires 11L or 19L

SR-002

- Requires 19L or 35L

Synapse® Simplex™ Switch

SANTA BARBARA TOYOTA - SHOP ADDITION

CONCEPTUAL CIVIL PLAN

CITY OF GOLETA

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF DEMOLISHING AND RELOCATING AN EXISTING, UNPERMITTED DETACHED SERVICE CANOPY STRUCTURE IN ORDER TO MEET THE CITY OF GOLETA'S 100-FOOT STREAM SIDE PROTECTION AREA (SPA) BUFFER REQUIREMENTS. A NEW SERVICE SHOP, SERVICE DRIVE AND SHOWROOM ADDITIONS ARE ALSO PROPOSED. A DETACHED NEW CAR DELIVERY CANOPY WILL BE LOCATED ON THE NORTH SIDE OF THE BUILDING. A NEW TOYOTA BRAND WALL IS PROPOSED AT THE ENTRY OF THE BUILDING.

PROJECT APPLICANT:

VAG TSBCA RE, LLC

PROPERTY INFORMATION:

5611 HOLLISTER AVE,
GOLETA, CA 93117
APN: 071-140-083

CIVIL ENGINEER:

DIAMOND WEST, INC.
23801 CALABASAS RD, SUITE 1034,
CALABASAS, CA 91302
(818) 591-1050

ARCHITECT:

JOHN MAHONEY ARCHITECT
850 W. ELLIOT ROAD, SUITE #108,
TEMPE, ARIZONA 85284
(480) 345-8457

SURVEYOR:

CENTERGEO
2828 CALLE QUEBRACHO,
THOUSAND OAKS, CA 91360
(323) 401-7776

MEP:

MECHANICAL DESIGNS, INC.
7227 N. 16TH STREET,
SUITE#200,
PHOENIX, AZ 85020

ZONING AND GENERAL PLAN:

GENERAL PLAN : OLD TOWN AND GENERAL COMMERCIAL PLAN
ZONING: C-2 RETAIL COMMERCIAL,
C-3 GENERAL COMMERCIAL

AREA:

GROSS/NET LOT AREA: 121,100.82 SF (2.78 AC)

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GOLETA, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: (APN: 071-140-083 PER COUNTY ASSESSOR'S MAP)

ALL OF PARCEL 1, IN THE CITY OF GOLETA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS SHOWN ON OF PARCEL MAP NO. 32,063 FILED JUNE 15, 2021 IN BOOK 67, PAGES 26 THROUGH 30, INCLUSIVE OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

AN EASEMENT TO USE, IMPROVE, REPAIR AND MAINTAIN A ROAD UPON AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:
A PORTION OF RANCHO LA GOLETA AS PER MAP RECORDED IN BOOK A OF PATENTS OF PAGE 4 IN THE OFFICE OF THE RECORDER OF SANTA BARBARA COUNTY, AND FURTHER DESCRIBED:
BEGINNING IN THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY, A CORPORATION, RECORDED JUNE 3, 1955,
IN BOOK 1318 AT PAGE 100 OF OFFICIAL RECORDS OF SAID COUNTY;
THENCE, NORTH 89° 11' WEST, EIGHT FEET; THENCE, NORTH 0° 56' EAST, PARALLEL WITH THE CENTER LINE OF THAT COUNTY ROAD, 40 FEET WIDE, AS SAID ROAD IS SHOWN ON A MAP FILED IN BOOK 26 OF RECORDS OF SURVEY AT PAGE 31 IN THE OFFICE OF SAID COUNTY RECORDER, TO THE SOUTHERLY RIGHT OF WAY LINE OF HOLLISTER AVENUE, APPROXIMATELY 100 FEET WIDE; THENCE, WESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE POINT OF INTERSECTION OF THE CENTER LINE OF SAID COUNTY ROAD, 40 FEET WIDE; THENCE, SOUTH 0° 56' WEST, 146.40 FEET; THENCE, SOUTH 89° 11' EAST, 20 FEET; THENCE, NORTH 0° 56' EAST, 50 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

AN EASEMENT, 4 FEET IN WIDTH, FOR RECIPROCAL LANDSCAPE AND DRAINAGE IN FAVOR OF PARCEL ONE OF PARCEL MAP 32,063, OVER AND THROUGH PARCEL TWO, AS SHOWN ON THE MAP REFERRED TO HEREINABOVE.

071-140-083 per County Assessor's Map

FLOOD ZONE:

ZONE AO, X AND AE PER FEMA FIRM MAP No. 06083C1362H
DATED SEPTEMBER 28, 2019.

ABBREVIATIONS:

APN	ASSESSOR'S PARCEL NUMBER
BLDG	BUILDING
CB	CATCH BASIN
CL	CENTER LINE
CONC	CONCRETE
DIA	DIAMETER
DWY	DRIVEWAY
EG	EXISTING GROUND
ELEC	ELECTRICAL
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GROUND
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
FT	FEET
GB	GRADE BREAK
GF	GARAGE FLOOR
H	HEIGHT
HC	HANDICAPPED/ACCESSIBLE SPACE
HP	HIGH POINT
INV	INVERT
MB	MAP BOOK
MC	MOTORCYCLE
MH	MANHOLE (UTILITY)
PA	PLANTER AREA
P/L	PROPERTY LINE
PP	POWER POLE
PR	PROPOSED
RIM	RIM ELEVATION
ROW	RIGHT OF WAY
SD	STORM DRAIN
SF	SECOND FLOOR
SW	SIDEWALK
SWR	SEWER
TC	TOP OF CURB
TEL	TELEPHONE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TW	TOP OF WALL
(TYP)	TYPICAL
UNKN	UNKNOWN
UP	UTILITY POLE
WM	WATER METER
WTR	WATER
WV	WATER VALVE

SHEET INDEX:

SHEET C-1 - COVER SHEET
SHEET C-2 - EXISTING CONDITIONS PLAN
SHEET C-3 - CONCEPTUAL GRADING PLAN
SHEET C-4 - CONCEPTUAL EROSION CONTROL PLAN
SHEET C-5 - EROSION CONTROL DETAILS AND NOTES
SHEET C-6 - GRADING AND STORMWATER DETAILS



COVER SHEET

SANTA BARBARA TOYOTA

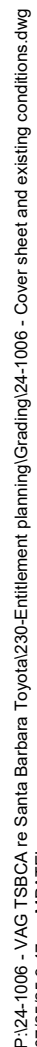
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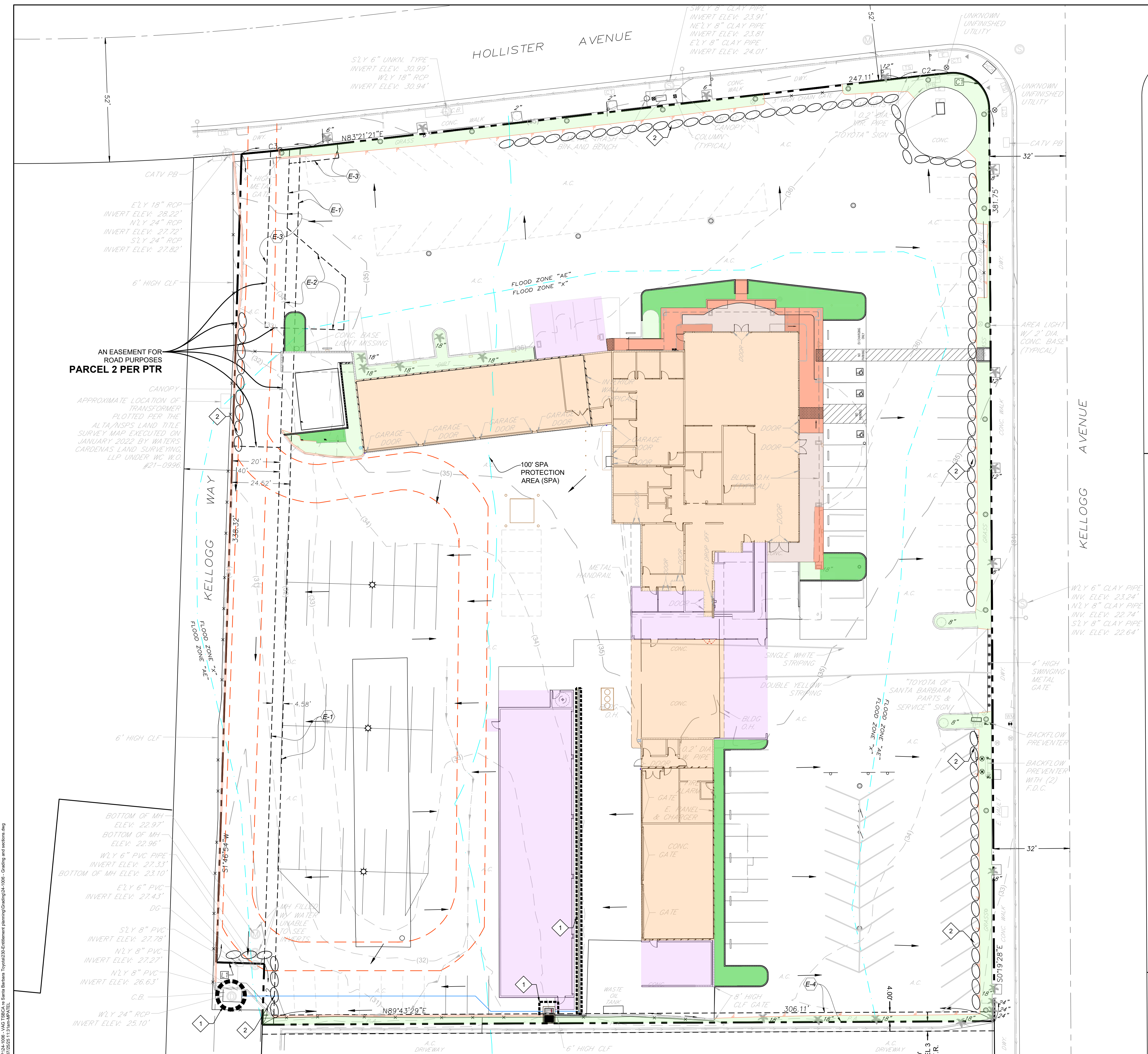
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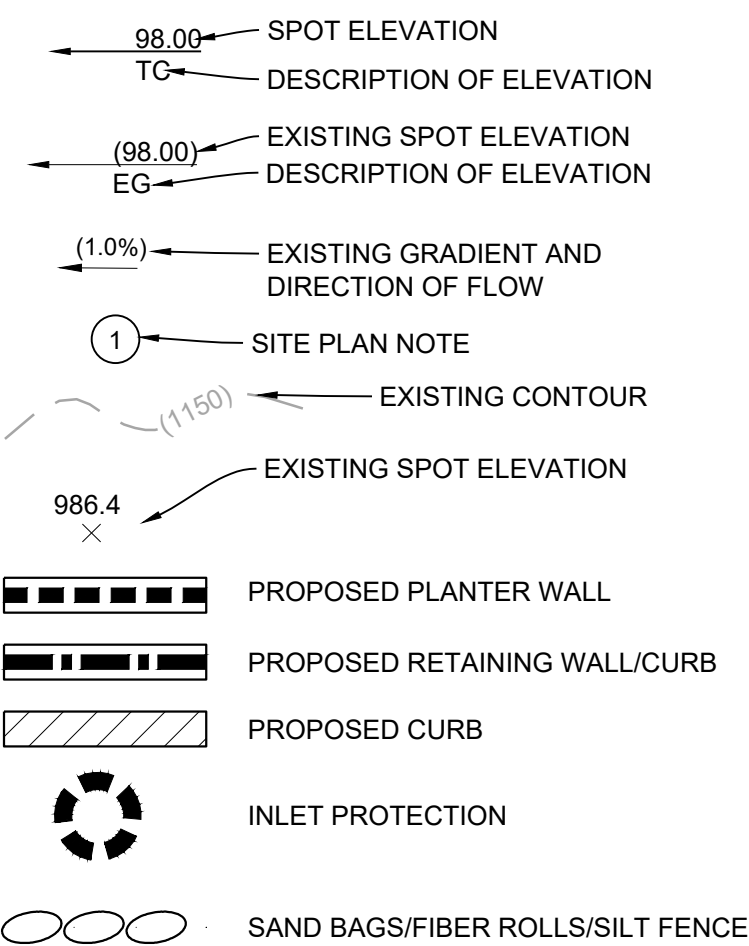
SHEET C-1 OF 6











23



LEGEND:



- | | |
|---|---------------------------|
|  | PAVEMENT OVERLAY |
|  | EXISTING STRUCTURE |
|  | PROPOSED STRUCTURE |
|  | EXISTING CONCRETE WALKWAY |
|  | NEW CONCRETE WALKWAY |
|  | EXISTING LANDSCAPE |
|  | PROPOSED LANDSCAPE |

- 
 SUBJECT PARCEL BOUNDARY
 STORM DRAIN (PROPOSED)
 DAYLIGHT LINE
 EASEMENTS
 ROAD CL
 FLOOD ZONE OR 100' SPA

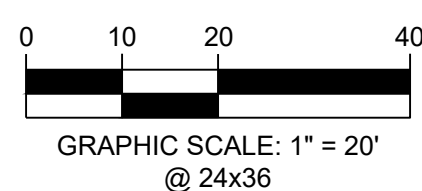
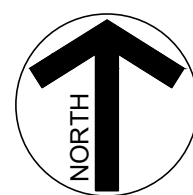
Construction Notes:

- 1 Install storm drain inlet protection, per BMP SE-10. See Detail 'A' on sheet 5. Relocate as necessary during construction.
- 2 Install sand bags or fiber rolls or silt fence, per BMP SE-8 or SE-5 or SE-1. See Detail 'C', 'D' and 'B' on sheet 5. Relocate as necessary during construction.

NOTE: Contractor may relocate construction entrance and/or other erosion control measures as needed during construction.

Erosion Control Notes:

1. Existing utility locations are approximate. Contractor shall verify locations and elevations prior to construction and notify utility company of any conflicts.
2. Contractor to obtain encroachment permit from City for grading/removal with in public right-of-way.
3. Refer to CASQA BMP manual for current BMP details and requirements.
4. Outline of proposed at-grade portion of building.



CONCEPTUAL EROSION CONTROL PLAN

SANTA BARBARA TOYOTA

PREPARED BY:	
--------------	--



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SHEET C-4 OF 6

Erosion and Sediment Control Plan (ESCP) General Notes:

1. In case of emergency, call _____ at _____.
2. A stand-by crew for emergency work shall be available at all times during the rainy season (November 1 to April 15). Necessary materials shall be available on-site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain is imminent.
3. Erosion control devices shown on this plan may be removed when approved by the Building Official if the grading operation has progressed to the point where they are no longer required.
4. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of slope at the conclusion of each working day. All loose soils and debris that may create a potential hazard to off-site property shall be stabilized or removed from the site on a daily basis.
5. All silt and debris shall be removed from all devices within 24 hours after each rainstorm and be disposed of properly.
6. A guard shall be posted on the site whenever the depth of water in any device exceeds two feet. The device shall be drained or pumped dry within 24 hours after each rainstorm. Pumping and draining of all basins and drainage devices must comply must comply with the appropriate BMP for dewatering operations.
7. The placement of additional devices to reduce erosion damage and contain pollutants within the site is left to the discretion of the Field Engineer. Additional devices as needed shall be installed to retain sediments and other pollutants on site.
8. Desilting basins may not be removed or made inoperable between November 1 and April 15 of the following year without the approval of the Building Official.
9. Storm Water Pollution and Erosion Control devices are to be modified, as needed, as the project progresses, the design and placement of these devices is the responsibility of the field engineer. Plans representing changes must be submitted for approval if requested by the Building Official.
10. Every effort should be made to eliminate the discharge of non-storm water from the project sites at all times.
11. Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses, or wind.
12. Stockpiles of earth and other construction-related materials must be protected from being transported from the site by the forces of wind or water.
13. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soils and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
14. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
15. Developers/contractors are responsible to inspect all Erosion Control Devices and BMPs are installed and functioning properly if there is a 50% or greater probability of predicted precipitation, and after actual precipitation. A construction site inspection checklist and inspection log shall be maintained at the project site at all times and available for review by the Building Official (copies of the self-inspection check list and inspection logs are available upon request).
16. Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
17. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
18. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
19. Developers/contractors are responsible to inspect all Erosion Control Devices and BMPs are installed and functioning properly as required by the State Construction General Permit. A construction site inspection checklist and inspection log shall be maintained at the project site at all times and available for review by the Building Official.
20. The following BMPs from the "2009 Construction BMP Handbook/Portal" must be implemented for all construction activities as applicable. As an alternative, details from "Caltrans Stormwater Quality Handbooks, Construction Site Best Management Practices (BMP) Manual" may be used. Additional measures may be required if deemed appropriate by the Building Official.



EROSION CONTROL DETAILS AND NOTES

SANTA BARBARA TOYOTA

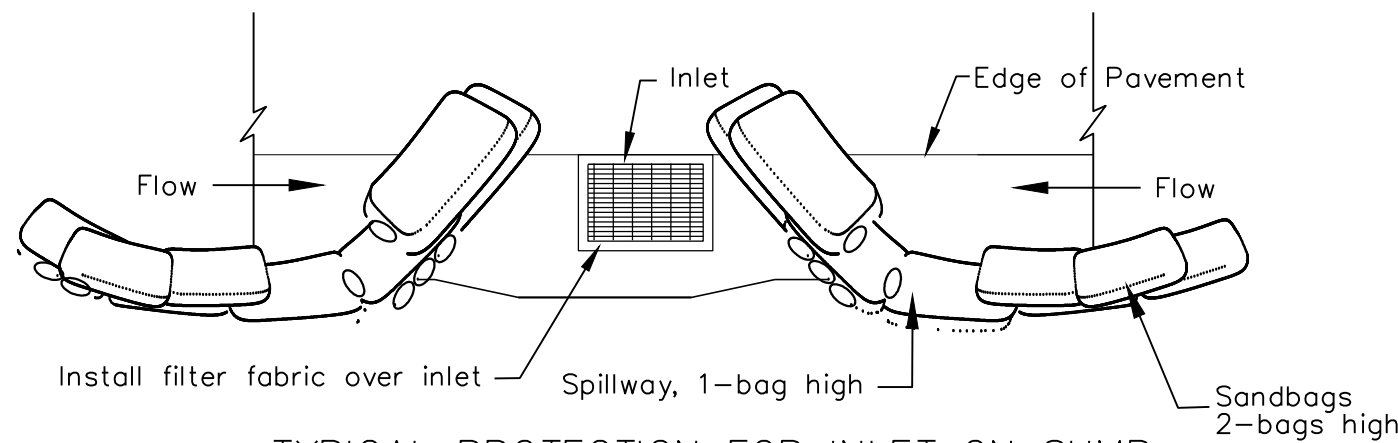
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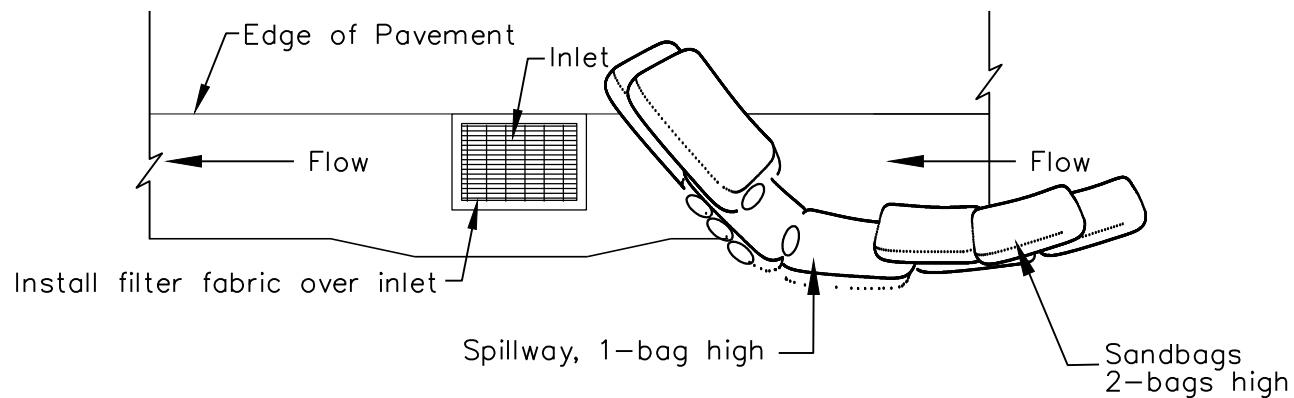
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SHEET C-5 OF 6



TYPICAL PROTECTION FOR INLET ON SUMP



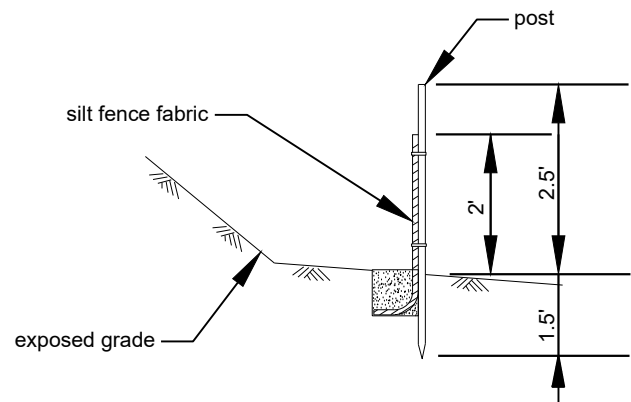
TYPICAL PROTECTION FOR INLET ON GRADE

NOTES:

1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

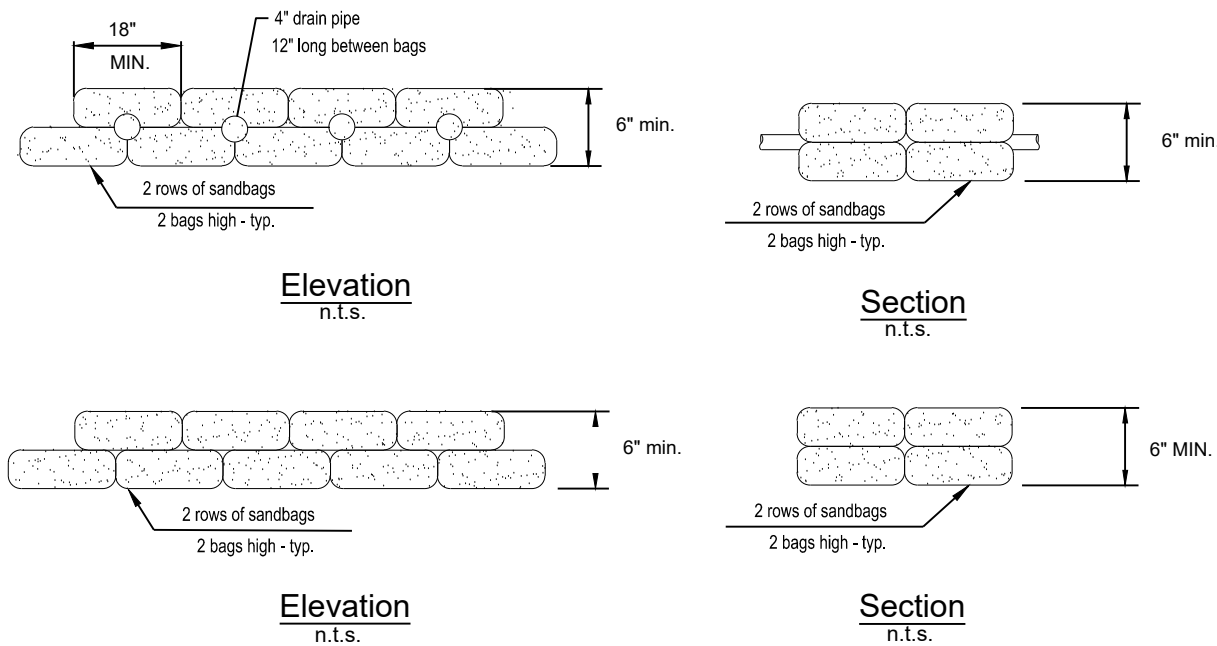
A DRAIN INLET PROTECTION - SC-10

(not to scale)



B TEMPORARY SILT FENCE - SE-1

(not to scale)



C SANDBAGGING DETAIL - SE-8

(not to scale)



STRUCTURE DETAILS	
NUMBER OF DELIVERED PIECES (DOES NOT INCLUDE GRADE RINGS/RISERS)	2
MAXIMUM FOOTPRINT	7.00' x 5.00'
DELIVERED HEAVIEST PICK*	12600 LB.
TOP SLAB	2250 LB.
BASE SECTION	12600 LB.

*BASE SECTION SHIPPED WITH
INTERNAL WALLS INSTALLED

PROJECT No.: 825753	SEQ. No.: 010	DATE: 04/17/25
DESIGNED: AWW	DRAWN: AWW	
CHECKED: AWW	APPROVED: AWW	
SHEET NO.: 1 OF 1		

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CONTECH
PROPOSAL
DRAWING

MODULAR WETLANDS MWSL0406OP - 825753-010
SANTA BARBARA TOYOTA
SANTA BARBARA, CA
SITE DESIGNATION: MWSL0406

GRADING AND STORMWATER DETAILS

SANTA BARBARA TOYOTA

PREPARED BY:



civil engineering • land surveying • land planning

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SHEET C-6 OF 6

