



TO: Goleta Design Review Board

FROM: Luisa Negrete, Assistant Planner

SUBJECT: Kyle's Kitchen Restaurant New Patio 6831 Hollister Avenue Suite D;
APN 073-100-038, Case Nos. 26-0003-DPAM/26-0011-DRB

DRB ACTIONS FOR CONSIDERATION:

1. Adopt DRB and California Environmental Act Findings provided as Attachment A;
2. Recommend adoption of CEQA Categorical Exemption Section 15301(a) and 15311 as provided in Attachment B; and
3. Conduct Conceptual/Preliminary/ Final review and approve (or approve with conditions).

If the findings cannot be made to approve the request at this meeting, the DRB can either continue the item for additional information/redesign or deny the request specifically identifying the reasons for the denial.

PROJECT DESCRIPTION:

This is a request for **Conceptual/Preliminary/Final** for a new 593 square foot elevated outdoor patio seating area for Kyle's Kitchen restaurant which will be relocated in the Target Shopping Center. The proposed location will be in the inline building of the Target Shopping Center. Three parking spaces will be removed to accommodate the new patio. Approval of a Development Plan Amendment will be required to facilitate the land use approval of the new elevated patio area, following the DRB review and approval. The proposed project consists of:

- Removal of a portion of an existing landscape planter on the west side of the patio and installation of a new landscape planter on the east side of the patio.
- Two new eucalyptus Ficifolia trees at each landscape planter on the west and east side of the patio.
- Replacement of three parking spaces and the adjoining stairs with a new 593 square foot elevated covered patio area for outdoor seating without new lighting.
- At the highest point, the patio will be elevated 16 feet above the parking lot so the floor

of the patio will be at the same level as the arcade walkway in front of the business.

- The base of elevated patio will be concrete and beige colored. One top of the base, there will be a 42" high oxidized carbon steel fence guard to secure the patio area.
- The patio will be covered with a 10' high, 29' 3" wide, approximately 593 square foot metal pergola painted in the color walnut stain. In the area between the patio and the drive aisle, a 2-foot-wide planter with enchantress shrubs will be installed. area.

No new square footage is proposed to the existing buildings.

The subject property has a Zoning and General Plan Land Use designation of Community Commercial (CC) and is located in the Inland Zone and is subject to the Goleta Commercial Architecture and Design standards. The project does not include a request for adjustments or modifications, and no development is proposed within 300 feet of an Environmentally Sensitive Habitat Area (ESHA).

The project was filed by Kyle Dickson, of Windward Design Services LLC, for Kyle's Kitchen Restaurant, tenant.

DISCUSSION:

The proposed patio is consistent with all setbacks, building height, and parking associated with the development standards for the CC designation. Even with the loss of the 3 parking spaces, the site will provide 473 parking spaces which exceeds the 294.8 requirement. Further, the Fire Department has reviewed the proposal and did not raise any concerns with the proposal.

The Goleta Architecture and Design Standards for Commercial Projects apply to commercial and industrial development and include standards relating to site layout, project design, landscaping, and transportation access.

Several policies in the City's Visual and Historic Resources Element of the General Plan are applicable to the Project and are shared below.

VH 4.5 Retail Commercial Areas. [GP] The following standards shall be applicable to retail commercial development:

- a. Buildings and structures shall be designed to be compatible with adjacent development relative to size, bulk, and scale.
- b. Where appropriate, buildings should be sited at or near the front setback line to project a desirable architectural image contiguous to the street and to promote pedestrian access.
- c. Quality architectural design shall be maintained through the use of detailing and high quality, durable materials. Blank wall planes shall be avoided.
- d. Safe, convenient pedestrian and bicycle access shall be provided and encouraged via continuous sidewalks; bike lanes; and sufficient, secure, and protected bicycle parking.

Landscaping should be used where possible to buffer pedestrians and cyclists from traffic. Where feasible, other pedestrian amenities such as outdoor seating shall be provided.

- e. Commercial displays, outdoor dining, and outdoor shopping cart storage shall not encroach into pedestrian accessways.
- f. Shopping cart returns should be conveniently located and screened.
- g. Public transit shall be encouraged through effective placement of stops for local and regional transit services. Existing stops shall be upgraded as appropriate.
- h. Landscaping, including canopy trees, shall be used extensively to unify the structural development, reinforce the pedestrian scale, minimize heat and glare from pavement, and break up expanses of parking.
- i. Shared vehicular access shall be considered to minimize the number of driveways and curb cuts.
- j. Where appropriate, parking lots should be located behind, beside, or beneath buildings to minimize visibility. Where buildings do not screen parking, landscaping, berms, or low walls shall be used to screen cars from adjacent roadways and other developments.
- k. Parking lots should provide adequate space for maneuverability and safety. Angled parking spaces are encouraged rather than 90-degree parking stalls to increase visibility for drivers and pedestrians.
- l. Loading areas and recycling and trash facilities shall be easily accessed and shall be screened from view with landscaping, fencing, or walls. Adjacent uses shall be considered when such areas are sited.
- m. Roof mounted equipment shall be screened and considered as part of the structure for height calculations.

VH 4.9 Landscape Design. [GP] Landscaping shall be considered and designed as an integral part of development, not relegated to remaining portions of a site following placement of buildings, parking, or vehicular access. Landscaping shall conform to the following standards:

- a. Landscaping that conforms to the natural topography and protects existing specimen trees is encouraged.
- b. Any specimen trees removed shall be replaced with a similar size tree or with a tree deemed appropriate by the City.
- c. Landscaping shall emphasize the use of native and drought-tolerant vegetation and should include a range and density of plantings including trees, shrubs, groundcover, and vines of various heights and species.
- d. The use of invasive plants shall be prohibited.
- e. Landscaping shall be incorporated into the design to soften building masses, reinforce pedestrian scale, and provide screening along public streets and off-street parking areas.

The needed actions associated with the proposed changes include Design Review (Chapter 17.58) and a Development Plan Amendment (Section 17.52.100(C)). Should the DRB approve the design elements associated with the project, staff will proceed with processing a Development Plan Amendment for the Planning Director's approval. The Director must determine that the alterations are in substantial conformity with the previous discretionary approval such that the changes would not be substantially different than the

original project and would not alter the scope and intent of the approval the Review Authority originally acted on.

ENVIRONMENTAL REVIEW (NOE):

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301(a) and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA Guidelines per Sections 15301(a) and Section 15311 because the proposed project includes minor exterior alterations involving negligible or no expansion of the use at an existing commercial shopping center. Further, the addition of the patio area and new landscaping are minor accessory improvements that will enhance the viability of the tenant.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; exterior improvements to an existing building is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because while the project site does contain hazardous waste none of the improvements are altering the ground. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource. Additionally, the project's site does not contain any identified significant cultural resources.

NEXT STEPS

If the DRB grants the applicant's request, the next steps include: (1) a 10-day DRB appeal period; (2) DPAM approval and appeal period; (3) Final DRB review; (4) ministerial issuance of an Effectuating Zoning Clearance; and (5) review and approval by Building & Safety ("Building Permits").

If the DRB action is appealed and the appeal is upheld, DRB's action will be rescinded and the DRB process will start over.

ATTACHMENTS:

Attachment A - Findings of Approval

Attachment B – Notice of Exemption

Attachment C – Project Plans

Attachment D – Architecture and Design Standards for Commercial Projects

ATTACHMENT A

FINDINGS OF APPROVAL

**DRB Findings for Development
6831 HOLLISTER AVENUE SUITE D
Case No. 25-0006-DP, 26-0011-DRB**

DESIGN REVIEW FINDINGS (GMC SECTION 17.58.080)

1. The development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.

The proposed project is limited to new elevated covered patio for outdoor seating, two new eucalyptus Ficifolia trees in a planter, and a new landscape planter to replace the removed landscape in front of an existing building. No new building floor area is proposed. No additional square footage to the buildings is proposed and the changes will be in scale with the size and bulk of on-site development. The existing building with the proposed exterior changes is compatible with the neighborhood.

2. Site layout, orientation, and location of structures, including any signage and circulation, are in an appropriate and harmonious relationship to one another and the property.

There is no change to the orientation, or location of the building as the building already exists. Furthermore, the proposed exterior changes are limited to removal of parking spaces and landscape with the construction of a new elevated covered patio for outdoor seating. While parking will be lost, there is sufficient parking remaining on the site as noted in the staff report and the placement of the new elevated covered parking and landscape changes will not affect the site layout, orientation, or location of the existing structures. Additional landscaping is proposed to match the existing landscaping of the shopping center. The layout, orientation, and location of the elevated covered patio is in an appropriate and harmonious relationship with the building and the property. Signage is not part of this review.

3. The development demonstrates a harmonious relationship with existing adjoining development, avoiding both excessive variety as well as monotonous repetition, but allowing similarity of style, if warranted.

The proposed improvements harmonize with the existing building's architecture. The exterior modifications adhere to the current style and materials of the shopping center. The proposed patio finishes and colors align with the design of the recent Storke Plaza facade remodel.

4. There is harmony of material, color, and composition on all sides of structures.

The proposed materials and colors are appropriate for a commercial building and are in harmony with each other and match the recent façade remodel colors and finishes of the shopping center

5. Any outdoor mechanical or electrical equipment is well integrated in the total design and is screened from public view to the maximum extent practicable.

No outdoor mechanical or electrical equipment is proposed.

6. The site grading is minimized, and the finished topography will be appropriate for the site.

No grading is proposed other than the minimal amount necessary to create the patio areas from the planter areas.

7. Adequate landscaping is provided in proportion to the project and the site with due regard to preservation of specimens and protected trees, and existing native vegetation.

Two new eucalyptus Ficifolia trees and a landscape planter box filled with enchantress shrubs will be installed. No specimens or protected trees will be removed. The proposed landscaping will align with the shopping centers' approved landscape palette.

8. The selection of plant materials is appropriate to the project and its environment, and adequate provisions have been made for long-term maintenance of the plant materials.

The proposed plantings will harmonize with the existing landscape palette of the shopping center. The existing irrigation system will ensure the long-term maintenance of the new trees and plants.

9. All exterior lighting, including for signage, is well designed, appropriate in size and location, and dark-sky compliant.

No new exterior lighting is proposed.

10. The project architecture will respect the privacy of neighbors, is considerate of private views, and is protective of solar access off site.

The proposed project is to create a new elevated-covered outdoor seating area to serve the restaurant tenant and is located within an existing shopping center. The proposed improvements will not affect privacy of neighbors, impact existing views, and will not result in obstruction of solar access to other adjacent properties given the nature and place of the improvements given its placement, orientation, and located within a commercial corridor.

11. The proposed development is consistent with any additional design standards as expressly adopted by the City Council. (Ord. 20-03 § 6).

As well as the City of Goleta Zoning Ordinance, the City of Goleta Architecture and Design Standards for Commercial Projects document, adopted on April 7, 2003, is applicable for this project. The project conforms to the applicable standards related to building colors and materials as identified in the document.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301 and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA Guidelines per Sections 15301(a) and Section 15311 because the proposed project includes minor exterior alterations involving negligible or no expansion of the use at an existing commercial shopping center. Further, the addition of the patio area and new landscaping are minor accessory improvements that will enhance the viability of the tenant.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; exterior improvements to an existing building is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because while the project site does contain hazardous waste none of the improvements are altering the ground. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource. Additionally, the project's site does not contain any identified significant cultural resources.

ATTACHMENT B

CEQA NOTICE OF EXEMPTION

To: Office of Planning and Research
P.O. Box 3044, 1400 Tenth St. Rm. 212
Sacramento, CA 95812-3044

From: City of Goleta
130 Cremona Drive, Suite B
Goleta, CA 93117

Clerk of the Board of Supervisors
County of Santa Barbara
105 E. Anapamu Street, Room 407
Santa Barbara, CA 93101



Subject: Filing of Notice of Exemption

Project Title:

Kyle's Kitchen Restaurant New Patio
Case Nos: 26-0003-DPAM/26-0011-DRB

Project Applicant:

Kyle Dickson, of Windward Design Services LLC, on behalf of Kyle's Kitchen, tenant.

Project Location (Address and APN):

6831 Hollister Avenue Suite D
Goleta, CA 93117
County of Santa Barbara
APN: 073-100-038

Description of Nature, Purpose and Beneficiaries of Project:

The applicant, Kyle's Kitchen, requests a Development Plan Amendment (DPAM) to the previously approved Development Plan 83-DP-17 to make changes to the parking and landscaping adjacent to the inlight shop building at the Target Shopping Center in Goleta CA.

The proposed project consists of:

- Removal of a portion of an existing landscape planter on the west side of the patio and installation of a new landscape planter on the east side of the patio.
- Two new eucalyptus ficifolia trees at each landscape planter on the west and east side of the patio.
- Replacement of three parking spaces and the adjoining stairs with a new 593 square foot elevated covered patio area for outdoor seating without new lighting.
- At the highest point, the patio will be elevated 16 feet above the parking lot so the floor of the patio will be at the same level as the arcade walkway in front of the business.
- The base of elevated patio will be concrete and beige colored. One top of the base, there will be a 42" high oxidized carbon steel fence guard to secure the patio area.
- The patio will be covered with a 10' high, 29' 3" wide, approximately 593 square foot metal pergola painted in the color walnut stain. In the area between the patio and the drive aisle, a 2-foot-wide planter with enchantress shrubs will be installed. area.

No new square footage is proposed to the existing buildings.

Name of Public Agency Approving the Project:

Design Review Board of the City of Goleta for Case No. 26-0011-DRB
Planning Director of the City of Goleta for Case No. 26-0003-DPAM

Name of Person or Agency Carrying Out the Project:

Kyle Dickson, of Windward Design Services LLC, on behalf of Kyle's Kitchen, tenant.

Exempt Status:

Categorical Exemption: § 15301(a) and §15311

Reason(s) why the project is exempt:

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301 and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

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ATTACHMENT C

PROJECT PLANS

GN- GENERAL NOTES

- 1.0 ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CBC, 2022 CMC, 2022 GEC, 2022 CPC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 CFC, 2022 CA ENERGY COMMISSION STANDARDS & ALL AMENDMENTS AS ADOPTED IN CITY OF GOLETA MUNICIPAL ORDINANCE, SANTA BARBARA COUNTY ORDINANCE 4773 & SANTA BARBARA COUNTY GRADING ORDINANCE 4766
- 2.0 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 3.0 THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- 4.0 ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- 5.0 THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES & TECHNIQUES
- 6.0 ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
- 7.0 EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
- 8.0 ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF STUD, FACE OF PLYWOOD WHERE PRESENT, CONCRETE, OR MASONRY
- 9.0 SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED MANDATORY ENERGY FEATURES FOR WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
- 10.0 PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- 11.0 UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- 12.0 AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBC 4.410]

KYLE'S KITCHEN

6831D HOLLISTER AVE, GOLETA, CA

PROJECT DATA

SCOPE OF WORK -
OUTDOOR SEATING

NOTE: TENANT IMPROVEMENT UNDER SEPARATE PERMIT.

LOCATION: 6831D HOLLISTER AVE
APN: 073-100-038

JURISDICTION: CITY OF GOLETA
LAND USE ZONE: C-2

LOT SIZE: 1.24 AC / 54,014 SF
AVERAGE SLOPE OF PROPERTY: 2 %

OCCUPANCY CLASSIFICATION (E): B
OCCUPANCY CLASSIFICATION (P): B

CONSTRUCTION TYPE: V-B

SPRINKLERS: YES

STORIES: 1
HEIGHT: 15-FT
HIGH FIRE HAZARD AREA: NO
FLOOD ZONE: NO

PARKING SPACE CALCULATION -
6831 HOLLISTER AVE (M-OCCUPANCY): 115,729 SF
6831 HOLLISTER AVE (A-2/B-M-OCCUPANCY): 17,912 SF
TOTAL (E) BUILDING AREA: 133,641 SF

TOTAL PARKING REQUIRED (PER 17.38.040) -

LOCATION	OCC TYPE	MULTIPLIER	AREA SF	PARKING
6865 HOLLISTER	RETAIL SALES	500	115,729 SF	231.5
6831 HOLLISTER	OUTDOOR DINING	250	534 SF	2.1
6831 HOLLISTER	EATING & DRINKING	250	11,523 SF	46.1
6831 HOLLISTER	RETAIL SALES	500	6,390 SF	12.8
6831D PATIO	EATING & DRINKING	250	575 SF	2.3
			134,176 SF	294.8

TOTAL PARKING PROVIDED -
STANDARD PARKING: 463 STALLS
ADA PARKING: 10 STALLS
TOTAL PARKING 473 STALLS

OCCUPANCY CALCULATIONS -

FUNCTION OF SPACE	OCC FACTOR	AREA	OCC COUNT
ASSEMBLY UNCONCENTRATED	15 SQFT	534	36
TOTAL OCCUPANTS:			36

PROJECT STATISTICS

STATUS	LEVEL	DESCRIPTION	BLD AREA	GROSS FLR ...
Existing	1ST-FLR	6831 HOLLISTER AVE	18,276	17,912
New	1ST-FLR	OUTDOOR PATIO	593	593
			-	-

PROJECT TEAM

CLIENT:
KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117
EMAIL: JAY.FERRO@KYLESKITCHEN.COM

DESIGN & ENGINEERING:
PROFESSIONAL OF RECORD
STEVEN REICHEL, P.E. 61155
WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
TEL: 805.845.6601
EMAIL: INFO@WINDWARDENG.COM

APPROVAL STAMPS

Vicinity Map



WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

KYLE'S KITCHEN
OUTDOOR SEATING
6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO: 5254

CLIENT
KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117



PUBLISHED: 4/7/2026 10:53 AM

DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
GENERAL

G001



C- CONSTRUCTION NOTES

C1 GENERAL

C1.1 THESE NOTES CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED ELSEWHERE WITHIN THESE DOCUMENTS OR WITHIN THE VOC EMISSIONS LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS COPH STANDARD METHOD 11.1 OR SPECIFICATION 01350).

C1.2 UNLESS OTHERWISE NOTED, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS.

C1.3 ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND, WHERE ADDRESS CANNOT BE VIEWED FROM PUBLIC WAY A MONUMENT OR POLE SHALL BE WORK TO BE EXECUTED BY INDIVIDUALS EXPERIENCED IN THEIR OWN FIELDS OF EXPERTISE

C1.4 CRAWL SPACE CLEARANCE

C2.1 MAINTAIN MINIMUM CLEARANCE OF 18" BETWEEN WOOD JOISTS AND GRADE WITH 12" MINIMUM CLEARANCE FOR GARDENS, OR USE PRESSURE TREATED LUMBER.

C3 CRAWL SPACE ACCESS

C3.1 ACCESS TO BE MINIMUM 24" WIDE BY 18" HIGH.
C3.2 IF A CLASS 1 VAPOR BARRIER IS INSTALLED OVER THE SOIL, THE REQUIRED VENTILATION AREA CAN BE REDUCED TO 1 SF FOR EACH 1,500 SF OF UNDER-FLOOR AREA.
C3.3 ACCESS OPENINGS SHALL BE EFFECTIVELY SCREENED OR COVERED.

C4 CRAWL SPACE VENTILATION

C4.1 UNDER-FLOOR VENTILATION TO BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS INTO THE UNDER-FLOOR AREA WALLS. OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SF FOR EACH 150 SF OF UNDER-FLOOR AREA. AT LEAST 1 OPENING SHALL BE LOCATED WITHIN 3 FT OF EACH CORNER AND SHALL PROVIDE FOR CROSS VENTILATION IN ALL CRAWLSPACE AREAS. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES
C4.2 IF A CLASS 1 VAPOR BARRIER IS INSTALLED OVER THE SOIL, THE REQUIRED VENTILATION AREA CAN BE REDUCED TO 1 SF FOR EACH 1,500 SF OF UNDER-FLOOR AREA.
C4.3 OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION. IN HIGH FIRE HAZARD ZONES OPENINGS TO HAVE A MINIMUM SIZE OF 1/16" AND MAXIMUM SIZE NOT TO EXCEED 1/8".

C5 ATTIC ACCESS

C5.1 ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTICS OF BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION. EXCEPTION: ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30".
C5.2 ATTICS THAT INCLUDE MECHANICAL EQUIPMENT SHALL HAVE APPROPRIATELY SIZED ACCESS OPENINGS TO ALLOW REMOVAL OF EQUIPMENT FOR SERVICING OR REPLACEMENT BUT SHALL NOT BE LESS THAN 22" X 30".
C5.3 OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
C5.4 PROVIDE WEATHER STRIPPING AT ACCESS PANEL TO PREVENT BACK DRAFT.

C6 ROOF VENTILATION

C6.1 NOTE: USE OF VYVENE INSULATION AT RAFTER BAYS NEGATES NEED FOR VENTILATION STIPULATED BELOW
C6.2 ENCLOSED RAFTER SPACES THAT ARE CREATED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL BE INDIVIDUALLY VENTED
C6.3 THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED
C6.4 UNLESS IN DESIGNATED HIGH FIRE AREA, VENTING SHALL BE ACCOMPLISHED BY MEANS OF EAVE VENTS AND A RIDGE VENT
C6.5 A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING

C7 SAFETY GLAZING REQUIREMENTS

C7.1 GLAZING IN SIGNS AND SIGNING DOORS (EXCEPTION: WARDROBE DOORS).
C7.2 GLAZING IN STORM DOORS.
C7.3 GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLDING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
C7.4 GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 48 INCHES OF EITHER THE DOOR OR A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
C7.5 WHERE GLAZING WITH PANE LARGER THAN 9 SF, A BOTTOM EDGE WITHIN 18" OF THE FLOOR, A TOP EDGE MORE THAN 36" ABOVE THE FLOOR, & A WALKING SURFACE WITHIN 36" HORIZONTALLY OF GLAZING.

C8 DOORS & WINDOWS

C8.1 UNLESS NOTED OTHERWISE, AS MUCH AS IS PRACTICABLE, TOPS OF WINDOWS ARE TO FLUSH WITH TOPS OF NEARBY DOORS.
C8.2 PROVIDE 3/8" MINIMUM CLEARANCE BETWEEN BOTTOM OF INTERIOR DOORS AND FINISH FLOOR HEIGHTS TO ALLOW FOR AIR CIRCULATION RELATED TO FAU AND VENTILATION FANS.
C8.3 EGRESS WINDOWS REQUIRED AT ALL BEDROOMS. MIN NET OPENING TO BE 5.7 SF W/ MIN HT OF 24", MIN WIDTH OF 20", AND SILL HT NO MORE THAN 44" ABOVE FLOOR. EXCEPTION: MIN GRADE-FLOOR NET OPENING TO BE 5.0 SF, A FLOOR OR LANDING, BEING AT THE SAME ELEVATION IS REQUIRED AT EACH SIDE OF A DOOR. EXCEPTION: WITH DOORS SERVING AN INDIVIDUAL DWELLING UNIT, A LANDING AT AN EXTERIOR DOOR MAY BE UP TO 7/8" LOWER THAN TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. LANDINGS TO BE ≥ 44" IN THE DIRECTION OF TRAVEL AND ≥ THE WIDTH OF THE DOOR OR STAIRWAY SERVED; WHICHEVER IS GREATER.
C8.4 EXCEPTION: LANDINGS SERVING INDIVIDUAL RESIDENCE MUST BE ≥ 36" IN THE DIRECTION OF TRAVEL. A THRESHOLD SHALL BE NO HIGHER THAN 0.5". THRESHOLDS EXCEEDING 0.25" SHALL BE BEVELED WITH A SLOPE NOT TO EXCEED 50%.
C8.5 DOORS SERVING INDIVIDUAL DWELLING UNITS OR A PRIVATE GARAGE MAY OPEN AT AN INTERIOR FLIGHT OF STAIRS, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRS.
C8.7 ELEVATIONS IN FLOOR LEVEL DUE TO FINISH MATERIALS SHALL NOT EXCEED 0.5". CHANGES IN LEVEL GREATER THAN 0.5" SHALL BE RAISED.
C8.8 UNO, DOOR HANDLES TO BE LEVER TYPE, CURVED, & RETURN TO WITHING 0.5" OF THE DOOR. 'R' & 'M' OCCUPANCIES WITH UP TO 10 OCCUPANTS ARE EXEMPT.
C8.10 UNO IN ENERGY REPORT OR ON PLANS, (N) FENESTRATION TO HAVE MAX U-FACTOR OF 0.30 & MAX SHGC OF 0.23
C8.11 PROVIDE SOLDERED DOOR PAN AT EXTERIOR DOORS
C8.14 WINDOWS, GLAZED DOORS & GLAZED OPENINGS WITHIN DOORS SUBJECT TO WILDFIRE CODE REQUIREMENTS SHALL BE DUAL GLAZED WITH A MINIMUM OF ONE TEMPERED PANE, OR BE GLASS BLOCK UNITS, OR BE 20 MINUTE FIRE-RATED WHEN TESTED IN ACCORDANCE WITH NFPA 257 OR BE TESTED TO MEET SFM STANDARD 12-7A-2
C8.15 EXTERIOR DOORS SUBJECT TO WILDFIRE CODE REQUIREMENTS SHALL OBSERVE ONE OF THE FOLLOWING: EXTERIOR FINISH OR GLAZING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL. SHALL BE CONSTRUCTED OF SOLID-CORE WOOD, MIN 1-3/8" THICK WITH RAISED PANELS MIN 1-1/4" THICK, EXCEPT FOR THE PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO TONGUE NOT LESS THAN 3/4" THICK, OR SHALL HAVE A 20-MIN RATING AS TEST PER NFPA 252.

C10 FIREPLACES

C10.1 FOR PRE-MANUFACTURED FIREPLACE UNIT, REFER TO INSTALLATION INSTRUCTIONS FOR SPECIFIC CLEARANCE, COMBUSTION AIR, & INSTALLATION REQUIREMENTS.
C10.2 METAL OR GLASS DOORS, COVERING ENTIRE FIREBOX OPENING, THAT CAN CLOSE WHILE FIRE IS BURNING REQUIRED.
C10.3 2" MIN. CLR. BETWEEN COMBUSTIBLE MATERIALS & FIREPLACE, SMOKE CHAMBER, OR CHIMNEY WALLS.
C10.4 6" MIN. CLR. BETWEEN FIREPLACE OPENING & COMBUSTIBLE MATERIALS. COMBUSTIBLE MATERIALS WITHIN 12" OF OPENING SHALL PROJECT NO MORE THAN 1/8" FOR EACH 1" CLR. FROM OPENING.
C10.5 HEARTH SHALL EXTEND AT LEAST 16" FROM THE FRONT OF FIREPLACE AND 8" BEYOND EACH SIDE OF FIREPLACE OPENING, OR 20" & 12" RESPECTIVELY, IF OPENING IS ≥ 6 SF. HEARTHS TO BE BRICK, STONE, CONCRETE OR OTHER APPROVED NON-COMBUSTIBLE MATERIAL. SHALL BE AT LEAST 4" THICK, AND SUPPORTED BY NON-COMBUSTIBLE MATERIALS OR SELF-SUPPORTING. INTERIOR HEARTHS SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR.
C10.6 SITE-BUILT MASONRY FIREPLACES TO BE FABRICATED BY LICENSED PROFESSIONALS FAMILIAR WITH THE APPROPRIATE CODE, ENERGY AND SAFETY REQS.
C10.7 CHIMNEYS TO EXTEND AT LEAST 2' ABOVE ANY PORTION OF THE STRUCTURE WITHIN 10' HORIZONTALLY AND AT LEAST 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF ASSEMBLY
C10.8 WHERE A MASONRY OR METAL RAIN CAP IS INSTALLED ON A MASONRY CHIMNEY, THE NET FREE AREA UNDER THE CAP SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY FLUE IT SERVES.
C10.9 SOLID FUEL BURNING CHIMNEYS TO BE TERMINATED WITH APPROVED SPARK ARRESTOR

C11 WEATHER-RESISTIVE BARRIERS

C11.1 EXTERIOR WALLS TO BE COVERED WITH TYVEK HOMEWRAP (ICC ER-4000) - OR EQUAL & INSTALLED PER MFG INSTALLATION INSTRUCTIONS.
C11.2 DUPONT FLASHING TAPE (OR EQUAL) TO BE INSTALLED PER INSTALLATION INSTRUCTIONS AT WINDOWS AND DOORS
C11.3 PROVIDE SOLDERED DOOR PAN AT EXTERIOR DOORS
C11.4 UNO, PROVIDE 10 MIL VAPOR RETARDER (OR EQUAL) @ CONCRETE SLABS FOR HABITABLE SPACES. PROVIDE MIN 6" LAPS @ VAPOR BARRIER BREAKS

C12 SLOPES @ STRUCTURE PERIMETER

C12.1 UNO PER PLAN, IMPERMEABLE SURFACES ABUTTING NON-RESIDENTIAL STRUCTURES TO BE SLOPED AWAY FROM STRUCTURE @ 1% MIN FLOOR AT LEAST 10'

C12 ROOFING

C12.1 ROOF COVERING TO HAVE MINIMUM CLASS A RATING
C12.2 ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY AND INSTALLED PER MFG INSTRUCTIONS
C12.3 CLAY ROOF TILES TO BE INSTALLED PER TILE ROOFING INSTITUTE (WWW.TILEROOFING.ORG) INSTALLATION INSTRUCTIONS (ICC-ES ESR-2019P)
C12.4 ASPHALT SHINGLES NOT ALLOWED ON ROOF PITCHES <2:12 UNO. INSTALL CERTAINTED SHINGLES (ICC-ES ESR-3537 FOR ROOF PITCHES ≥2:12 AND <4:12, ASPHALT STRIP SHINGLES MAY BE INSTALLED, PROVIDED THE SHINGLES ARE APPROVED SELF-SEALING OR ARE HAND SEALED AND ARE INSTALLED WITH AN UNDERLAYMENT CONSISTING OF TWO LAYERS OF NON-PERFORATED TYPE 15 FELT APPLIED SHINGLE FASHION, STARTING WITH AN 18-INCH-WIDE (457 MM) SHEET AND A 36-INCH-WIDE (914 MM) SHEET OVER IT AT THE EAIVES, EACH SUBSEQUENT SHEET SHALL BE LAPPED 19 INCHES (483 MM) HORIZONTALLY
C12.6 UNO PER PLAN, MINERAL SURFACED ROLL ROOFING TO BE USED AT SLOPES ≥ 8% AND < 17% (2:12)
C12.7 UNO PER PLAN, BUILT-UP ROOFING TO BE USED AT SLOPES ≥ 2% AND < 8% (1:12)
C12.8 UNO PER PLAN, COAL-TAR BUILT-UP ROOFING TO BE USED AT SLOPES ≥ 1% AND < 2% (1/4:12)
C12.9 UNO PER PLAN, INSTALL 2 LAYERS GRADE 70 BLDG PAPER OVER ROOF SHEATHING
C12.10 UNO PER PLAN, WHEN PROVIDED, VALLEY FLASHINGS IN AREAS SUBJECT TO WILDFIRE EXPOSURE, ARE NOT TO BE LESS THAN 26 GALVANIZED SHEET GAUGE CORROSION RESISTANT METAL INSTALLED OVER A MIN 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF MIN 72 POUND MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING

C15 FAU ATTIC CONSTRUCTION REQUIREMENTS

C15.1 ATTIC ACCESS TO BE A MINIMUM OF 30"X22" OR SIZE NECESSARY TO FACILITATE INSTALLATION OR SUBSEQUENT REPLACEMENT OF THE EQUIPMENT, WHICHEVER IS GREATER
C15.2 AN UNOBSTRUCTED PASSAGEWAY WHICH IS NO MORE THAN 20 FT IN LENGTH, HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE, AND INCLUDES A SERVICE SPACE AT LEAST 30"X30" AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT
C15.3 CHECK INSTALLATION INSTRUCTIONS FOR MINIMUM COMBUSTIBLE AIR REQUIREMENTS. ADDITIONAL ATTIC VENTILATION MAY BE NECESSARY
C15.4 UNLESS OTHERWISE NOTED IN INSTALLATION INSTRUCTIONS, MAINTAIN MINIMUM 3" CLEARANCE FROM TOP, BACK & SIDES (TOTAL OF BOTH SIDES SHALL BE AT LEAST 12").

C16 GYPSUM

C16.1 INSTALL GYPSUM PER GYPSUM ASSOCIATION INSTALLATION INSTRUCTIONS GA-216-07. AT WWW.GYPSUM.ORG/
C16.2 UNO ALL GYPSUM TO BE 5/8" THICK.

C17 STAIRS

C17.1 WIDTH - MIN 36" STAIR FOR OCCUPANT LOADS < 50, MIN 44" FOR HIGHER OCCUPANCY LOADS, UNO PER FLOOR OR EGRESS PLAN, MIN 48" IF STAIR UNIT IS PART OF AN ACCESSIBLE MEANS OF EGRESS
C17.2 HEADROOM - MIN 80" CLEARANCE AT NOSING
C17.3 RISER - 4" TO 7" RISER HEIGHT WITH MAX VARIANCE IN HEIGHT OF 3/8" RISER TO BE VERTICAL & SOLID
C17.4 TREAD - 11" MIN DEPTH WITH MAX VARIANCE OF 3/8" RADIUS AT LEADING EDGE OF TREAD ≤ 9/16"
C17.5 NOSING PROJECTION OVER TREAD BEING ≤ 1-1/4"

C18 EXTERIOR STUCCO OR PLASTER CEMENT

C18.1 WATER-RESISTIVE BARRIER - PROVIDE MIN 2 LAYERS OF GRADE D PAPER OR EQUIVALENT
C18.2 METAL LATH & LATH ATTACHMENTS TO BE OF CORROSION-RESISTANT MATERIAL
C18.3 PROVIDE MIN 3 COATS, @ A MIN THICKNESS OF 7/8" (TEXTURE EXCLUDED) IF OVER METAL LATH OR WIRE FABRIC. 2 COATS ALLOWED IF OVER CONCRETE OR MASONRY

C19 GREEN BUILDING STANDARDS

C19.1 RODENT PROOFING: ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUTS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. (SECTION 4.406.1)
C19.2 A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE. (SECTION 4.408.1)
C19.3 BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT A SIGNED AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH. (SECTION 4.410.1)
C19.4 A CERTIFICATE SHALL BE COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE PAINTS, STAINS, AND ADHESIVES COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN CODE.
C19.5 A CERTIFICATE SHALL BE COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCTS, PLYWOOD, AND/OR PARTICLE BOARD COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN CODE.

C20 GUTTER & DOWNSPOUT

C20.1 GUTTERS, WHEN SPECIFIED, TO BE SLOPED @ 1/4" PER 10'
C20.2 AS MUCH AS PRACTICABLE, DOWNSPOUTS TO BE PROVIDED FOR EVERY 20' OF GUTTER. NOTE, WITH DOWNSPOUTS AT 40' OC, & THE "HIGH" POINT CENTERED BETWEEN THE DOWNSPOUTS, THERE WILL BE 1/2" OF FALL FROM HIGH POINT TO NEAREST DOWNSPOUT
C20.3 PROVIDE GUTTER DEBRIS GUARDS SO THAT DEBRIS CAN'T COLLECT IN GUTTERS

C21 PAINTS AND COATINGS

C21.1 ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.5, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.
C21.2 AEROSOL PAINTS & COATINGS SHALL MEET THE PVMR LIMITS FOR ROC IN SECTION 94522(A)(3) & OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS & OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) & (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94522, & IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 4.1
C21.3 5.504.4 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4.

C22 ADHESIVES, SEALANTS AND CAULKS

C22.1 ADHESIVES, ADHESIVE BONDING PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE. OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
C22.2 AEROSOL ADHESIVES, AND SMALLER UNITS SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
C22.3 5.504.4.3.2 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

C23 CARPET SYSTEMS

C23.1 ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET AT LEAST ONE OF THE FOLLOWING TESTING AND PRODUCT REQUIREMENTS: CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM.
C23.2 COMPLIANT WITH THE VOC EMISSIONS LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS COPH STANDARD METHOD 11.1 OR SPECIFICATION 01350).
C23.3 NSF/ANSI 140 AT THE GOLD LEVEL OR HIGHER.
C23.4 SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE, OR
C23.5 COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CA-CHPS) CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE.
C23.6 5.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTES GREEN LABEL PROGRAM.
C23.7 5.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.
C23.8 5.504.4 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS TO BE USED ON THE INTERIOR OR EXTERIOR OF THE BUILDINGS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR (ATCM) COMPOSITE WOOD (17 CCR 93120 ET SEQ.) THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 4.504.5.
C23.9 4.504.5.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUIRED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1. PRODUCT CERTIFICATION AND SPECIFICATION.
2. CHAIN OF CUSTODY CERTIFICATION.
3. PRODUCTS LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 636 3S STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

C24 ACOUSTICAL CONTROL

C24.1 EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OUTDOOR-INDOOR SOUND TRANSMISSIONS CLASS (IOTC) DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2. EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.
C24.2 EXTERIOR NOISE TRANSMISSION. PRESCRIPTIVE METHOD. WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING LOCATIONS:
1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT. EXCEPTIONS: 1. LDN OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (AICUZ) PLAN. 2. LDN OF CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT. 2. WITHIN THE 65 CNEL OR LDN NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.
C24.3 5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE. BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB L_{EQ}-1-HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING, ADDITION OR ALTERATIONS EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MIN STC OF 40 (OR OITC 30).
C24.4 5.507.4.2 PERFORMANCE METHOD. FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1 WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTION TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (LEQ-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.
C24.5 5.507.4.2.1 SITE FEATURES. EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE BUILDING, ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.
C24.6 5.507.4.2.2 DOCUMENTATION OF COMPLIANCE. AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.
C24.7 5.507.4.3 INTERIOR SOUND TRANSMISSION. WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40. NOTE: EXAMPLE OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: [HTTP://WWW.TOOLBASE.ORG/PDF/CASESTUDIES/STC_JCC_RATINGS.PDF](http://www.toolbase.org/pdf/casestudies/stc_jcc_ratings.pdf)



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KYLE'S KITCHEN
OUTDOOR SEATING

6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO.: 5254

CLIENT

KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117

PUBLISHED: 4/7/2026 10:53 AM

DATES

4/7/2026 DBR SUB

SCALE AS NOTED

CREATED BY: WDS

SHEET

GENERAL NOTES

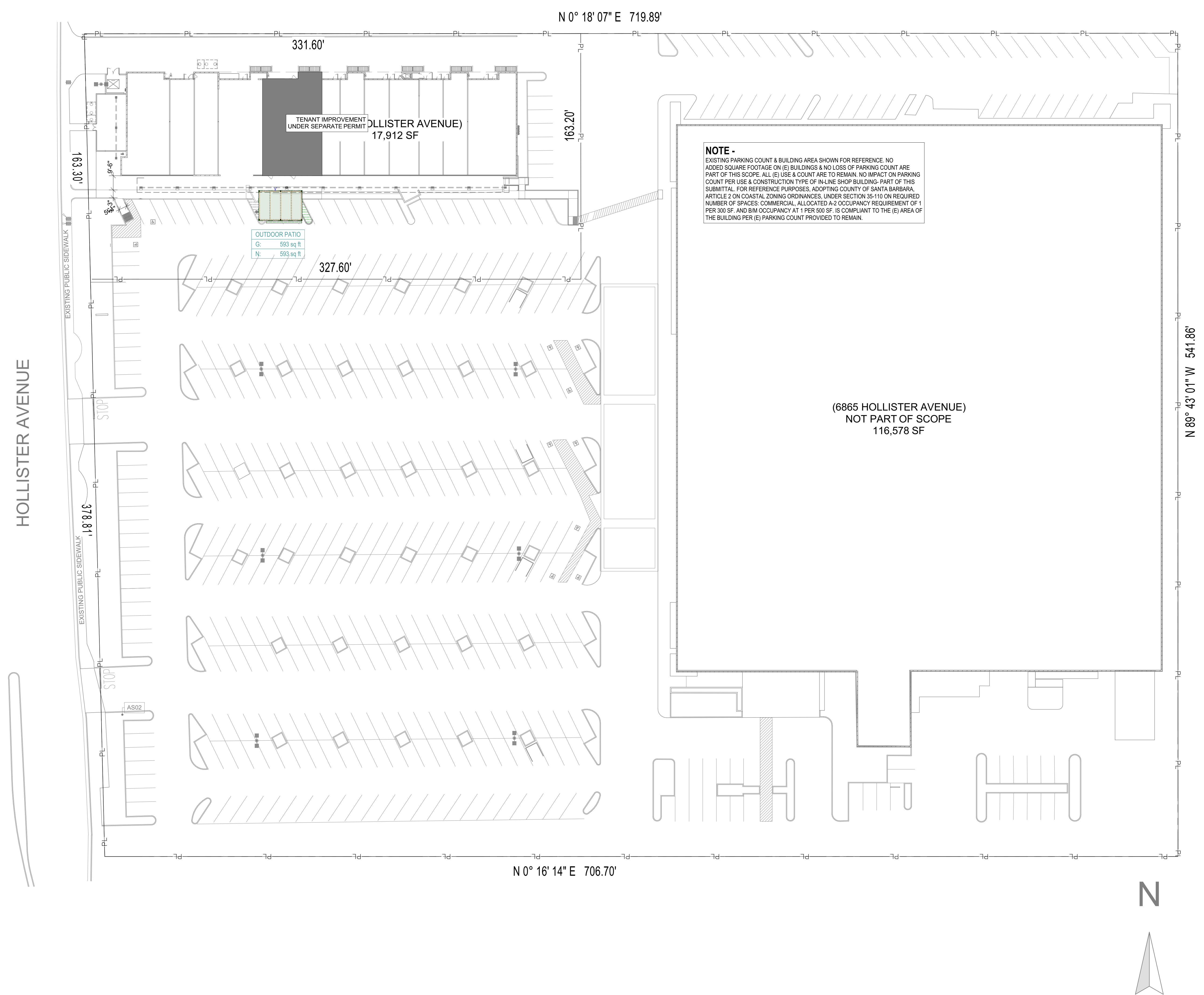
A001

SHEET SIZE 30X42

17



1 ARCHITECTURAL SITE PLAN (OUTDOOR SEATING)
SCALE: 1" = 30'



NOTE -
EXISTING PARKING COUNT & BUILDING AREA SHOWN FOR REFERENCE. NO ADDED SQUARE FOOTAGE ON (E) BUILDINGS & NO LOSS OF PARKING COUNT ARE PART OF THIS SCOPE. ALL (E) USE & COUNT ARE TO REMAIN. NO IMPACT ON PARKING COUNT PER USE & CONSTRUCTION TYPE OF IN-LINE SHOP BUILDING PART OF THIS SUBMITTAL. FOR REFERENCE PURPOSES, ADOPTING COUNTY OF SANTA BARBARA, ARTICLE 2 ON COASTAL ZONING ORDINANCES, UNDER SECTION 35-110 ON REQUIRED NUMBER OF SPACES: COMMERCIAL, ALLOCATED A-2 OCCUPANCY REQUIREMENT OF 1 PER 300 SF. AND SIM OCCUPANCY AT 1 PER 600 SF. IS COMPLIANT TO THE (E) AREA OF THE BUILDING PER (E) PARKING COUNT PROVIDED TO REMAIN.

(6865 HOLLISTER AVENUE)
NOT PART OF SCOPE
116,578 SF

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRO]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CD]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETENTION ZONE (DZ)
[DZI]	DETENTION ZONE INVERT
[DCDA]	DOUBLE CHECK DETECTOR ASSY
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[EL]	ELECTRICAL SERVICE LATERAL
[ED]	ELECTRICAL SERVICE
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FS]	FINISHED SURFACE ELEVATION
[FH]	FIRE HYDRANT
[FL]	FLOOR LEVEL
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVRI]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
[PP]	POWER POLE
[PL]	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RIP-RAP]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SS 4.00]	SANITARY SEWER 4"
[SCPR]	SCUPPER
[SELF RETAINING]	SELF RETAINING
[SELF TREATING]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE OF GRADE 5% MIN FOR 10-FT]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SLOPE OF 2% IMPERVIOUS]	SLOPE OF 2% IMPERVIOUS
[SLOPE OF 1% IMPERVIOUS]	SLOPE OF 1% IMPERVIOUS
[SLOPE PER X %]	SLOPE PER X %
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SW 4.00]	STORM WATER SEWER 4"
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[CW 1.00]	WATER SUPPLY 1"
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WORK AREA]	WORK AREA

WINDWARD
moving forward

WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.8601
E: INFO@WINDWARDENG.COM

KYLE'S KITCHEN
OUTDOOR SEATING

6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO: 5254

CLIENT
KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117



PUBLISHED: 4/7/2026 10:53 AM

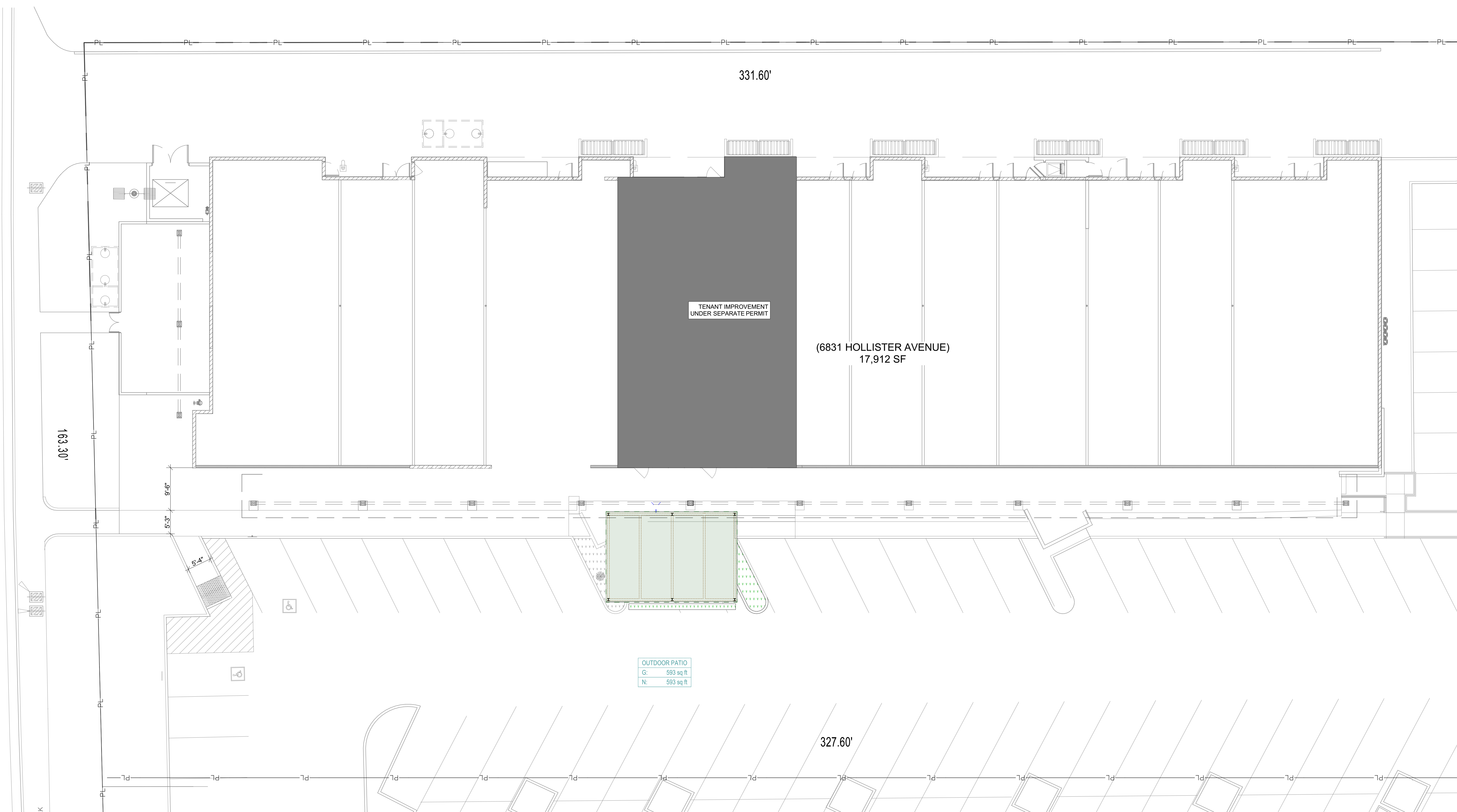
DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
SITE PLAN - OUTDOOR SEATING

A101
SHEET SIZE 30X42
18

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRI]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CD]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETECTION ZONE (DZ)
[DZI]	DETECTION ZONE INVERT
[DCDA]	DOUBLE CHECK DETECTOR ASSY
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[EL]	ELECTRICAL SERVICE LATERAL
[ED]	ELECTRICAL SERVICE
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FF]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FS]	FINISHED SURFACE ELEVATION
[FH]	FIRE HYDRANT
[FL]	FLOOR LEVEL
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVR]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
[PP]	POWER POLE
[PL]	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RR]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SS 4.00]	SANITARY SEWER 4"
[SCPR]	SCUPPER
[SR]	SELF RETAINING
[ST]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE 5%]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SLOPE 2%]	SLOPE OF 2% IMPERVIOUS
[SLOPE 1%]	SLOPE OF 1% IMPERVIOUS
[SLOPE X%]	SLOPE PER X %
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SW 4.00]	STORM WATER SEWER 4"
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[CW 1.00]	WATER SUPPLY 1"
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WA]	WORK AREA



OUTDOOR PATIO
G: 593 sq ft
N: 593 sq ft

1 ENLARGED SITE PLAN (OUTDOOR SEATING)
NOT TO SCALE



PUBLISHED: 4/7/2026 10:53 AM



DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
ENLARGED SITE PLAN

A102

SHEET SIZE 30X42
19

PLANT SCHEDULE						
ID	VIEW	Quantity	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
P1		1	EUCALYPTUS FICIFOLIA	RED FLOWERING GUM	15 GAL	SPECIMAN
P2		5	RHAPHIOSLEPIS INDICA "ENCHANTRESS"	HAWTHORN	5"	-

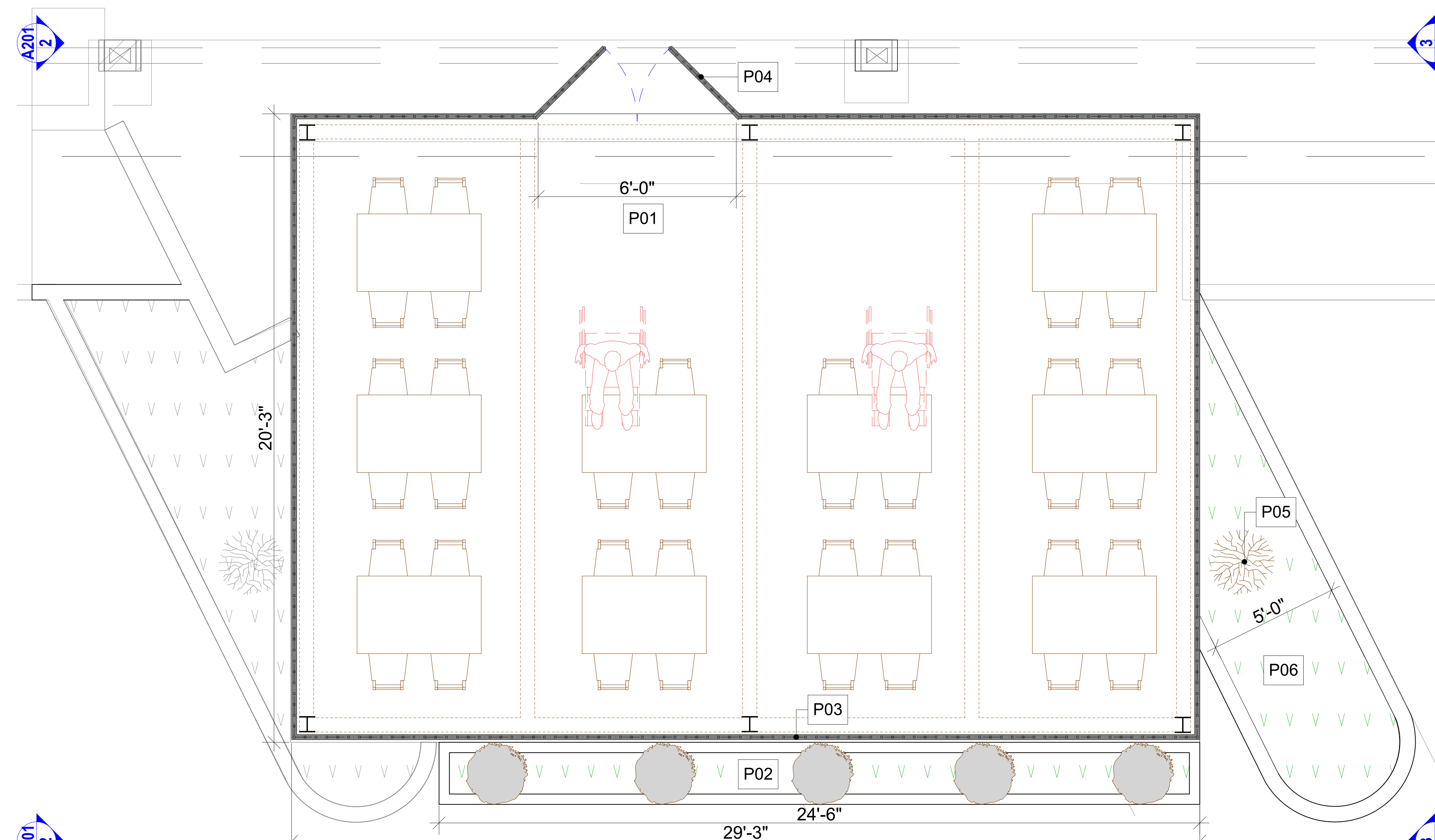
NOTE - THE PROPOSED PLANTINGS ARE TO MATCH THE APPROVED PALETTE FOR THE PARKING LOT UNDER PERMIT # 101828



P1 EUCALYPTUS FICIFOLIA



P2 RHAPHIOSLEPIS INDICA



PATIO KEYNOTES -

- P01 RAISED CONCRETE PATIO TO BE SET 16" ABOVE GRADE FLUSH TO UPPER PATH OF TRAVEL
- P02 RAISED CONCRETE PLANTER TO ACT AS A TRAFFIC BARRICADE. PLANTED WITH RHAPHIOSLEPIS INDICA - SNOW MAIDEN TO MATCH APPROVED PROPERTY PLANTINGS
- P03 (N) 42" GUARD
- P04 6' GATE W/ (2) 3-FT GATE DOORS
- P05 (N) LANDSCAPE ISLAND TO BE PLANTED WITH A EUCALYPTUS FICIFOLIA TO MATCH APPROVED PROPERTY PLANTINGS
- P06 (N) 5-FT LANDSCAPE ISLAND W/ 1-FT CURB TO MATCH EXISTING

1 PATIO PLAN
SCALE: 1/2" = 1'-0"



PUBLISHED: 4/7/2026 10:53 AM

DATES

4/7/2026 DBR SUB

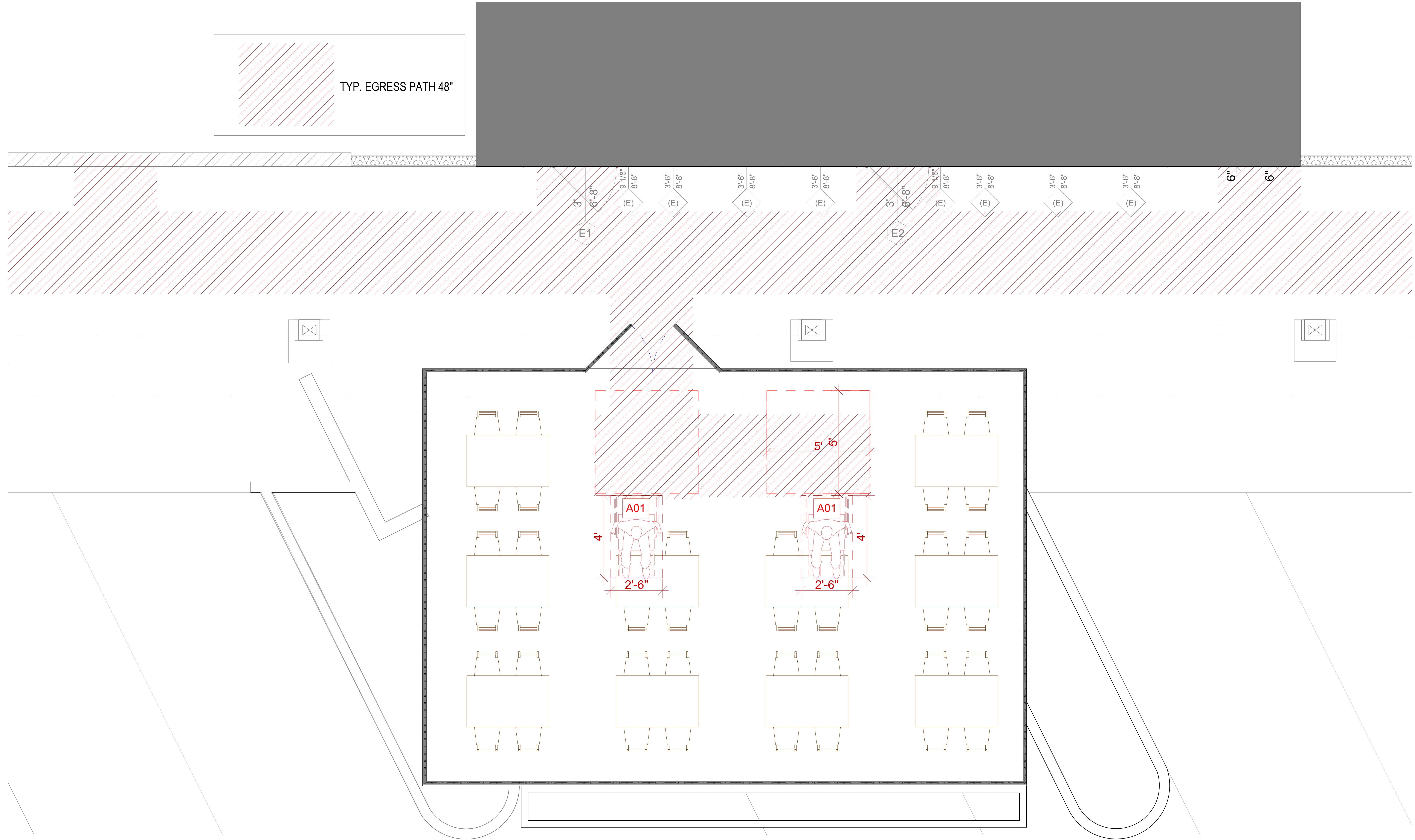
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CREATED BY: WDS

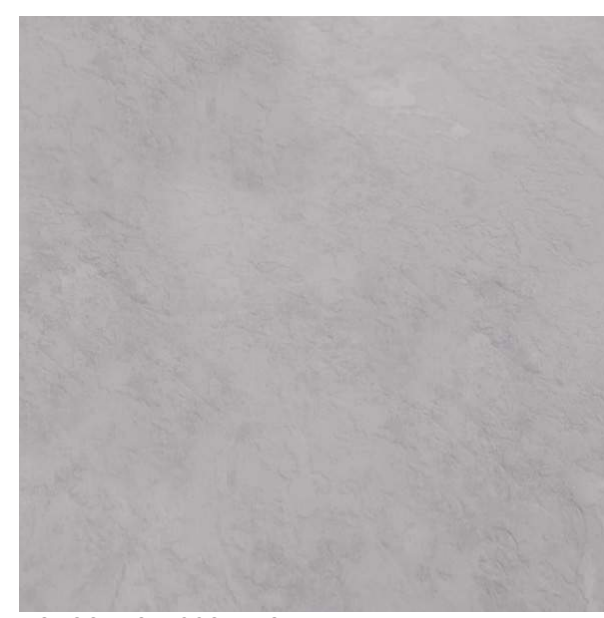
SHEET

OUTDOOR SEATING

A103



ACCESSIBILITY KEYNOTES -
A01 ACCESSIBLE COUNTER, MAX HEIGHT @ 34" PER 22-A502-COUNTER-ACCESSIBLE SIDE REACH



1-SMOOTH STUCCO FINISH
By Highland Stucco



2-TILE FINISH-6x18 Thin Set
COLOR: Acreage
BY: Daltile



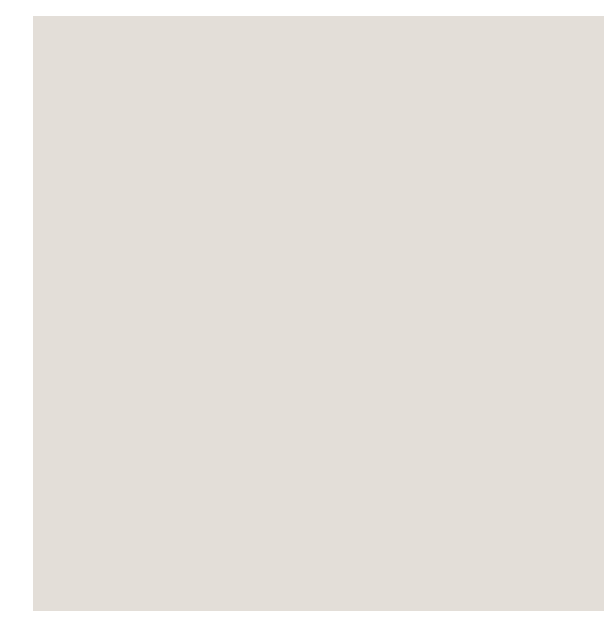
6-METAL CANOPY-PAINTED FINISH PER ELEVATION
Provide Shop Drawing for Approval



A-PAINT FINISH
COLOR: Mega Greige SW 7031
BY: Sherwin Williams



B-PAINT FINISH
COLOR: Kilim Beige SW 6106
BY: Sherwin Williams



C-PAINT FINISH
COLOR: Incredible White SW 7028
BY: Sherwin Williams

FOR REFERENCE ONLY



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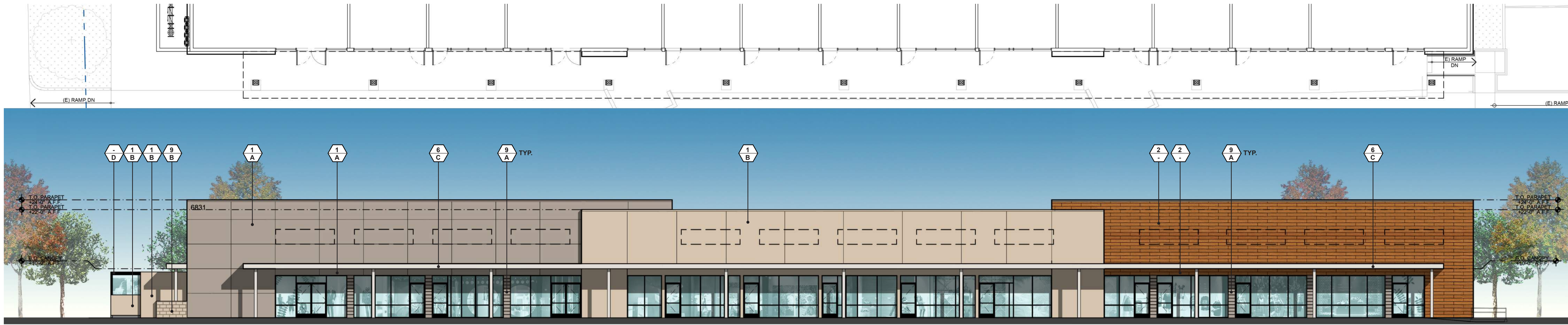
KYLE'S KITCHEN
OUTDOOR SEATING

6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO: 5254

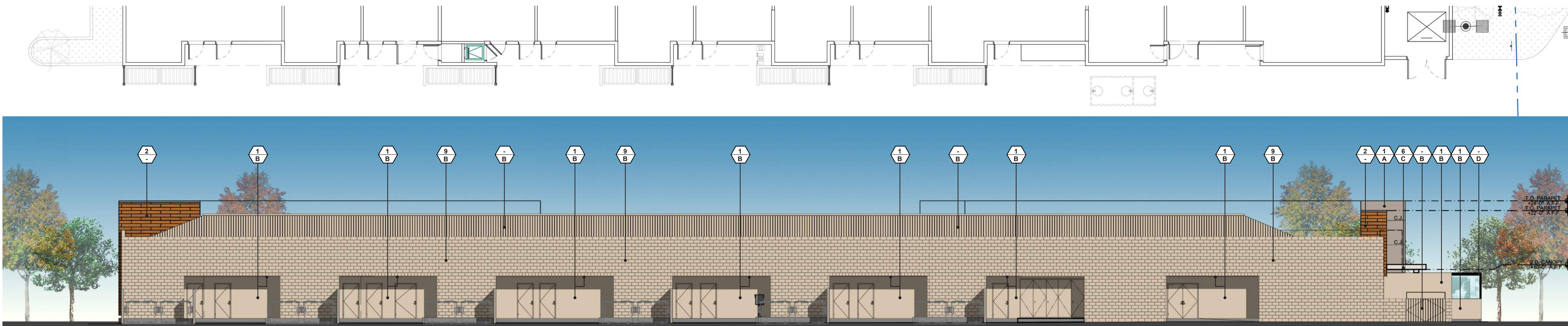
CLIENT

KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117



1 WEST ELEVATION

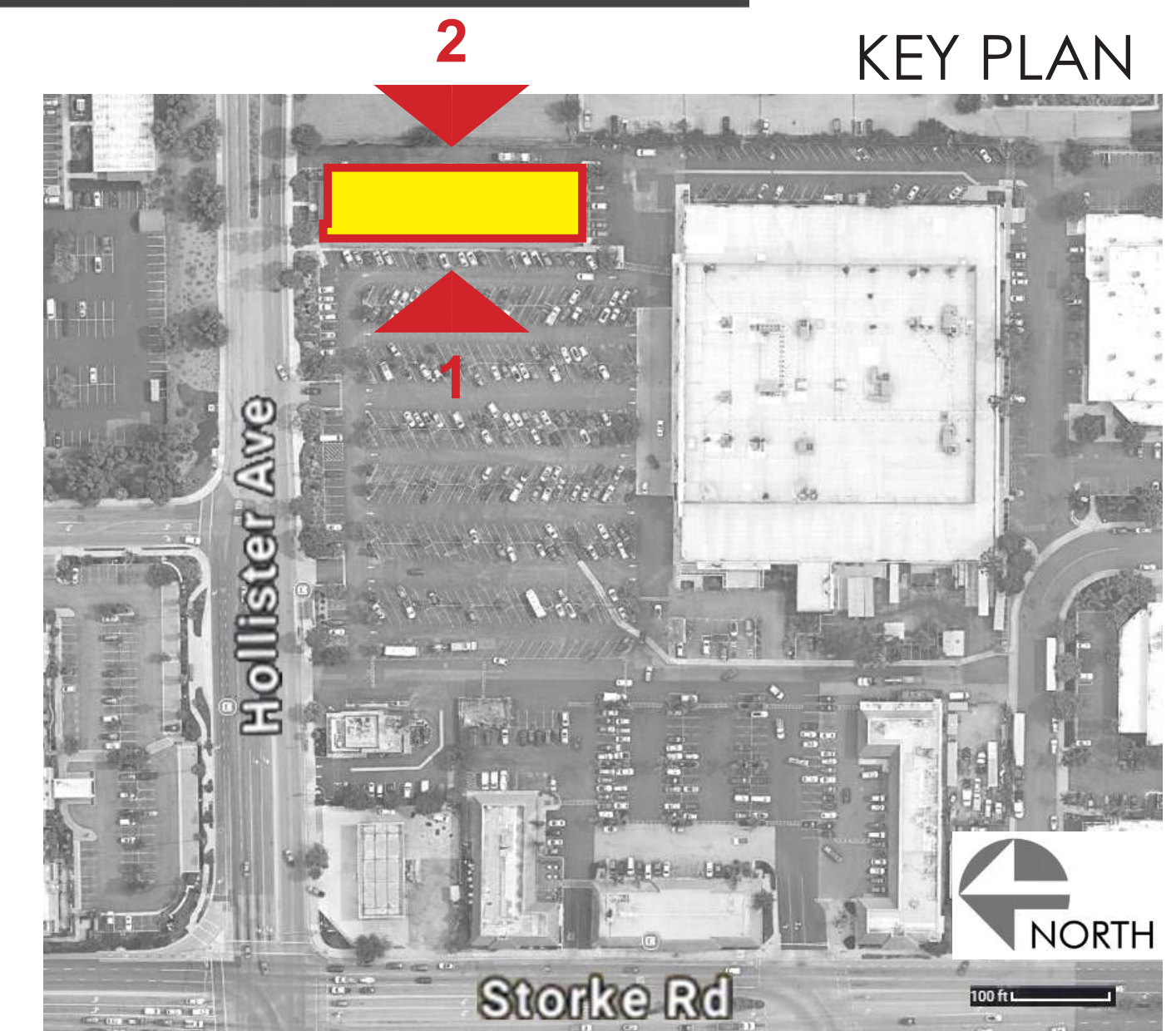
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION

SCALE: 3/32" = 1'-0"

FINISH LEGEND					
KEY	MATERIAL	MANUFACTURER / FINISH & COLOR	KEY	MATERIAL	MANUFACTURER / FINISH & COLOR
1	STUCCO FINISH	MANUFACTURER: HIGHLAND STUCCO - SMOOTH Trowel: COLOR: GRAND MESA BY CULTURED STONE	8	SIGNAGE	TENANT SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT. SEE WALL SECTIONS FOR 3/4" PLYWOOD BACKING PER TENANT REQUIREMENT. SEE ELECTRICAL PLANS FOR POWER STUB.
2	TILE FINISH	MANUFACTURER: DAL TILE USING, ACREAGE USE: 6"x6" THIN SET. COLOR: ACREAGE- BRICK PATTERN	9	PAINT FINISH (STUCCO)	COLOR: MEGA GREIGE, SW 7031 BY: SHERWIN WILLIAMS
3	STOREFRONT/GLASS	(E) BRONZE ANODIZED ALUMINUM STOREFRONT AND GLASS TO REMAIN. NO WORK ON THIS AREA, U.N.O.	A		COLOR: KILIM BEIGE, SW 6106 BY: SHERWIN WILLIAMS
4			HM EXIT DOORS		(E) HM 2ND EXIT DOOR/SERVICE DOOR TO REMAIN. PAINTED: MATCH TO PAINT COLOR ON ADJACENT WALL
5	METAL COPING	MANUFACTURER: BY GENERAL CONTRACTOR FINISH: PAINTED TO MATCH ADJACENT PAINT WALL COLOR: SEE ELEVATION PAINT COLOR TO MATCH WALL	C	COLOR: BLACK BEAN, SW 6006 BY: SHERWIN WILLIAMS	
6	METAL CANOPY	MANUFACTURER: BY GENERAL CONTRACTOR FINISH: PAINTED. PROVIDE SHOP DRAWING FOR APPROVAL. COLOR: SEE PAINT COLOR ON ELEV.	D	(E) CMU TO REMAIN. NOTE: CLEAN SURFACE TO MAINTAIN (E) FINISH.	
7	METAL COLUMN	MANUFACTURER: BY GENERAL CONTRACTOR 12"x12" SQUARE BREAK METAL FINISH, PAINTED. PROVIDE SHOP DRAWING FOR APPROVAL. COLOR: XXXXX.	E		



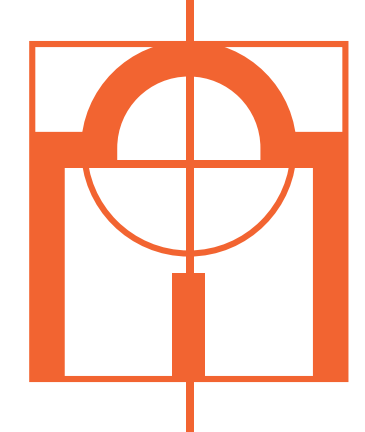
Merlone Geier
Partners
4365 EXECUTIVE DRIVE, SUITE 1400
SAN DIEGO, CA 92121

STORKE PLAZA | Facade Remodel

6831 Hollister Ave, Goleta, CA 93117

EAST & WEST ELEVATION
07.21.2025 24016FMA
A201

mmaarchitecture.com
mma
Architecture



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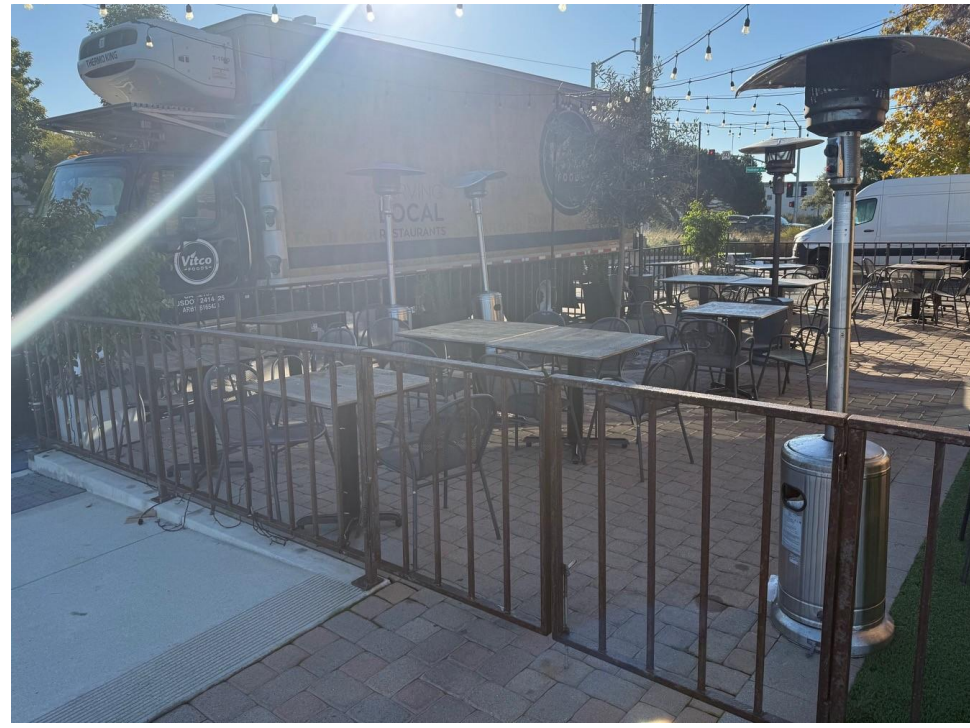
SCALE AS NOTED
CREATED BY: WDS

SHEET
FACADE REF SHEET

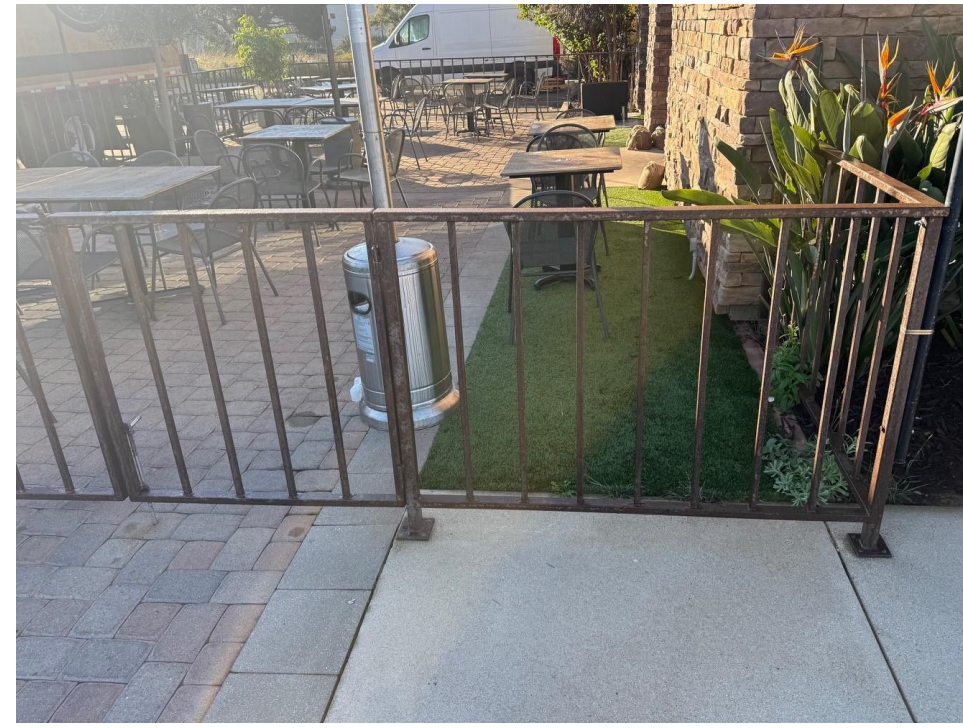
A105

SHEET SIZE 30X42
22

MATERIAL SCHEDULE



○ REPURPOSED GUARD



○ REPURPOSED GUARD

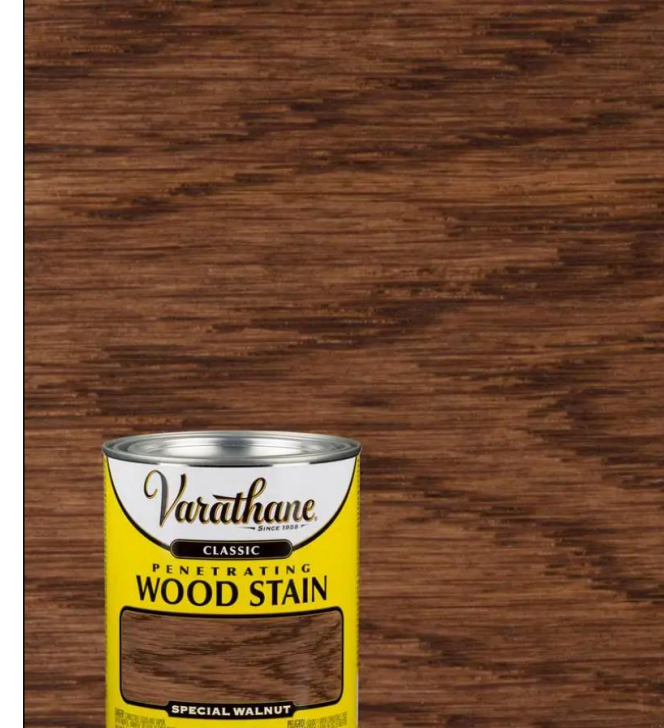


○ PLANTER BOX

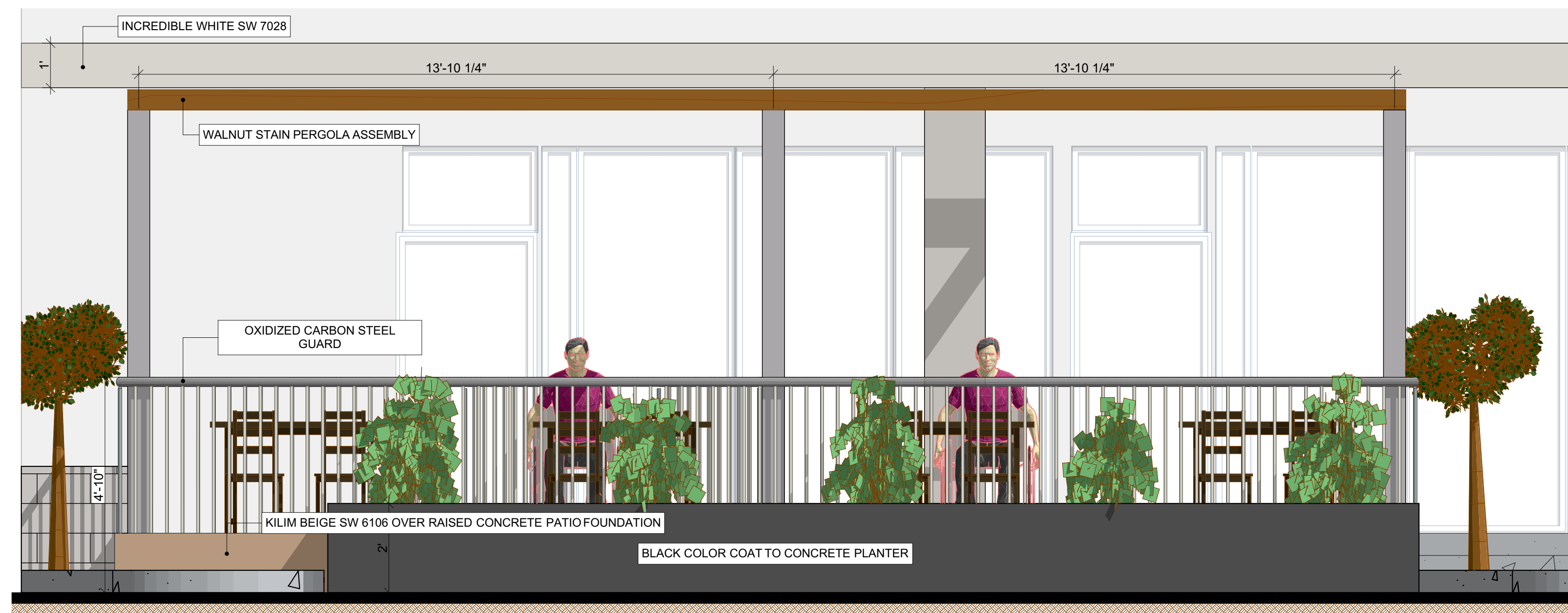


A-PAIN T FINISH
COLOR: Mega Greige SW 7031
BY: Sherwin Williams

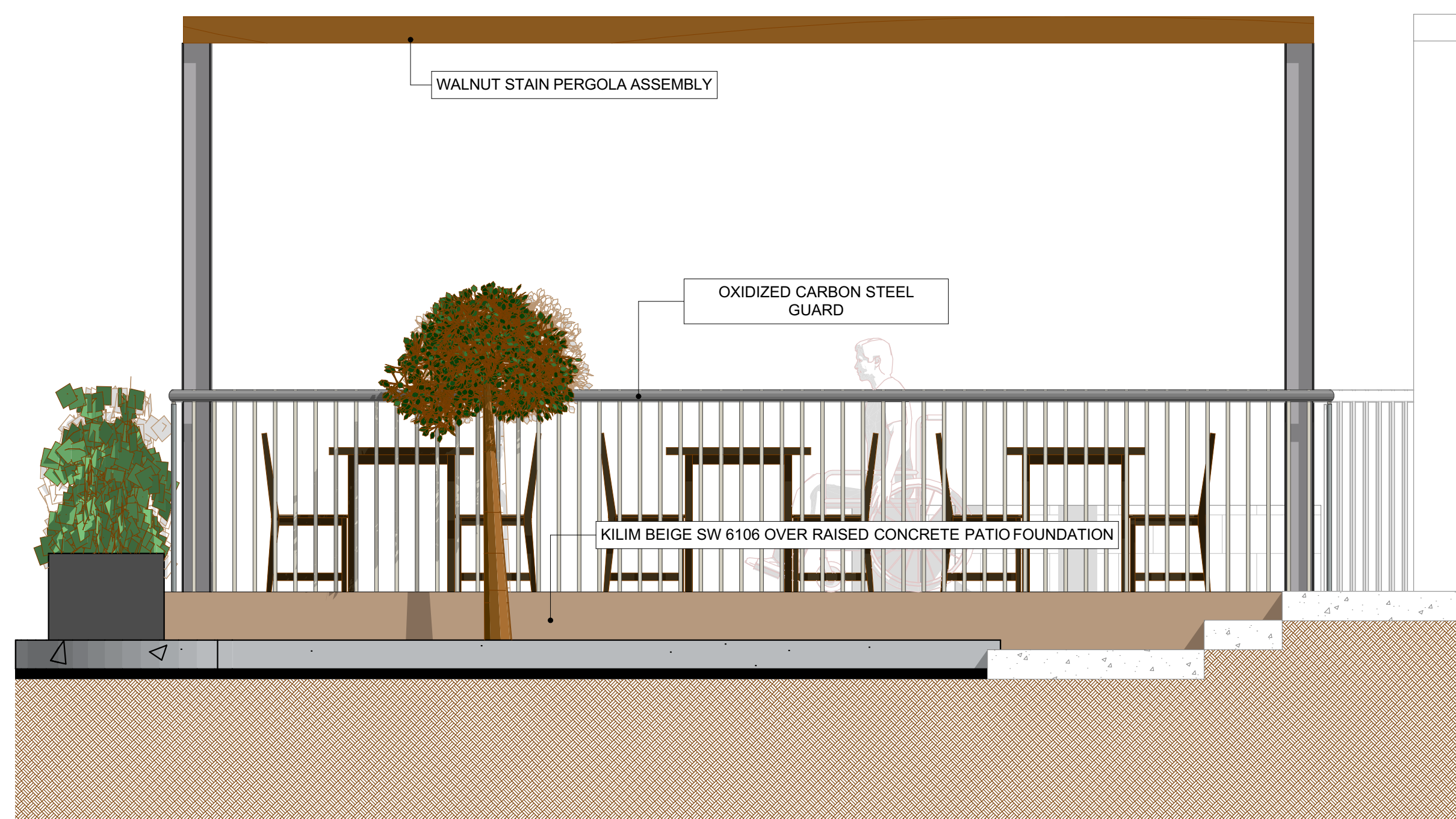
○ MEGA GREIGE SW 7031



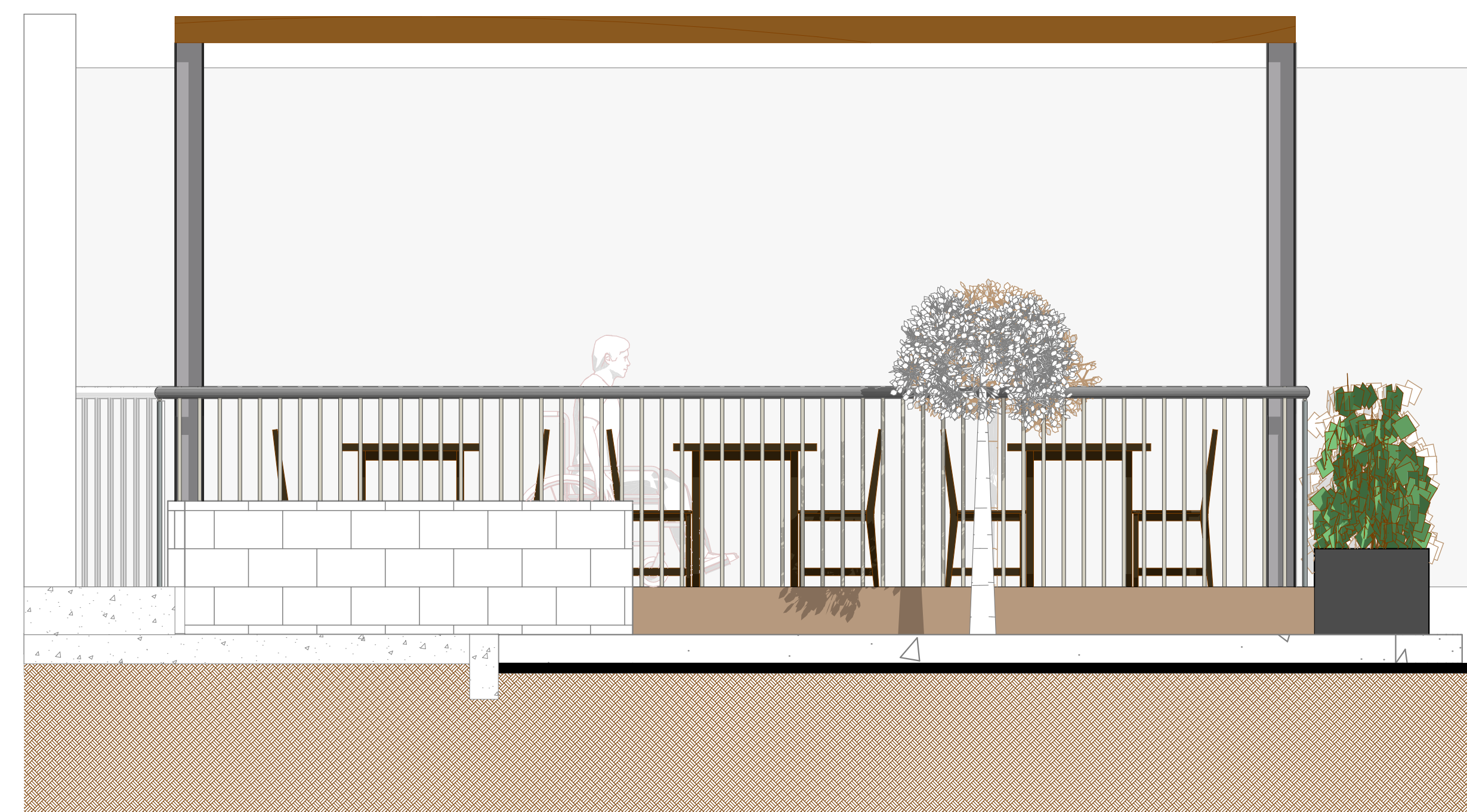
○ VARATHANE WALNUT STAIN



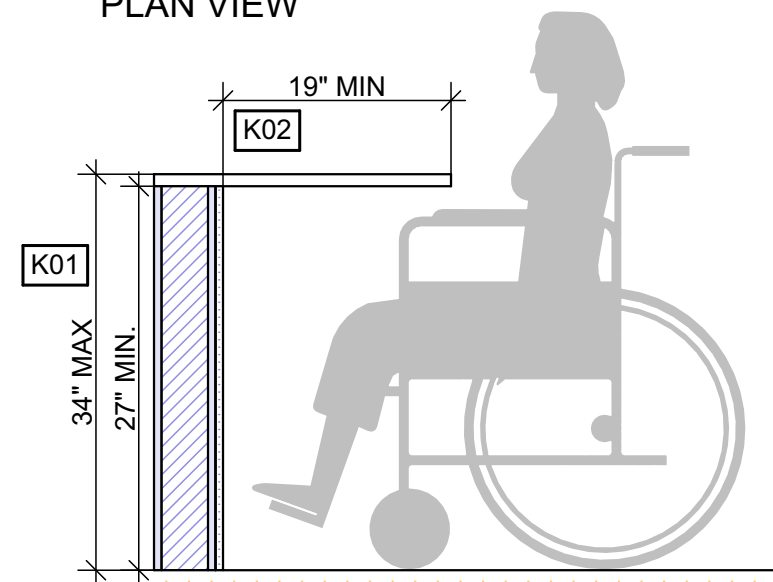
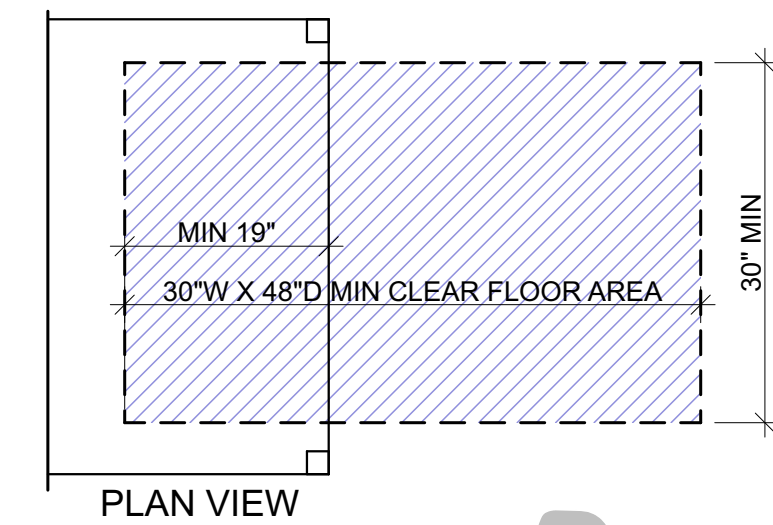
1 SOUTH PATIO ELEVATION
SCALE: 1/2" = 1'-0"



3 EAST PATIO ELEVATION
SCALE: 1/2" = 1'-0"



2 WEST PATIO ELEVATION
SCALE: 1/2" = 1'-0"

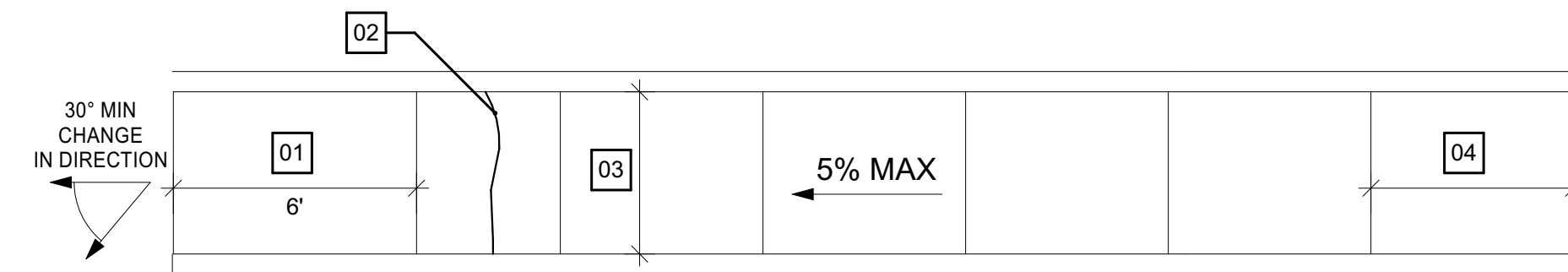


GENERAL NOTES

- G01 THIS DETAIL ILLUSTRATES TYPICAL CODE REQUIREMENTS & IS PROVIDED FOR REFERENCE PURPOSES ONLY. ACTUAL CONDITIONS MAY VARY. PLEASE NOTIFY THE DESIGNER OF CONDITIONS THAT CONFLICT WITH THIS DETAIL.
- G02 MINIMUM 30" W X 48" D CLEAR SPACE IS PROVIDED IN FRONT OF COUNTER W/ MIN 18" KNEE CLEARANCE

KEYNOTES

- K01 34" MAX COUNTER HEIGHT & MIN. 28" ABOVE FINISH FLOOR OR GROUND
- K02 19" MIN DEPTH KNEE CLEARANCE



GENERAL NOTES -

- G01 NO ELEMENT (INCLUDING HANDRAILS, CURBS, OR WHEEL GUIDES) SHALL PROJECT INTO THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- G02 WHERE WALKS CONNECT TO RAMPS, THE TRANSITION SHALL BE SMOOTH AND FLUSH. CROSS SLOPE OF WALKS SHALL NOT EXCEED 1/4 INCH PER FOOT (2% SLOPE).
- G03 ACCESSIBLE WALKING SURFACES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:48 (2%). SLOPES SHALL BE MEASURED USING A 24" SMART LEVEL UNLESS OTHERWISE DIRECTED BY THE AUTHORITY HAVING JURISDICTION (A.H.).
- G04 WALKING SURFACE FINISHES SHALL BE SLIP-RESISTANT.
• FOR SLOPES LESS THAN 6%, APPLY MEDIUM-SALTED SLIP-RESISTANT FINISH.
• FOR SLOPES 6% AND GREATER, THE FULL GRADIENT MUST BE SLIP-RESISTANT.
- G05 DESIGN OUTDOOR RAMPS AND WALKS TO PREVENT WATER ACCUMULATION AND TO ENSURE POSITIVE DRAINAGE.

KEYNOTES -

- 01 AT DOORS OR GATES ALONG ACCESSIBLE WALKS, A LEVEL LANDING SHALL BE PROVIDED, MINIMUM 60 INCHES IN LENGTH (MEASURED IN THE DIRECTION OF TRAVEL) AND CLEAR WIDTH OF 48 INCHES MINIMUM.
- 02 WHERE A WALK IS PART OF A REQUIRED WHEELCHAIR TURNING SPACE, PROVIDE A 60-INCH DIAMETER TURNING CIRCLE OR A T-SHAPED TURNING SPACE, CLEAR OF OBSTRUCTIONS.
- 03 ACCESSIBLE WALKS MUST MAINTAIN A MINIMUM CLEAR WIDTH OF 48 INCHES. PASSING SPACES OF 60 INCHES BY 60 INCHES SHALL BE PROVIDED AT INTERVALS OF 200 FEET WHERE CONTINUOUS WIDTH IS LESS THAN 60 INCHES.
- 04 FOR CONTINUOUS ACCESSIBLE WALKS THAT EXTEND MORE THAN 400 FEET, PROVIDE A RESTING AREA THAT IS LEVEL AND AT LEAST 60 INCHES LONG TO ALLOW FOR USER RECOVERY.

5 ACCESS-DINING & WORK REQ
NOT TO SCALE

10 ACCESSIBLE ROUTE
SCALE: 1/4" = 1'-0"



PUBLISHED: 4/7/2026 10:53 AM

DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
ARCH DETAILS

A501

ATTACHMENT D

ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS

RESOLUTION NO. 03-20

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
GOLETA, CALIFORNIA, ADOPTING ARCHITECTURE AND
DESIGN STANDARDS FOR COMMERCIAL PROJECTS**

WHEREAS, upon the incorporation of the City on February 1, 2002, and in accordance with Government Code section 65360, which provides that a newly incorporated city has at least 30 months to adopt a general plan, the City elected not to directly adopt the applicable portions of the Santa Barbara County General Plan, including the Goleta Community Plan previously adopted by the Santa Barbara County Board of Supervisors;

WHEREAS, Appendix B of the Goleta Community Plan set forth certain architecture and design standards for commercial projects within what is now the City limits;

WHEREAS, the City Design Review Board (“DRB”) has reviewed the architecture and design standards set forth in Appendix B and has made a recommendation to the City Council that the City adopt a modified version of such standards so that the DRB and the City’s Planning Agencies have some additional architecture and design guidelines when reviewing commercial projects prior to the City’s adoption of a general plan;

WHEREAS, the City Council has reviewed the document entitled “CITY OF GOLETA ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS” recommended by the DRB and finds that the proposed standards contained therein, as amended by the City Council, are generally consistent with the general plan proposal being considered or studied by the City Council, and that such standards will enhance the ability of the DRB and the City’s Planning Agencies to review commercial projects and ensure that such projects exemplify the best professional design practices, enhance the visual quality of the environment, benefit surrounding property values and make the most appropriate use of land within the City.


NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GOLETA DOES RESOLVE, DETERMINE, FIND, AND ORDER AS FOLLOWS:

SECTION 1. The "City of Goleta Architecture and Design Standards for Commercial Projects" attached as Exhibit "A" to this resolution are hereby approved and adopted.

SECTION 2. To the extent that any inconsistency exists between these City of Goleta Architecture and Design Standards for Commercial Projects and the guidelines and standards set forth in the Goleta Old Town Heritage District Architecture and Design Guidelines (the "County Old Town Guidelines") previously adopted by the County of Santa Barbara, the County Old Town Guidelines shall control within Goleta Old Town.

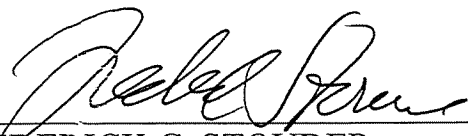
SECTION 3. City Clerk shall certify as to the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 7th day of April, 2003.



JACK HAWXHURST, MAYOR

ATTEST:



FREDERICK C. STOUDE
CITY CLERK

APPROVED AS TO FORM:



JULIE HAYWARD BIGGS
CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SANTA BARBARA) ss.
CITY OF GOLETA)

I, FREDERICK C. STOUDEr, City Clerk of the City of Goleta, do hereby certify that the foregoing Resolution No. 03-20 was duly adopted by the City Council of the City of Goleta at a regular meeting thereof, held on the 7th day of April, 2003, by the following vote:

AYES: COUNCILMEMBERS BLOIS, CONNELL, WALLIS,
 MAYOR PRO TEMPORE BROCK, MAYOR HAWXHURST

NOES: NONE

ABSENT: NONE



FREDERICK C. STOUDEr
CITY CLERK

EXHIBIT A

CITY OF GOLETA

**ARCHITECTURE AND DESIGN STANDARDS
FOR COMMERCIAL PROJECTS**

Adopted as of April 7, 2003

I. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance the visual quality of the environment.

- A. The project shall include useable open space (appropriate to the project) which is designed and located appropriately for the proposed use.
 - 1. Useable open space can include view corridors, site recreation, employee lunch areas and natural vegetation areas.
- B. Site open space shall blend into adjacent natural areas. (Figure A: Example of poor landscaping transition.)
- C. Adequate setbacks from site structures (walls, paving and buildings) to environmentally sensitive areas shall be maintained.
- D. Site grading impacts shall be minimized.
 - 1. Cut and fill slopes should be contoured to blend in with the natural landform and feathered into adjacent grades. (Figure B: Example of a poorly executed cut and fill slope.)

II. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance adjacent neighborhood areas.

- A. Overall building shapes and height shall be compatible to and in scale with existing structures on the same site and in the surrounding neighborhood.
 - 1. Where the proposed structure is taller than existing adjacent structures, the following techniques may be required to make the structure compatible.
 - a. Increase building setbacks;
 - b. Step back upper floors;
 - c. Utilize roof types which minimize building mass at the perimeter (hip and flat roofs);
 - d. Excavate the building into the site.
- B. There shall be a harmonious relationship with existing and adjoining developments, avoiding excessive variety and monotonous repetition, but promoting compatibility of styles.
- C. The privacy of existing adjacent residential areas shall be protected by carefully controlling window and balcony placement.

- D. Exterior lighting shall be screened to minimize glare and casting light onto adjacent sites.
- E. Project design for industrial uses shall include screen walls and building placement to minimize the transfer of noise off site.
- F. Project design shall promote a smooth shift from offsite conditions different from those proposed (i.e., scale, zone, use, architectural context, etc.).
 - 1. Where possible, perimeter wall setbacks shall vary and the wall shall be broken visually by use of texture or material. (Figure C: Carports used as screen walls.)
- G. Project facilities such as loading docks, storage, utility, maintenance and trash storage areas shall be located in consideration of neighborhood uses, and screened where appropriate.

III. The project design shall facilitate alternate forms of transportation.

- A. Building setbacks shall be increased at the corner lots to promote pedestrian safety and good design.
- B. On larger projects with bus turnouts or pedestrian loading zones, such facilities shall be included with shelters designed to match project architecture. (Figure D: Bus stop shelter designed to match building architecture.)
- C. Pedestrian access from off-site shall be separated from automobiles where possible.
- D. Bicycle parking shall be accommodated in a safe, efficient manner and located to blend with the proposed project.

IV. Automobile access (on and off-site) and parking shall be safe and subordinate to other land and building forms.

- A. Every effort shall be made to screen parking areas with existing or proposed structures. (Figure E: Parking located behind building).
- B. Where screening of parking areas by building configuration is not possible, landscaping, grade changes, berms, low walls, and landscaping strips shall be used to screen parking structures and cars from adjacent roadways and residential developments.
- C. Landscaping should screen parking lots to minimize their expansiveness and reduce the effects of heat and glare from pavement; combine trees, shrubs and ground cover in islands; incorporate canopy trees at the perimeter and in island or finger planters with a maximum of eight parking spaces (or such greater number

as the applicable decision-maker may determine) between each tree; and use various paving textures which are compatible with the proposed or existing structure(s).

D. Putting utility lines under ground shall be encouraged on all projects.

V. Adequate landscaping shall be integrated into the project design to enhance the natural environment.

A. Landscaping and landscape areas shall be maximized and balanced throughout the site, relate to the building size and the context of the neighborhood, and be appropriate to the site. Landscaping shall generally consist of live plant material (e.g., rock and bark may be used as a weed control measure and larger rocks may be used as a design element).

B. Where existing vegetation must be removed, the area should be re-vegetated to adequately mitigate the visual impact created by the removal of the established vegetation. Preservation of existing specimen trees is paramount.

C. Drought tolerant and water conserving plants shall be used in the majority of the landscaping, except in areas of active recreation. Drought tolerant native plant species (with plants native to southern Santa Barbara County) or non-native plants if necessary to protect significant habitat value shall be required in environmentally sensitive areas.

E. Landscaping should protect and enhance public views. Appropriate landscaping on hillsides and ridgelines must also be considered.

F. Landscaping should screen out undesirable views (e.g., freeway from adjacent developments, parking lots, blank building and wall sites and mechanical equipment and other utility structures), but it is not a substitute for good architectural design.

G. Plantings (e.g., citrus, avocado and walnut trees) that reflect the rich horticultural heritage of the Goleta Valley are encouraged as an accent but should be balanced with the need for skyline trees to preserve Goleta's character and other considerations described elsewhere in this document.

H. Landscaping shall be installed in such a manner so that at maturity it will provide adequate distances for vehicle and pedestrian line-of-sight at entrance and exit curbs. It should not interfere with traffic control devices, public lighting, or circulation patterns. Similar consideration shall also be given to ensure that trees are planted at an adequate distance from utility poles, overhead wires, sewer lines and any other structure where tree roots or limbs could cause damage. Landscaping litter (e.g., palm fronds, fruit, etc.) shall be considered in any installation that affects vehicular or pedestrian traffic.

- I. Landscaping plans shall show all above and below ground obstructions (e.g., utility poles, street lights, sewer lines) that may affect plant placement and installation limitations.

VI. Building design shall be encouraged which enhances and protects the visual quality of the Goleta area.

- A. There shall be a harmony of materials and consistency in style and design on all sides of a structure.
 1. Materials, detailing, color and proportions shall be appropriate to the style of the building.
 2. There shall be adequate variety and interest given to all sides of a building yet allowing for flexibility in design for various building functions. Possible techniques to add interest include modulation of walls, wainscot or cornice molding, texture or patterns in building materials, niches for planters or seats and decorative vents and grilles.
- B. Building signage, site work and mechanical/electrical equipment shall be well integrated in the design concept and screened from public view to the maximum extent practicable. (Figure F: Unscreened meters detract from this otherwise attractive building.)
 1. The DRB may require additional site sections and photographs (including aerial photographs) to ensure adequate mechanical screening from adjacent areas of higher elevation.

VII. Passive solar design is encouraged.

- A. The use of certain passive design features (south facing glass, thermal storage, shading and lightshelf devices) may require that the literal requirement for consistency on all sides of a structure be viewed with sufficient latitude.
- B. Landscaping and other screening devices may be required when reflective materials cause glare to adjacent properties.



Agenda Item B.1
CONCEPTUAL/PRELIMINARY REVIEW
Meeting Date: April 14, 2026

TO: Goleta Design Review Board

FROM: Luisa Negrete, Assistant Planner; (805) 961-7545

SUBJECT: Kyle's Kitchen Restaurant New Patio
6831 Hollister Avenue Suite D; APN 073-100-038
Case Nos. 26-0003-DPAM/26-0011-DRB

DRB ACTIONS FOR CONSIDERATION:

1. Adopt DRB and California Environmental Act Findings provided as Attachment A;
2. Recommend adoption of CEQA Categorical Exemption Section 15301(a) and 15311 as provided in Attachment B; and
3. Conduct Conceptual/Preliminary/ Final review and approve (or approve with conditions).

If the findings cannot be made to approve the request at this meeting, the DRB can either continue the item for additional information/redesign or deny the request specifically identifying the reasons for the denial.

PROJECT DESCRIPTION:

This is a request for **Conceptual/Preliminary/Final Review** for a new 593 square foot elevated outdoor patio seating area for Kyle's Kitchen restaurant which will be relocated in the Target Shopping Center. The proposed location will be in the inline building of the Target Shopping Center. Three parking spaces will be removed to accommodate the new patio. Approval of a Development Plan Amendment will be required to facilitate the land use approval of the new elevated patio area, following the DRB review and approval. The proposed project consists of:

- Removal of a portion of an existing landscape planter on the west side of the patio and installation of a new landscape planter on the east side of the patio.
- Two new eucalyptus Ficulifolia trees at each landscape planter on the west and east side of the patio.

- Replacement of three parking spaces and the adjoining stairs with a new 593 square foot elevated covered patio area for outdoor seating without new lighting.
- At the highest point, the patio will be elevated 16 feet above the parking lot so the floor of the patio will be at the same level as the arcade walkway in front of the business.
- The base of elevated patio will be concrete and beige colored. One top of the base, there will be a 42" high oxidized carbon steel fence guard to secure the patio area.
- The patio will be covered with a 10' high, 29' 3" wide, approximately 593 square foot metal pergola painted in the color walnut stain. In the area between the patio and the drive aisle, a 2-foot-wide planter with enchantress shrubs will be installed. area.

No new square footage is proposed to the existing buildings.

The subject property has a Zoning and General Plan Land Use designation of Community Commercial (CC) and is located in the Inland Zone and is subject to the Goleta Commercial Architecture and Design standards. The project does not include a request for adjustments or modifications, and no development is proposed within 300 feet of an Environmentally Sensitive Habitat Area (ESHA).

The project was filed by Kyle Dickson, of Windward Design Services LLC, for Kyle's Kitchen Restaurant, tenant.

DISCUSSION:

The proposed patio is consistent with all setbacks, building height, and parking associated with the development standards for the CC designation. Even with the loss of the 3 parking spaces, the site will provide 473 parking spaces which exceeds the 294.8 requirement. Further, the Fire Department has reviewed the proposal and did not raise any concerns with the proposal.

The Goleta Architecture and Design Standards for Commercial Projects apply to commercial and industrial development and include standards relating to site layout, project design, landscaping, and transportation access.

Several policies in the City's Visual and Historic Resources Element of the General Plan are applicable to the Project and are shared below.

VH 4.5 Retail Commercial Areas. [GP] The following standards shall be applicable to retail commercial development:

- a. Buildings and structures shall be designed to be compatible with adjacent development relative to size, bulk, and scale.
- b. Where appropriate, buildings should be sited at or near the front setback line to project a desirable architectural image contiguous to the street and to promote pedestrian access.
- c. Quality architectural design shall be maintained through the use of detailing and high quality, durable materials. Blank wall planes shall be avoided.
- d. Safe, convenient pedestrian and bicycle access shall be provided and encouraged via continuous sidewalks; bike lanes; and sufficient, secure, and protected bicycle parking. Landscaping should be used where possible to buffer pedestrians and cyclists from traffic. Where feasible, other pedestrian amenities such as outdoor seating shall be provided.
- e. Commercial displays, outdoor dining, and outdoor shopping cart storage shall not encroach into pedestrian accessways.
- f. Shopping cart returns should be conveniently located and screened.
- g. Public transit shall be encouraged through effective placement of stops for local and regional transit services. Existing stops shall be upgraded as appropriate.
- h. Landscaping, including canopy trees, shall be used extensively to unify the structural development, reinforce the pedestrian scale, minimize heat and glare from pavement, and break up expanses of parking.
- i. Shared vehicular access shall be considered to minimize the number of driveways and curb cuts.
- j. Where appropriate, parking lots should be located behind, beside, or beneath buildings to minimize visibility. Where buildings do not screen parking, landscaping, berms, or low walls shall be used to screen cars from adjacent roadways and other developments.
- k. Parking lots should provide adequate space for maneuverability and safety. Angled parking spaces are encouraged rather than 90-degree parking stalls to increase visibility for drivers and pedestrians.
- l. Loading areas and recycling and trash facilities shall be easily accessed and shall be screened from view with landscaping, fencing, or walls. Adjacent uses shall be considered when such areas are sited.
- m. Roof mounted equipment shall be screened and considered as part of the structure for height calculations.

VH 4.9 Landscape Design. [GP] Landscaping shall be considered and designed as an integral part of development, not relegated to remaining portions of a site following placement of buildings, parking, or vehicular access. Landscaping shall conform to the following standards:

- a. Landscaping that conforms to the natural topography and protects existing specimen trees is encouraged.

- b. Any specimen trees removed shall be replaced with a similar size tree or with a tree deemed appropriate by the City.
- c. Landscaping shall emphasize the use of native and drought-tolerant vegetation and should include a range and density of plantings including trees, shrubs, groundcover, and vines of various heights and species.
- d. The use of invasive plants shall be prohibited.
- e. Landscaping shall be incorporated into the design to soften building masses, reinforce pedestrian scale, and provide screening along public streets and off-street parking areas.

The needed actions associated with the proposed changes include Design Review (Chapter 17.58) and a Development Plan Amendment (Section 17.52.100(C)). Should the DRB approve the design elements associated with the project, staff will proceed with processing a Development Plan Amendment for the Planning Director's approval. The Director must determine that the alterations are in substantial conformity with the previous discretionary approval such that the changes would not be substantially different than the original project and would not alter the scope and intent of the approval the Review Authority originally acted on.

ENVIRONMENTAL REVIEW (NOE):

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301(a) and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA Guidelines per Sections 15301(a) and Section 15311 because the proposed project includes minor exterior alterations involving negligible or no expansion of the use at an existing commercial shopping center. Further, the addition of the patio area and new landscaping are minor accessory improvements that will enhance the viability of the tenant.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same

type in the same place that could result in significant cumulative impacts. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; exterior improvements to an existing building is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because while the project site does contain hazardous waste none of the improvements are altering the ground. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource. Additionally, the project's site does not contain any identified significant cultural resources.

NEXT STEPS

If the DRB grants the applicant's request, the next steps include: (1) a 10-day DRB appeal period; (2) DPAM approval and appeal period; (3) Final DRB review; (4) ministerial issuance of an Effectuating Zoning Clearance; and (5) review and approval by Building & Safety ("Building Permits").

If the DRB action is appealed and the appeal is upheld, DRB's action will be rescinded and the DRB process will start over.

ATTACHMENTS:

- Attachment A - Findings of Approval
- Attachment B – Notice of Exemption
- Attachment C – Project Plans
- Attachment D – Architecture and Design Standards for Commercial Projects

ATTACHMENT A

FINDINGS OF APPROVAL

**DRB Findings for Development
6831 HOLLISTER AVENUE SUITE D
Case No. 25-0006-DP, 26-0011-DRB**

DESIGN REVIEW FINDINGS (GMC SECTION 17.58.080)

1. The development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.

The proposed project is limited to new elevated covered patio for outdoor seating, two new eucalyptus Ficifolia trees in a planter, and a new landscape planter to replace the removed landscape in front of an existing building. No new building floor area is proposed. No additional square footage to the buildings is proposed and the changes will be in scale with the size and bulk of on-site development. The existing building with the proposed exterior changes is compatible with the neighborhood.

2. Site layout, orientation, and location of structures, including any signage and circulation, are in an appropriate and harmonious relationship to one another and the property.

There is no change to the orientation, or location of the building as the building already exists. Furthermore, the proposed exterior changes are limited to removal of parking spaces and landscape with the construction of a new elevated covered patio for outdoor seating. While parking will be lost, there is sufficient parking remaining on the site as noted in the staff report and the placement of the new elevated covered parking and landscape changes will not affect the site layout, orientation, or location of the existing structures. Additional landscaping is proposed to match the existing landscaping of the shopping center. The layout, orientation, and location of the elevated covered patio is in an appropriate and harmonious relationship with the building and the property. Signage is not part of this review.

3. The development demonstrates a harmonious relationship with existing adjoining development, avoiding both excessive variety as well as monotonous repetition, but allowing similarity of style, if warranted.

The proposed improvements harmonize with the existing building's architecture. The exterior modifications adhere to the current style and materials of the shopping center. The proposed patio finishes and colors align with the design of the recent Storke Plaza facade remodel.

4. There is harmony of material, color, and composition on all sides of structures.

The proposed materials and colors are appropriate for a commercial building and are in harmony with each other and match the recent façade remodel colors and finishes of the shopping center

5. Any outdoor mechanical or electrical equipment is well integrated in the total design and is screened from public view to the maximum extent practicable.

No outdoor mechanical or electrical equipment is proposed.

6. The site grading is minimized, and the finished topography will be appropriate for the site.

No grading is proposed other than the minimal amount necessary to create the patio areas from the planter areas.

7. Adequate landscaping is provided in proportion to the project and the site with due regard to preservation of specimens and protected trees, and existing native vegetation.

Two new eucalyptus Ficifolia trees and a landscape planter box filled with enchantress shrubs will be installed. No specimens or protected trees will be removed. The proposed landscaping will align with the shopping centers' approved landscape palette.

8. The selection of plant materials is appropriate to the project and its environment, and adequate provisions have been made for long-term maintenance of the plant materials.

The proposed plantings will harmonize with the existing landscape palette of the shopping center. The existing irrigation system will ensure the long-term maintenance of the new trees and plants.

9. All exterior lighting, including for signage, is well designed, appropriate in size and location, and dark-sky compliant.

No new exterior lighting is proposed.

10. The project architecture will respect the privacy of neighbors, is considerate of private views, and is protective of solar access off site.

The proposed project is to create a new elevated-covered outdoor seating area to serve the restaurant tenant and is located within an existing shopping center. The proposed improvements will not affect privacy of neighbors, impact existing views, and will not result in obstruction of solar access to other adjacent properties given the nature and place of the improvements given its placement, orientation, and located within a commercial corridor.

11. The proposed development is consistent with any additional design standards as expressly adopted by the City Council. (Ord. 20-03 § 6).

As well as the City of Goleta Zoning Ordinance, the City of Goleta Architecture and Design Standards for Commercial Projects document, adopted on April 7, 2003, is applicable for this project. The project conforms to the applicable standards related to building colors and materials as identified in the document.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301 and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA Guidelines per Sections 15301(a) and Section 15311 because the proposed project includes minor exterior alterations involving negligible or no expansion of the use at an existing commercial shopping center. Further, the addition of the patio area and new landscaping are minor accessory improvements that will enhance the viability of the tenant.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; exterior improvements to an existing building is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because while the project site does contain hazardous waste none of the improvements are altering the ground. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource. Additionally, the project's site does not contain any identified significant cultural resources.

ATTACHMENT B

CEQA NOTICE OF EXEMPTION

To: Office of Planning and Research
P.O. Box 3044, 1400 Tenth St. Rm. 212
Sacramento, CA 95812-3044

From: City of Goleta
130 Cremona Drive, Suite B
Goleta, CA 93117

Clerk of the Board of Supervisors
County of Santa Barbara
105 E. Anapamu Street, Room 407
Santa Barbara, CA 93101



Subject: Filing of Notice of Exemption

Project Title:

Kyle's Kitchen Restaurant New Patio
Case Nos: 26-0003-DPAM/26-0011-DRB

Project Applicant:

Kyle Dickson, of Windward Design Services LLC, on behalf of Kyle's Kitchen, tenant.

Project Location (Address and APN):

6831 Hollister Avenue Suite D
Goleta, CA 93117
County of Santa Barbara
APN: 073-100-038

Description of Nature, Purpose and Beneficiaries of Project:

The applicant, Kyle's Kitchen, requests a Development Plan Amendment (DPAM) to the previously approved Development Plan 83-DP-17 to make changes to the parking and landscaping adjacent to the inlight shop building at the Target Shopping Center in Goleta CA.

The proposed project consists of:

- Removal of a portion of an existing landscape planter on the west side of the patio and installation of a new landscape planter on the east side of the patio.
- Two new eucalyptus ficifolia trees at each landscape planter on the west and east side of the patio.
- Replacement of three parking spaces and the adjoining stairs with a new 593 square foot elevated covered patio area for outdoor seating without new lighting.
- At the highest point, the patio will be elevated 16 feet above the parking lot so the floor of the patio will be at the same level as the arcade walkway in front of the business.
- The base of elevated patio will be concrete and beige colored. One top of the base, there will be a 42" high oxidized carbon steel fence guard to secure the patio area.
- The patio will be covered with a 10' high, 29' 3" wide, approximately 593 square foot metal pergola painted in the color walnut stain. In the area between the patio and the drive aisle, a 2-foot-wide planter with enchantress shrubs will be installed. area.

No new square footage is proposed to the existing buildings.

Name of Public Agency Approving the Project:

Design Review Board of the City of Goleta for Case No. 26-0011-DRB
Planning Director of the City of Goleta for Case No. 26-0003-DPAM

Name of Person or Agency Carrying Out the Project:

Kyle Dickson, of Windward Design Services LLC, on behalf of Kyle's Kitchen, tenant.

Exempt Status:

Categorical Exemption: § 15301(a) and §15311

Reason(s) why the project is exempt:

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.: State CEQA Guidelines), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA under Sections 15301 and 15311 of the CEQA Guidelines and a Notice of Exemption is proposed.

The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA Guidelines per Sections 15301(a) and Section 15311 because the proposed project includes minor exterior alterations involving negligible or no expansion of the use at an existing commercial shopping center. Further, the addition of the patio area and landscape planter are minor accessory improvements that will enhance the viability of the tenant.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; exterior improvements to an existing building is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because while the project site does contain hazardous waste none of the improvements are altering the ground. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource. Additionally, the project's site does not contain any identified significant cultural resources.

ATTACHMENT C

PROJECT PLANS

GN- GENERAL NOTES

- 1.0 ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CBC, 2022 CMC, 2022 GEC, 2022 CPC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 CFC, 2022 CA ENERGY COMMISSION STANDARDS & ALL AMENDMENTS AS ADOPTED IN CITY OF GOLETA MUNICIPAL ORDINANCE, SANTA BARBARA COUNTY ORDINANCE 4773 & SANTA BARBARA COUNTY GRADING ORDINANCE 4766
- 2.0 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 3.0 THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- 4.0 ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- 5.0 THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES & TECHNIQUES
- 6.0 ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
- 7.0 EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
- 8.0 ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF STUD, FACE OF PLYWOOD WHERE PRESENT, CONCRETE, OR MASONRY
- 9.0 SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED MANDATORY ENERGY FEATURES FOR WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
- 10.0 PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- 11.0 UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- 12.0 AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBC 4.410]

KYLE'S KITCHEN

6831D HOLLISTER AVE, GOLETA, CA

PROJECT DATA

SCOPE OF WORK -
OUTDOOR SEATING

NOTE: TENANT IMPROVEMENT UNDER SEPARATE PERMIT.

LOCATION: 6831D HOLLISTER AVE
APN: 073-100-038

JURISDICTION: CITY OF GOLETA
LAND USE ZONE: C-2

LOT SIZE: 1.24 AC / 54,014 SF
AVERAGE SLOPE OF PROPERTY: 2 %

OCCUPANCY CLASSIFICATION (E): B
OCCUPANCY CLASSIFICATION (P): B

CONSTRUCTION TYPE: V-B

SPRINKLERS: YES

STORIES: 1
HEIGHT: 15-FT
HIGH FIRE HAZARD AREA: NO
FLOOD ZONE: NO

PARKING SPACE CALCULATION -
6835 HOLLISTER AVE (M-OCCUPANCY): 115,729 SF
6831 HOLLISTER AVE (A-2/BM-OCCUPANCY): 17,912 SF
TOTAL (E) BUILDING AREA: 133,641 SF

TOTAL PARKING REQUIRED (PER 17.38.040) -

LOCATION	OCC TYPE	MULTIPLIER	AREA SF	PARKING
6865 HOLLISTER	RETAIL SALES	500	115,729 SF	231.5
6831 HOLLISTER	OUTDOOR DINING	250	534 SF	2.1
6831 HOLLISTER	EATING & DRINKING	250	11,523 SF	46.1
6831 HOLLISTER	RETAIL SALES	500	6,390 SF	12.8
6831D PATIO	EATING & DRINKING	250	575 SF	2.3
			134,176 SF	294.8

TOTAL PARKING PROVIDED -
STANDARD PARKING: 463 STALLS
ADA PARKING: 10 STALLS
TOTAL PARKING 473 STALLS

OCCUPANCY CALCULATIONS -

FUNCTION OF SPACE	OCC FACTOR	AREA	OCC COUNT
ASSEMBLY UNCONCENTRATED	15 SQFT	534	36
TOTAL OCCUPANTS:			36

PROJECT STATISTICS

STATUS	LEVEL	DESCRIPTION	BLD AREA	GROSS FLR ...
Existing	1ST-FLR	6831 HOLLISTER AVE	18,276	17,912
New	1ST-FLR	OUTDOOR PATIO	593	593
			-	-

PROJECT TEAM

CLIENT:
KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117
EMAIL: JAY.FERRO@KYLESKITCHEN.COM

DESIGN & ENGINEERING:
PROFESSIONAL OF RECORD
STEVEN REICHEL, P.E. 61155
WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
TEL: 805.845.6601
EMAIL: INFO@WINDWARDENG.COM

APPROVAL STAMPS

Vicinity Map



WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

KYLE'S KITCHEN
OUTDOOR SEATING

6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO: 5254

CLIENT

KYLE'S KITCHEN
6831D HOLLISTER AVE
SANTA BARBARA, CA 93117



PUBLISHED: 4/7/2026 10:53 AM

DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
GENERAL

G001

SHEET SIZE 30X42
48



C- CONSTRUCTION NOTES

C1 GENERAL

C1.1 THESE NOTES CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED ELSEWHERE WITHIN THESE DOCUMENTS OR WITHIN THE VOC EMISSIONS LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS COPH STANDARD METHOD 11.1 OR SPECIFICATION 01350).

C1.2 UNLESS OTHERWISE NOTED, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS.

C1.3 ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND, WHERE ADDRESS CANNOT BE VIEWED FROM PUBLIC WAY A MONUMENT OR POLE SHALL BE WORK TO BE EXECUTED BY INDIVIDUALS EXPERIENCED IN THEIR OWN FIELDS OF EXPERTISE

C1.4 CRAWL SPACE CLEARANCE

C2.1 MAINTAIN MINIMUM CLEARANCE OF 18" BETWEEN WOOD JOISTS AND GRADE WITH 12" MINIMUM CLEARANCE FOR GARDENS, OR USE PRESSURE TREATED LUMBER.

C3 CRAWL SPACE ACCESS

C3.1 ACCESS TO BE MINIMUM 24" WIDE BY 18" HIGH.

C3.2 IF A CLASS 1 VAPOR BARRIER IS INSTALLED OVER THE SOIL, THE REQUIRED VENTILATION AREA CAN BE REDUCED TO 1 SF FOR EACH 1,500 SF OF UNDER-FLOOR AREA.

C3.3 ACCESS OPENINGS SHALL BE EFFECTIVELY SCREENED OR COVERED.

C4 CRAWL SPACE VENTILATION

C4.1 UNDER-FLOOR VENTILATION TO BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS INTO THE UNDER-FLOOR AREA WALLS. OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SF FOR EACH 150 SF OF UNDER-FLOOR AREA. AT LEAST 1 OPENING SHALL BE LOCATED WITHIN 3 FT OF EACH CORNER AND SHALL PROVIDE FOR CROSS VENTILATION IN ALL CRAWLSPACE AREAS. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES

C4.2 IF A CLASS 1 VAPOR BARRIER IS INSTALLED OVER THE SOIL, THE REQUIRED VENTILATION AREA CAN BE REDUCED TO 1 SF FOR EACH 1,500 SF OF UNDER-FLOOR AREA.

C4.3 OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION. IN HIGH FIRE HAZARD ZONES OPENINGS TO HAVE A MINIMUM SIZE OF 1/16" AND MAXIMUM SIZE NOT TO EXCEED 1/8"

C5 ATTIC ACCESS

C5.1 ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTICS OF BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION. EXCEPTION: ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30".

C5.2 ATTICS THAT INCLUDE MECHANICAL EQUIPMENT SHALL HAVE APPROPRIATELY SIZED ACCESS OPENINGS TO ALLOW REMOVAL OF EQUIPMENT FOR SERVICING OR REPLACEMENT BUT SHALL NOT BE LESS THAN 22" X 30".

C5.3 OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.

C5.4 PROVIDE WEATHER STRIPPING AT ACCESS PANEL TO PREVENT BACK DRAFT.

C6 ROOF VENTILATION

C6.1 **NOTE: USE OF GYPSUM INSULATION AT RAFTER BAYS NEGATES NEED FOR VENTILATION STIPULATED BELOW**

C6.2 ENCLOSED RAFTER SPACES THAT ARE CREATED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL BE INDIVIDUALLY VENTED

C6.3 THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED

C6.4 UNLESS IN DESIGNATED HIGH FIRE AREA, VENTING SHALL BE ACCOMPLISHED BY MEANS OF EAVE VENTS AND A RIDGE VENT

C6.5 A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING

C7 SAFETY GLAZING REQUIREMENTS

C7.1 GLAZING IN SIGNS AND SIGNING DOORS (EXCEPTION: WARDROBE DOORS).

C7.2 GLAZING IN STORM DOORS.

C7.3 GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.

C7.4 GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

C7.5 WHERE GLAZING WITH PANE LARGER THAN 9 SF, A BOTTOM EDGE WITHIN 18" OF THE FLOOR, A TOP EDGE MORE THAN 36" ABOVE THE FLOOR, & A WALKING SURFACE WITHIN 36" HORIZONTALLY OF GLAZING.

C8 DOORS & WINDOWS

C8.1 UNLESS NOTED OTHERWISE, AS MUCH AS IS PRACTICABLE, TOPS OF WINDOWS ARE TO FLUSH WITH TOPS OF NEARBY DOORS.

C8.2 PROVIDE 3/8" MINIMUM CLEARANCE BETWEEN BOTTOM OF INTERIOR DOORS AND FINISH FLOOR HEIGHTS TO ALLOW FOR AIR CIRCULATION RELATED TO FAU AND VENTILATION FANS.

C8.3 EXCESS WINDOWS REQUIRED AT ALL BEDROOMS. MIN NET OPENING TO BE 5.7 SF WMIN HT OF 24", MIN WIDTH OF 20", AND SILL HT NO MORE THAN 44" ABOVE FLOOR. EXCEPTION: MIN GRADE-FLOOR NET OPENING TO BE 5.0 SF, A FLOOR OR LANDING, BEING AT THE SAME ELEVATION IS REQUIRED AT EACH SIDE OF A DOOR. EXCEPTION: WITH DOORS SERVING AN INDIVIDUAL DWELLING UNIT, A LANDING AT AN EXTERIOR DOOR MAY BE UP TO 7/8" LOWER THAN TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. LANDINGS TO BE \geq 44" IN THE DIRECTION OF TRAVEL AND \geq THE WIDTH OF THE DOOR OR STAIRWAY SERVED; WHICHEVER IS GREATER.

C8.4 EXCEPTION: LANDINGS SERVING INDIVIDUAL RESIDENCE MUST BE \geq 36" IN THE DIRECTION OF TRAVEL. A THRESHOLD SHALL BE NO HIGHER THAN 0.5". THRESHOLDS EXCEEDING 0.25" SHALL BE BEVELED WITH A SLOPE NOT TO EXCEED 50%.

C8.5 DOORS SERVING INDIVIDUAL DWELLING UNITS OR A PRIVATE GARAGE MAY OPEN AT AN INTERIOR FLIGHT OF STAIRS, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRS.

C8.7 ELEVATIONS IN FLOOR LEVEL DUE TO FINISH MATERIALS SHALL NOT EXCEED 0.5". CHANGES IN LEVEL GREATER THAN 0.5" SHALL BE RAISED.

C8.8 UNO, DOOR HANDLES TO BE LEVER TYPE, CURVED, & RETURN TO WITHING 0.5" OF THE DOOR. 'R' & 'M' OCCUPANCIES WITH UP TO 10 OCCUPANTS ARE EXEMPT.

C8.10 UNO IN ENERGY REPORT OR ON PLANS, (N) FENESTRATION TO HAVE MAX U-FACTOR OF 0.30 & MAX SHGC OF 0.23

C8.11 PROVIDE SOLDERED DOOR PAN AT EXTERIOR DOORS

C8.14 WINDOWS, GLAZED DOORS & GLAZED OPENINGS WITHIN DOORS SUBJECT TO WILDFIRE CODE REQUIREMENTS SHALL BE DUAL GLAZED WITH A MINIMUM OF ONE TEMPERED PANE, OR BE GLASS BLOCK UNITS, OR BE 20 MINUTE FIRE-RATED WHEN TESTED IN ACCORDANCE WITH NFPA 257 OR BE TESTED TO MEET SFM STANDARD 12-7A-2

C8.15 EXTERIOR DOORS SUBJECT TO WILDFIRE CODE REQUIREMENTS SHALL OBSERVE ONE OF THE FOLLOWING: EXTERIOR FINISH OR GLAZING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL. SHALL BE CONSTRUCTED OF SOLID-CORE WOOD, MIN 1-3/8" THICK WITH RAISED PANELS MIN 1-1/4" THICK, EXCEPT FOR THE PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO TONGUE NOT LESS THAN 3/4" THICK, OR SHALL HAVE A 20-MIN RATINGS AS TEST PER NFPA 252.

C10 FIREPLACES

C10.1 FOR PRE-MANUFACTURED FIREPLACE UNIT. REFER TO INSTALLATION INSTRUCTIONS FOR SPECIFIC CLEARANCE, COMBUSTION AIR, & INSTALLATION REQUIREMENTS.

C10.2 METAL OR GLASS DOORS, COVERING ENTIRE FIREBOX OPENING, THAT CAN CLOSE WHILE FIRE IS BURNING REQUIRED.

C10.3 2" MIN. CLR. BETWEEN COMBUSTIBLE MATERIALS & FIREPLACE, SMOKE CHAMBER, OR CHIMNEY WALLS.

C10.4 6" MIN. CLR. BETWEEN FIREPLACE OPENING & COMBUSTIBLE MATERIALS. COMBUSTIBLE MATERIALS WITHIN 12" OF OPENING SHALL PROJECT NO MORE THAN 1/8" FOR EACH 1" CLR. FROM OPENING.

C10.5 HEARTH'S SHALL EXTEND AT LEAST 18" FROM THE FRONT OF FIREPLACE AND 8" BEYOND EACH SIDE OF FIREPLACE OPENING, OR 20" & 12" RESPECTIVELY, IF OPENING IS \geq 6 SF. HEARTH'S TO BE BRICK, STONE, CONCRETE OR OTHER APPROVED NON-COMBUSTIBLE MATERIAL. SHALL BE AT LEAST 4" THICK, AND SUPPORTED BY NON-COMBUSTIBLE MATERIALS OR SELF-SUPPORTING. INTERIOR HEARTH'S SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR.

C10.6 SITE-BUILT MASONRY FIREPLACES TO BE FABRICATED BY LICENSED PROFESSIONALS FAMILIAR WITH THE APPROPRIATE CODE, ENERGY AND SAFETY REQS.

C10.7 CHIMNEYS TO EXTEND AT LEAST 2' ABOVE ANY PORTION OF THE STRUCTURE WITHIN 10' HORIZONTALLY AND AT LEAST 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF ASSEMBLY

C10.8 WHERE A MASONRY OR METAL RAIN CAP IS INSTALLED ON A MASONRY CHIMNEY, THE NET FREE AREA UNDER THE CAP SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY FLUE IT SERVES.

C10.9 SOLID FUEL BURNING CHIMNEYS TO BE TERMINATED WITH APPROVED SPARK ARRESTOR

C11 WEATHER-RESISTIVE BARRIERS

C11.1 EXTERIOR WALLS TO BE COVERED WITH TYVEK HOMEWRAP (ICC ER-4000) - OR EQUAL & INSTALLED PER MFG INSTALLATION INSTRUCTIONS.

C11.2 DUPONT FLASHING TAPE (OR EQUAL) TO BE INSTALLED PER INSTALLATION INSTRUCTIONS AT WINDOWS AND DOORS

C11.3 PROVIDE SOLDERED DOOR PAN AT EXTERIOR DOORS

C11.4 UNO, PROVIDE 10 MIL VAPOR RETARDER (OR EQUAL) @ CONCRETE SLABS FOR HABITABLE SPACES. PROVIDE MIN 6" LAPS @ VAPOR BARRIER BREAKS

C12 SLOPES @ STRUCTURE PERIMETER

C12.1 UNO PER PLAN, IMPERMEABLE SURFACES ABUTTING NON-RESIDENTIAL STRUCTURES TO BE SLOPED AWAY FROM STRUCTURE @ 1% MIN FOR AT LEAST 10'

C12 ROOFING

C12.1 ROOF COVERING TO HAVE MINIMUM CLASS A RATING

C12.2 ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY AND INSTALLED PER MFG INSTRUCTIONS

C12.3 CLAY ROOF TILES TO BE INSTALLED PER TILE ROOFING INSTITUTE (WWW.TILEROOFING.ORG) INSTALLATION INSTRUCTIONS (ICC-ES ESR-2019P)

C12.4 ASPHALT SHINGLES NOT ALLOWED ON ROOF PITCHES <2:12 UNO. INSTALL CERTAINTED SHINGLES (ICC-ES ESR-3537 FOR ROOF PITCHES \geq 2:12 AND <4:12, ASPHALT STRIP SHINGLES MAY BE INSTALLED, PROVIDED THE SHINGLES ARE APPROVED SELF-SEALING OR ARE HAND SEALED AND ARE INSTALLED WITH AN UNDERLAYMENT CONSISTING OF TWO LAYERS OF NON-PERFORATED TYPE 15 FELT APPLIED SHINGLE FASHION, STARTING WITH AN 18-INCH-WIDE (457 MM) SHEET AND A 36-INCH-WIDE (914 MM) SHEET OVER IT AT THE EAIVES, EACH SUBSEQUENT SHEET SHALL BE LAPPED 19 INCHES (483 MM) HORIZONTALLY

C12.6 UNO PER PLAN, MINERAL SURFACED ROLL ROOFING TO BE USED AT SLOPES \geq 8% AND < 17% (2:12)

C12.7 UNO PER PLAN, BUILT-UP ROOFING TO BE USED AT SLOPES \geq 2% AND < 8% (1:12)

C12.8 UNO PER PLAN, COAL-TAR BUILT-UP ROOFING TO BE USED AT SLOPES \geq 1% AND < 2% (1/4:12)

C12.9 UNO PER PLAN, INSTALL 2 LAYERS GRADE 70 BLDG PAPER OVER ROOF SHEATHING

C12.10 UNO PER PLAN, WHEN PROVIDED, VALLEY FLASHINGS IN AREAS SUBJECT TO WILDFIRE EXPOSURE, ARE NOT TO BE LESS THAN 26 GALVANIZED SHEET GAUGE CORROSION RESISTANT METAL INSTALLED OVER A MIN 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF MIN 72 POUND MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING

C15 FAU ATTIC CONSTRUCTION REQUIREMENTS

C15.1 ATTIC ACCESS TO BE A MINIMUM OF 30"X22" OR SIZE NECESSARY TO FACILITATE INSTALLATION OR SUBSEQUENT REPLACEMENT OF THE EQUIPMENT, WHICHEVER IS GREATER

C15.2 AN UNOBSTRUCTED PASSAGEWAY WHICH IS NO MORE THAN 20 FT IN LENGTH, HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE, AND INCLUDES A SERVICE SPACE AT LEAST 30"X30" AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT

C15.3 CHECK INSTALLATION INSTRUCTIONS FOR MINIMUM COMBUSTIBLE AIR REQUIREMENTS. ADDITIONAL ATTIC VENTILATION MAY BE NECESSARY

C15.4 UNLESS OTHERWISE NOTED IN INSTALLATION INSTRUCTIONS, MAINTAIN MINIMUM 3" CLEARANCE FROM TOP, BACK & SIDES (TOTAL OF BOTH SIDES SHALL BE AT LEAST 12").

C16 GYPSUM

C16.1 INSTALL GYPSUM PER GYPSUM ASSOCIATION INSTALLATION INSTRUCTIONS GA-216-07. AT WWW.GYPSUM.ORG/

C16.2 UNO ALL GYPSUM TO BE 5/8" THICK.

C17 STAIRS

C17.1 WIDTH - MIN 36" STAIR FOR OCCUPANT LOADS < 50, MIN 44" FOR HIGHER OCCUPANCY LOADS, UNO PER FLOOR OR EGRESS PLAN, MIN 48" IF STAIR UNIT IS PART OF AN ACCESSIBLE MEANS OF EGRESS

C17.2 HEADROOM - MIN 80" CLEARANCE AT NOSING

C17.3 RISER - 4" TO 7" RISER HEIGHT WITH MAX VARIANCE IN HEIGHT OF 3/8" RISER TO BE VERTICAL & 6 SID

C17.4 TREAD - 11" MIN DEPTH WITH MAX VARIANCE OF 3/8" RADIUS AT LEADING EDGE OF TREAD \leq 9/16"

C17.5 NOSING PROJECTION OVER TREAD BEING \leq 1-1/4"

C18 EXTERIOR STUCCO OR PLASTER CEMENT

C18.1 WATER-RESISTIVE BARRIER - PROVIDE MIN 2 LAYERS OF GRADE D PAPER OR EQUIVALENT

C18.2 METAL LATH & LATH ATTACHMENTS TO BE OF CORROSION-RESISTANT MATERIAL

C18.3 PROVIDE MIN 3 COATS, @ A MIN THICKNESS OF 7/8" (TEXTURE EXCLUDED) IF OVER METAL LATH OR WIRE FABRIC. 2 COATS ALLOWED IF OVER CONCRETE OR MASONRY

C19 GREEN BUILDING STANDARDS

C19.1 RODENT PROOFING, ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUTS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. (SECTION 4.406.1)

C19.2 A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE. (SECTION 4.408.1)

C19.3 BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT A SIGNED AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH. (SECTION 4.410.1)

C19.4 A CERTIFICATE SHALL BE COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE PAINTS, STAINS, AND ADHESIVES COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN CODE.

C19.5 A CERTIFICATE SHALL BE COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCTS, PLYWOOD, AND/OR PARTICLE BOARD COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN CODE.

C20 GUTTER & DOWNSPOUT

C20.1 GUTTERS, WHEN SPECIFIED, TO BE SLOPED @ 1/4" PER 10'

C20.2 AS MUCH AS PRACTICABLE, DOWNSPOUTS TO BE PROVIDED FOR EVERY 20' OF GUTTER. NOTE, WITH DOWNSPOUTS AT 40' OC, & THE "HIGH" POINT CENTERED BETWEEN THE DOWNSPOUTS, THERE WILL BE 1/2" OF FALL FROM HIGH POINT TO NEAREST DOWNSPOUT

C20.3 PROVIDE GUTTER DEBRIS GUARDS SO THAT DEBRIS CAN'T COLLECT IN GUTTERS

C21 PAINTS AND COATINGS

C21.1 ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.5, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.

C21.2 AEROSOL PAINTS & COATINGS SHALL MEET THE PVMR LIMITS FOR ROC IN SECTION 94522(A)(3) & OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS & OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) & (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507, & IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 4.1

C21.3 5.504.4 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4.

C22 ADHESIVES, SEALANTS AND CAULKS

C22.1 ADHESIVES, ADHESIVE BONDING PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE. OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.

C22.2 AEROSOL ADHESIVES, AND SMALLER UNITS SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

C22.3 5.504.4.3.2 VERIFICATION, VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

C23 CARPET SYSTEMS

C23.1 ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET AT LEAST ONE OF THE FOLLOWING TESTING AND PRODUCT REQUIREMENTS: CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM.

C23.2 COMPLIANT WITH THE VOC EMISSIONS LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS COPH STANDARD METHOD 11.1 OR SPECIFICATION 01350).

C23.3 NSF/ANSI 140 AT THE GOLD LEVEL OR HIGHER.

C23.4 SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE, OR

C23.5 COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CA-CHPS) CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE.

C23.6 4.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTES GREEN LABEL PROGRAM.

C23.7 4.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

C23.8 4.504.4 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS TO BE USED ON THE INTERIOR OR EXTERIOR OF THE BUILDINGS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR (ATCM) COMPOSITE WOOD (17 CCR 93120 ET SEQ.) THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 4.504.5.

C23.9 4.504.5.1 DOCUMENTATION, VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUIRED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

1. PRODUCT CERTIFICATION AND SPECIFICATION.
2. CHAIN OF CUSTODY CERTIFICATION.
3. PRODUCTS LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 636 3S STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

C24 ACOUSTICAL CONTROL

C24.1 EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OUTDOOR-INDOOR SOUND TRANSMISSIONS CLASS (IOTC) DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2. EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.

C24.2 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD. WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING LOCATIONS:

1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT. EXCEPTIONS: 1. LDN OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (AICUZ) PLAN. 2. LDN OF CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT. 2. WITHIN THE 65 CNEL OR LDN NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.

C24.3 5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE. BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB L_{EQ}-1-HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING, ADDITION OR ALTERATIONS EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MIN STC OF 40 (OR OITC 30).

C24.4 5.507.4.2 PERFORMANCE METHOD. FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1 WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTION TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (LEQ-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

C24.5 5.507.4.2.1 SITE FEATURES. EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE BUILDING, ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

C24.6 5.507.4.2.2 DOCUMENTATION OF COMPLIANCE. AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

C24.7 5.507.4.3 INTERIOR SOUND TRANSMISSION. WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40. NOTE: EXAMPLE OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: [HTTP://WWW.TOOLBASE.ORG/PDF/CASESTUDIES/STC_JCC_RATINGS.PDF](http://www.toolbase.org/pdf/casestudies/stc_jcc_ratings.pdf)



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KYLE'S KITCHEN
OUTDOOR SEATING

6831D HOLLISTER AVE
GOLETA, CA 93117

PROJECT NO: 5254

CLIENT

KYLE'S KITCHEN
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GENERAL NOTES

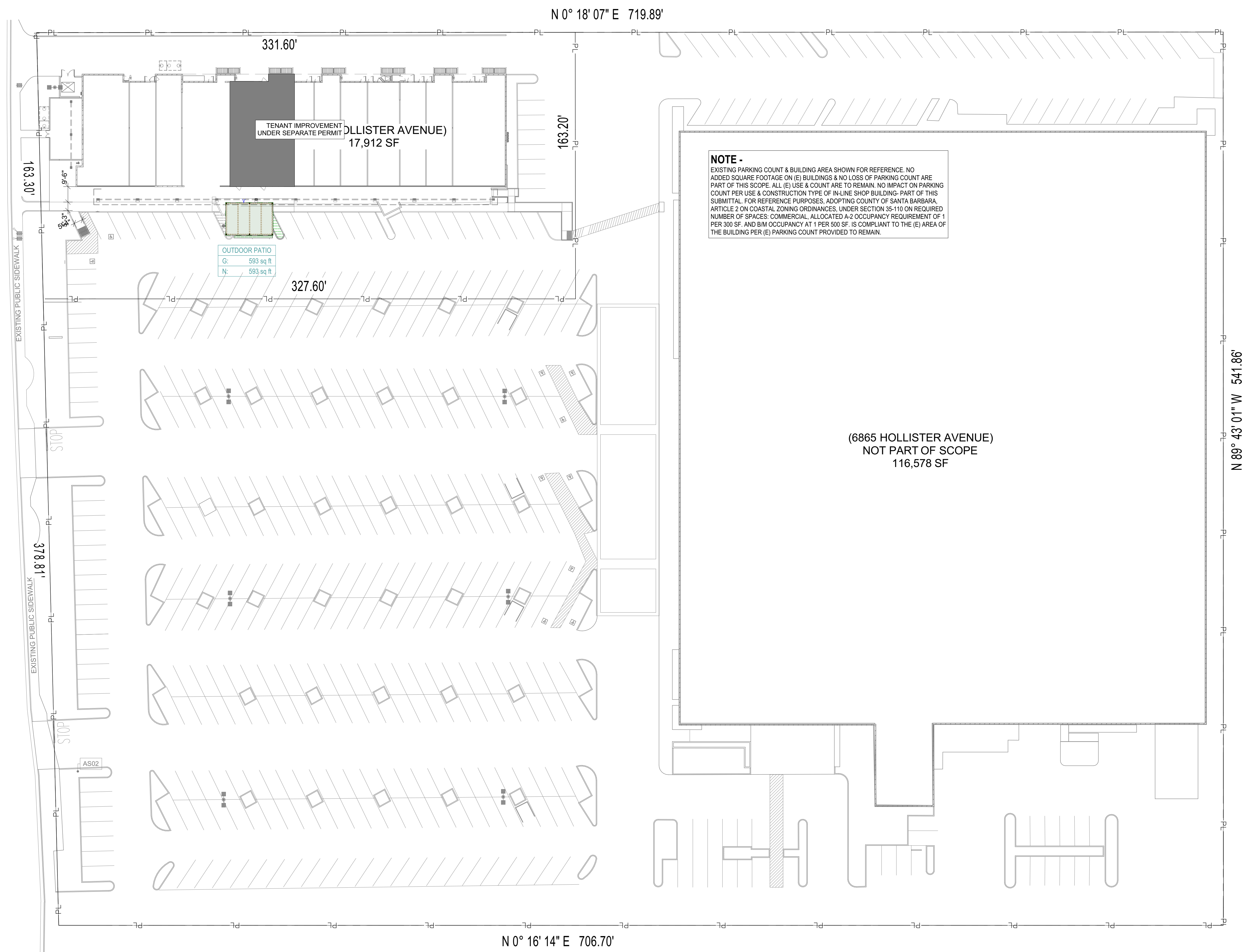
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SHEET SIZE 30X42

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HOLLISTER AVENUE



NOTE -
 EXISTING PARKING COUNT & BUILDING AREA SHOWN FOR REFERENCE. NO ADDED SQUARE FOOTAGE ON (E) BUILDINGS & NO LOSS OF PARKING COUNT ARE PART OF THIS SCOPE. ALL (E) USE & COUNT ARE TO REMAIN. NO IMPACT ON PARKING COUNT PER USE & CONSTRUCTION TYPE OF IN-LINE SHOP BUILDING PART OF THIS SUBMITTAL. FOR REFERENCE PURPOSES, ADOPTING COUNTY OF SANTA BARBARA, ARTICLE 2 ON COASTAL ZONING ORDINANCES, UNDER SECTION 35-110 ON REQUIRED NUMBER OF SPACES: COMMERCIAL, ALLOCATED A-2 OCCUPANCY REQUIREMENT OF 1 PER 300 SF. AND 5M OCCUPANCY AT 1 PER 600 SF. IS COMPLIANT TO THE (E) AREA OF THE BUILDING PER (E) PARKING COUNT PROVIDED TO REMAIN.

(6865 HOLLISTER AVENUE)
 NOT PART OF SCOPE
 116,578 SF

1 ARCHITECTURAL SITE PLAN (OUTDOOR SEATING)
 SCALE: 1" = 30'

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRI]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CD]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETENTION ZONE (DZ)
[DZI]	DETENTION ZONE INVERT
[DCDA]	DOUBLE CHECK DETECTOR ASSY
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[EL]	ELECTRICAL SERVICE LATERAL
[ED]	ELECTRICAL SERVICE
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FS]	FINISHED SURFACE ELEVATION
[FH]	FIRE HYDRANT
[FL]	FLOOR LEVEL
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVRI]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
[PP]	POWER POLE
[PL]	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RIP-RAP]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SS 4.00]	SANITARY SEWER 4"
[SCPR]	SCUPPER
[SELF RETAINING]	SELF RETAINING
[SELF TREATING]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE OF GRADE 5% MIN FOR 10-FT]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SLOPE OF 2% IMPERVIOUS]	SLOPE OF 2% IMPERVIOUS
[SLOPE OF 1% IMPERVIOUS]	SLOPE OF 1% IMPERVIOUS
[SLOPE PER X %]	SLOPE PER X %
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SW 4.00]	STORM WATER SEWER 4"
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[CW 1.00]	WATER SUPPLY 1"
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WORK AREA]	WORK AREA

WINDWARD
 moving forward

WINDWARD DESIGN SERVICES, LLC
 1825 STATE STREET, STE 102
 SANTA BARBARA, CA 93101
 T: 805.845.8601
 E: INFO@WINDWARDENG.COM

KYLE'S KITCHEN
 OUTDOOR SEATING

6831D HOLLISTER AVE
 GOLETA, CA 93117

PROJECT NO: 5254

CLIENT
 KYLE'S KITCHEN
 6831D HOLLISTER AVE
 SANTA BARBARA, CA 93117



PUBLISHED: 4/7/2026 10:53 AM

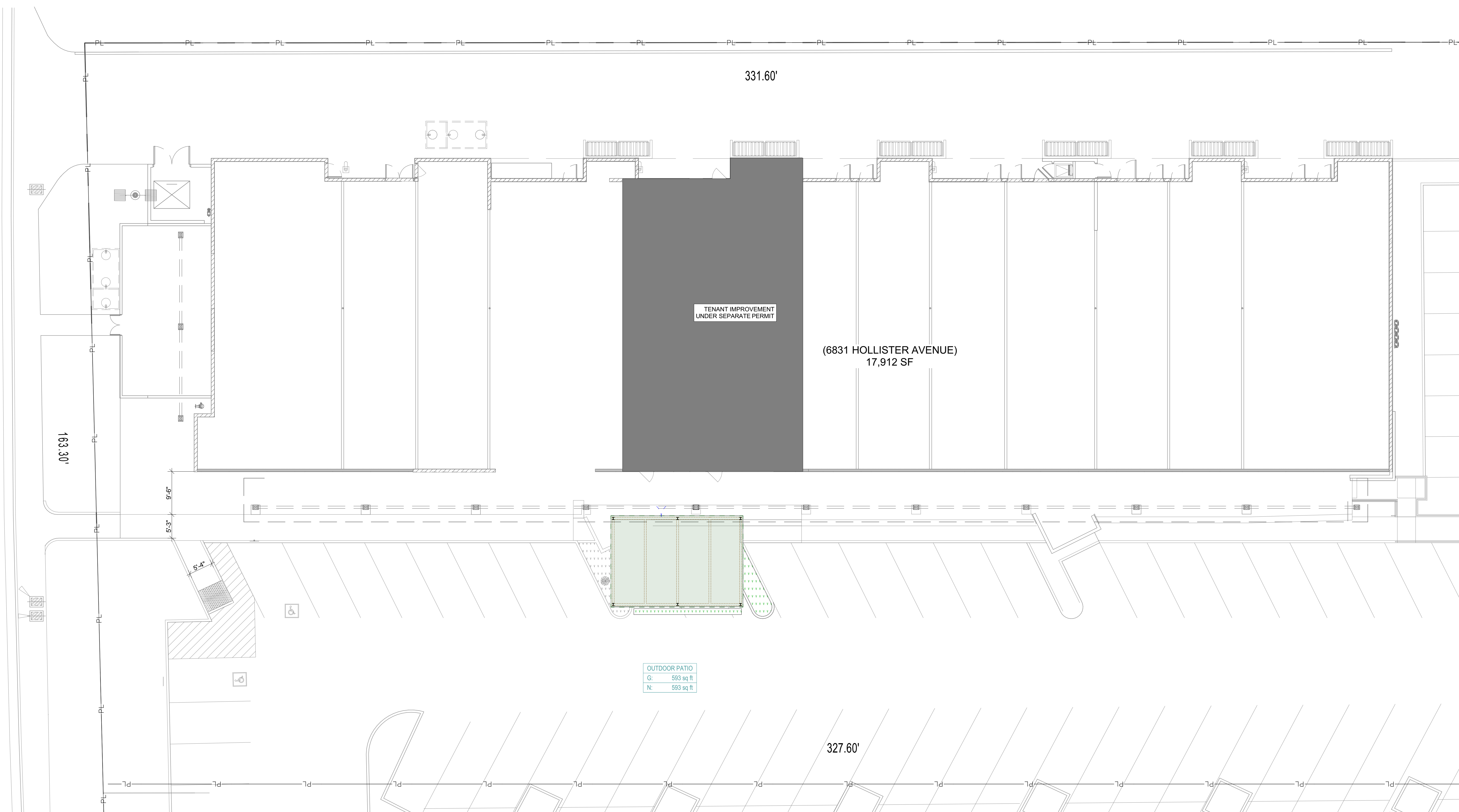
DATES
 4/7/2026 DBR SUB

SCALE AS NOTED
 CREATED BY: WDS

SHEET
 SITE PLAN - OUTDOOR SEATING

A101

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRI]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CD]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETECTION ZONE (DZ)
[DZI]	DETECTION ZONE INVERT
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[DS]	DOWNSPOUT
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[EM]	ELECTRIC METER
[EL]	ELECTRICAL SERVICE LATERAL
[ED]	ELECTRICAL SERVICE
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FS]	FINISHED SURFACE ELEVATION
[FH]	FIRE HYDRANT
[FL]	FLOOR LEVEL
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVR]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
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[RP]	REDUCED PRESSURE
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[SS 4.00]	SANITARY SEWER 4"
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[SR]	SELF RETAINING
[ST]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE 5%]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SLOPE 2%]	SLOPE OF 2% IMPERVIOUS
[SLOPE 1%]	SLOPE OF 1% IMPERVIOUS
[SLOPE X%]	SLOPE PER X %
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SW 4.00]	STORM WATER SEWER 4"
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
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[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[CW 1.00]	WATER SUPPLY 1"
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WA]	WORK AREA



1 ENLARGED SITE PLAN (OUTDOOR SEATING)
NOT TO SCALE



PUBLISHED: 4/7/2026 10:53 AM



DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
ENLARGED SITE PLAN

A102

SHEET SIZE 30X42
52

PLANT SCHEDULE						
ID	VIEW	Quantity	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
P1		1	EUCALYPTUS FICIFOLIA	RED FLOWERING GUM	15 GAL	SPECIMAN
P2		5	RHAPHIOSLEPIS INDICA "ENCHANTRESS"	HAWTHORN	5"	-

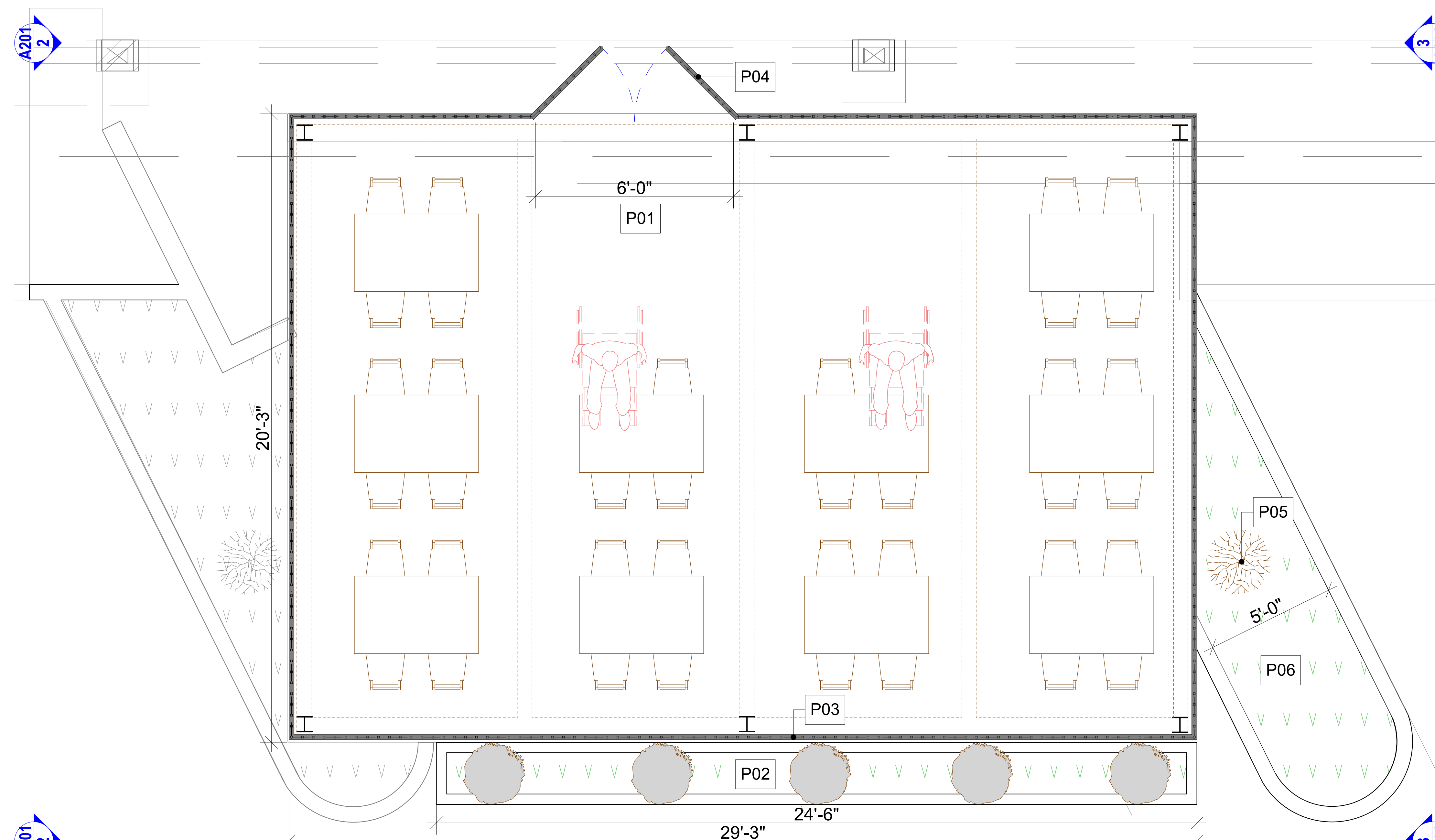
NOTE - THE PROPOSED PLANTINGS ARE TO MATCH THE APPROVED PALETTE FOR THE PARKING LOT UNDER PERMIT # 101828



P1 EUCALYPTUS FICIFOLIA



P2 RHAPHIOSLEPIS INDICA



PATIO KEYNOTES -

- P01 RAISED CONCRETE PATIO TO BE SET 16" ABOVE GRADE FLUSH TO UPPER PATH OF TRAVEL
- P02 RAISED CONCRETE PLANTER TO ACT AS A TRAFFIC BARRICADE. PLANTED WITH RHAPHIOSLEPIS INDICA - SNOW MAIDEN TO MATCH APPROVED PROPERTY PLANTINGS
- P03 (N) 42" GUARD
- P04 6' GATE W/ (2) 3-FT GATE DOORS
- P05 (N) LANDSCAPE ISLAND TO BE PLANTED WITH A EUCALYPTUS FICIFOLIA TO MATCH APPROVED PROPERTY PLANTINGS
- P06 (N) 5-FT LANDSCAPE ISLAND W/ 1-FT CURB TO MATCH EXISTING

1 PATIO PLAN
SCALE: 1/2" = 1'-0"



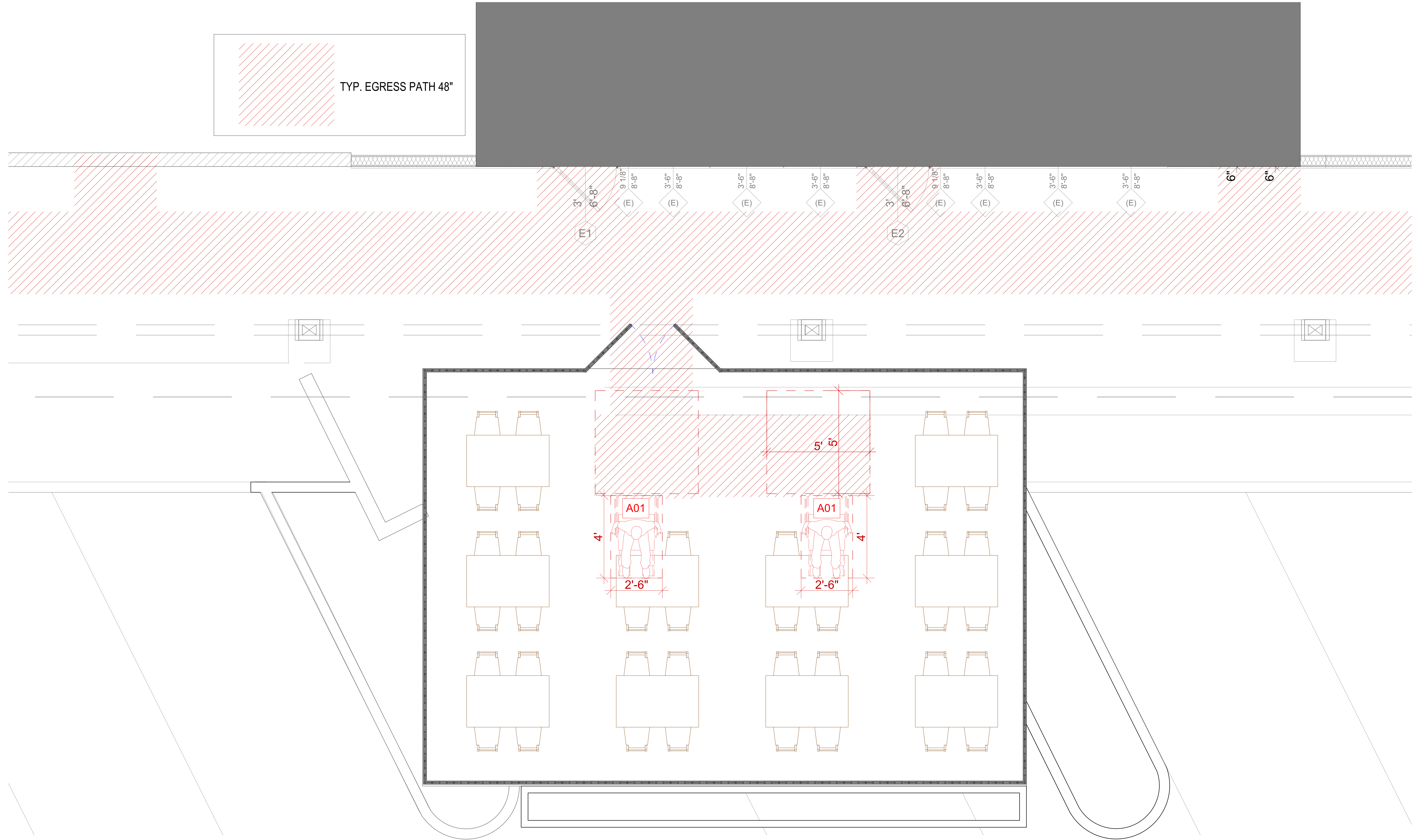
PUBLISHED: 4/7/2026 10:53 AM

DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
OUTDOOR SEATING

A103



ACCESSIBILITY KEYNOTES -
A01 ACCESSIBLE COUNTER, MAX HEIGHT @ 34" PER 22-A502-COUNTER-ACCESSIBLE SIDE REACH

FOR REFERENCE ONLY



1-SMOOTH STUCCO FINISH
By Highland Stucco



2-TILE FINISH-6x18 Thin Set
COLOR: Acreage
BY: Daltile



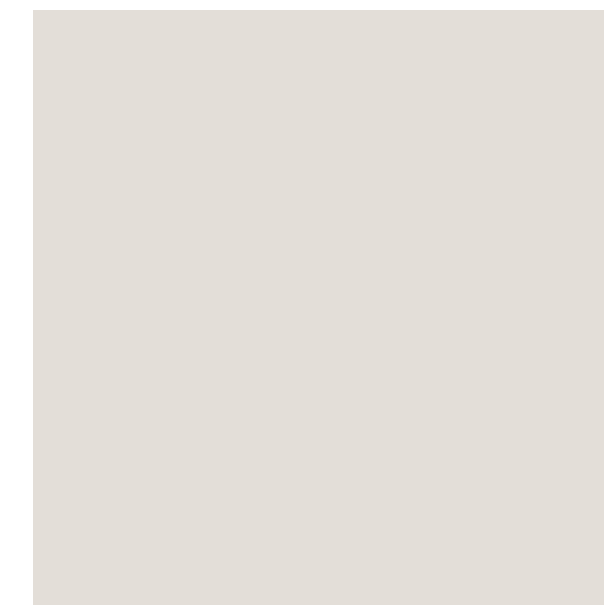
6-METAL CANOPY-PAINTED FINISH PER ELEVATION
Provide Shop Drawing for Approval



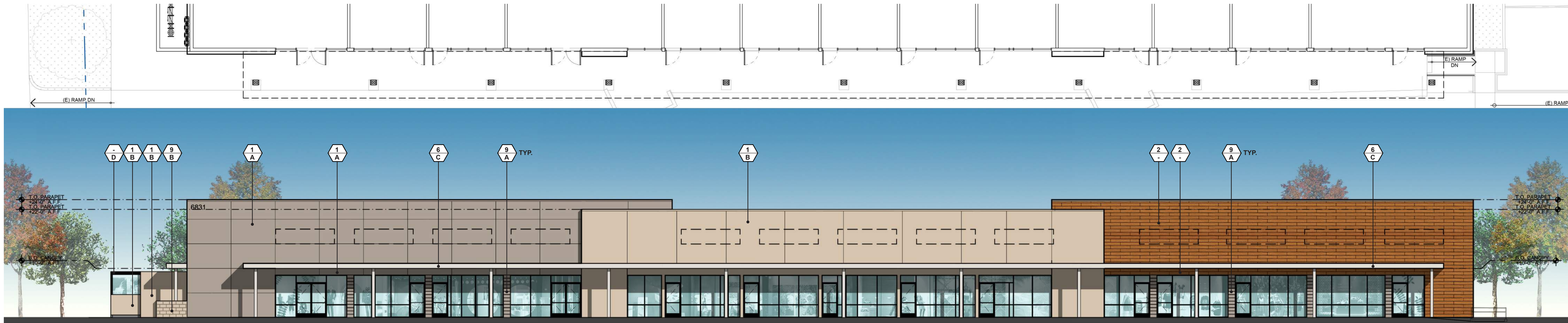
A-PAINT FINISH
COLOR: Mega Greige SW 7031
BY: Sherwin Williams



B-PAINT FINISH
COLOR: Kilim Beige SW 6106
BY: Sherwin Williams

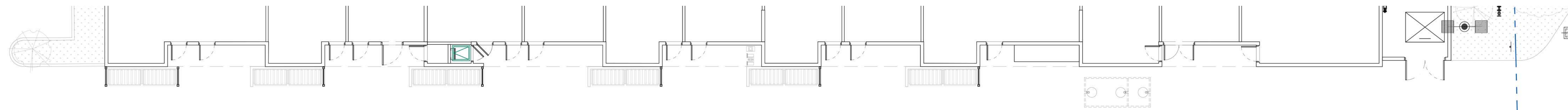


C-PAINT FINISH
COLOR: Incredible White SW 7028
BY: Sherwin Williams



1 WEST ELEVATION

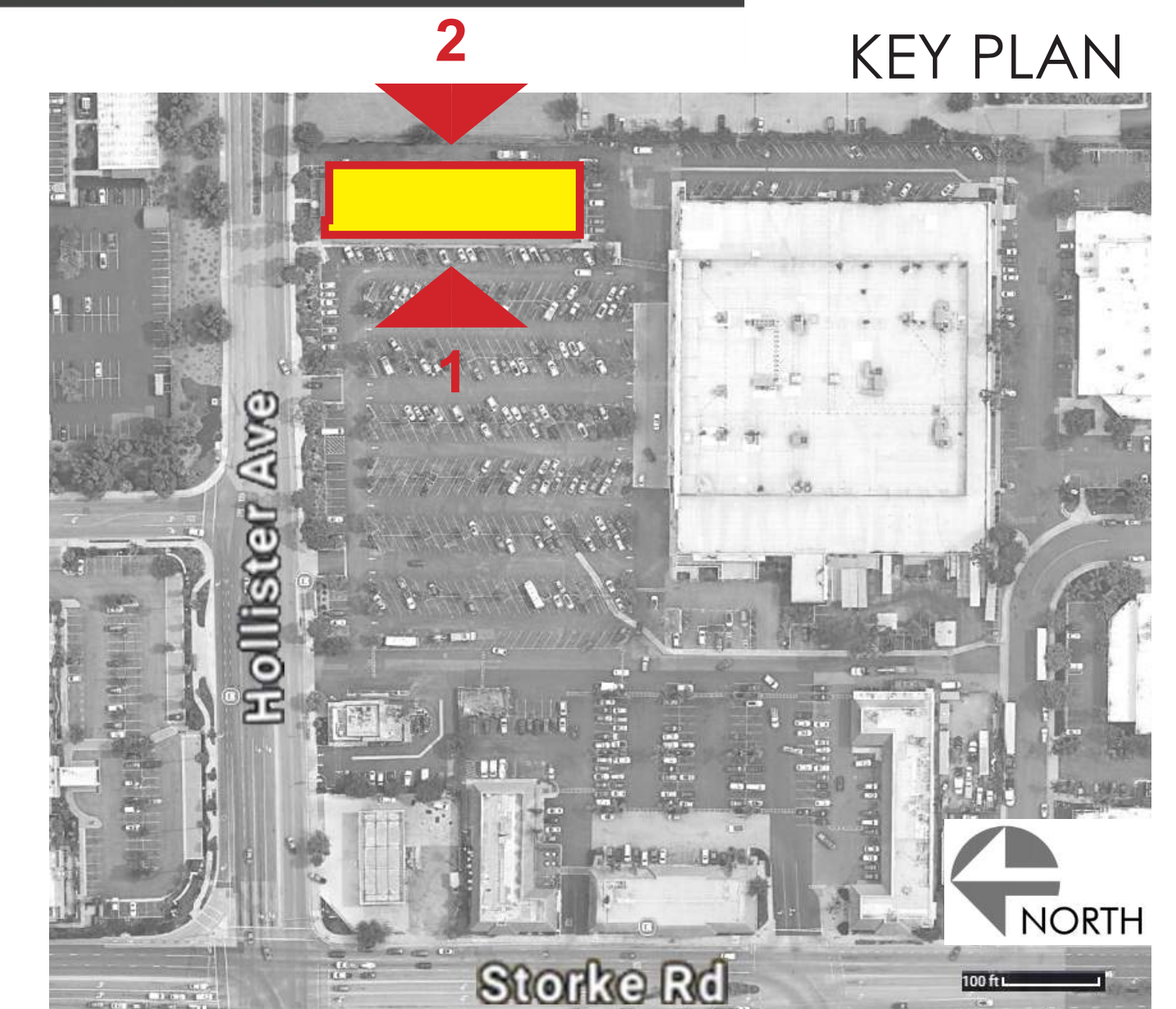
SCALE: 3/32" = 1'-0"



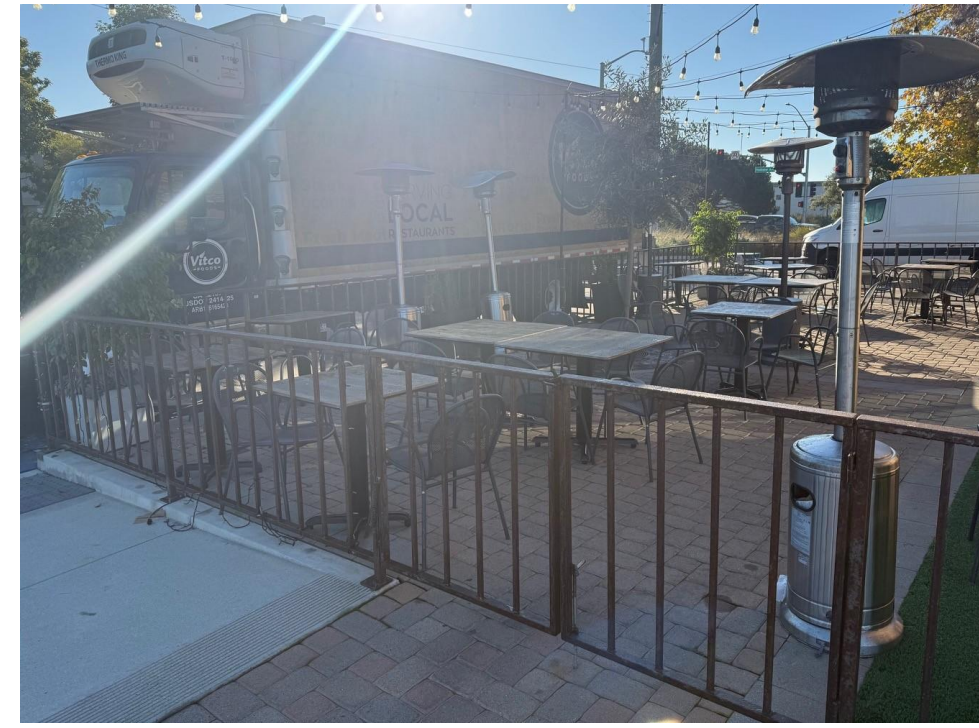
2 EAST ELEVATION

SCALE: 3/32" = 1'-0"

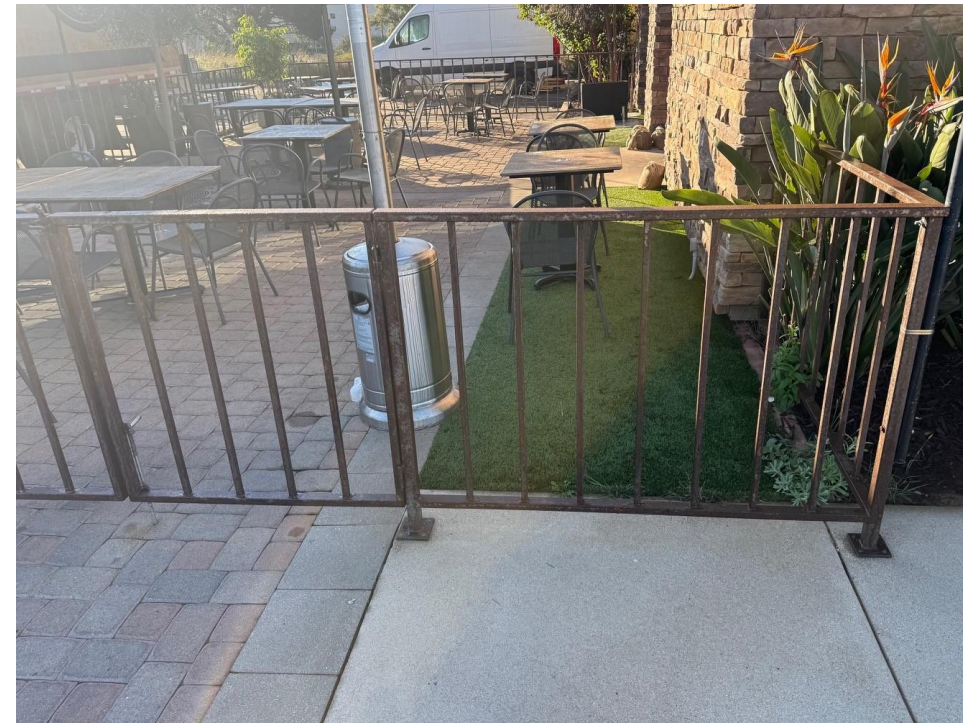
FINISH LEGEND					
KEY	MATERIAL	MANUFACTURER / FINISH & COLOR	KEY	MATERIAL	MANUFACTURER / FINISH & COLOR
1	STUCCO FINISH	MANUFACTURER: HIGHLAND STUCCO - SMOOTH Trowel COLOR: GRAND MESA BY CULTURED STONE	8	SIGNAGE	TENANT SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT. SEE WALL SECTIONS FOR 3/4" PLYWOOD BACKING PER TENANT REQUIREMENT. SEE ELECTRICAL PLANS FOR POWER STUB.
2	TILE FINISH	MANUFACTURER: DALTILE USING, ACREAGE USE: 6"x18" THIN SET. COLOR: ACREAGE- BRICK PATTERN	A	PAINT FINISH (STUCCO)	COLOR: MEGA GREIGE, SW 7031 BY: SHERWIN WILLIAMS
3	STOREFRONT/GLASS	(E) BRONZE ANODIZED ALUMINUM STOREFRONT AND GLASS TO REMAIN. NO WORK ON THIS AREA, U.N.O.	B		COLOR: KILIM BEIGE, SW 6106 BY: SHERWIN WILLIAMS
4	HM EXIT DOORS	(E) HM 2ND EXIT DOOR/SERVICE DOOR TO REMAIN. PAINTED: MATCH TO PAINT COLOR ON ADJACENT WALL	C		COLOR: INCREDIBLE WHITE, SW 7028 BY: SHERWIN WILLIAMS
5	METAL COPING	MANUFACTURER: BY GENERAL CONTRACTOR FINISH: PAINTED TO MATCH ADJACENT PAINT WALL COLOR: SEE ELEVATION PAINT COLOR TO MATCH WALL	D	COLOR: BLACK BEAN, SW 6006 BY: SHERWIN WILLIAMS	
6	METAL CANOPY	MANUFACTURER: BY GENERAL CONTRACTOR FINISH: PAINTED. PROVIDE SHOP DRAWING FOR APPROVAL. COLOR: SEE PAINT COLOR ON ELEV.	9	(E) CMU SPLIT FACE	COLOR: (E) CMU TO REMAIN. NOTE: CLEAN SURFACE TO MAINTAIN (E) FINISH.
7	METAL COLUMN	MANUFACTURER: BY GENERAL CONTRACTOR 12"x12" SQUARE BREAK METAL FINISH, PAINTED. PROVIDE SHOP DRAWING FOR APPROVAL. COLOR: XXXXX			



MATERIAL SCHEDULE



○ REPURPOSED GUARD



○ REPURPOSED GUARD

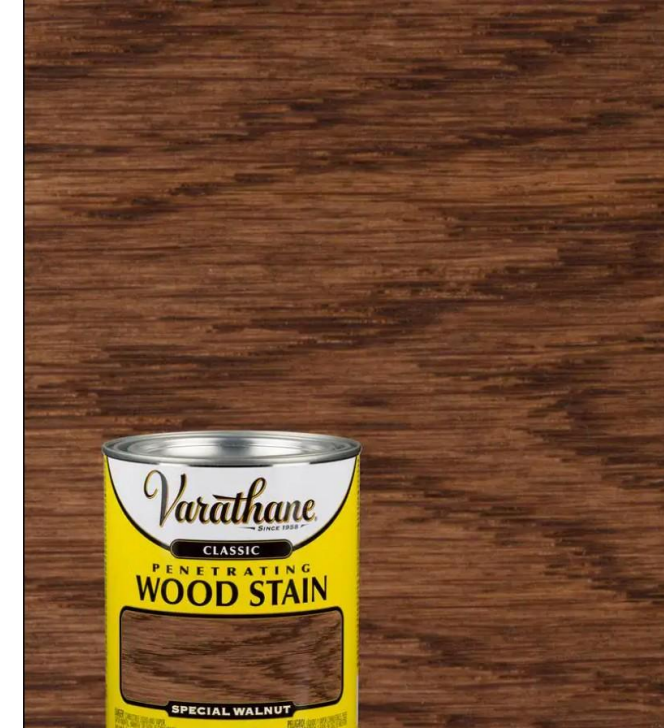


○ PLANTER BOX

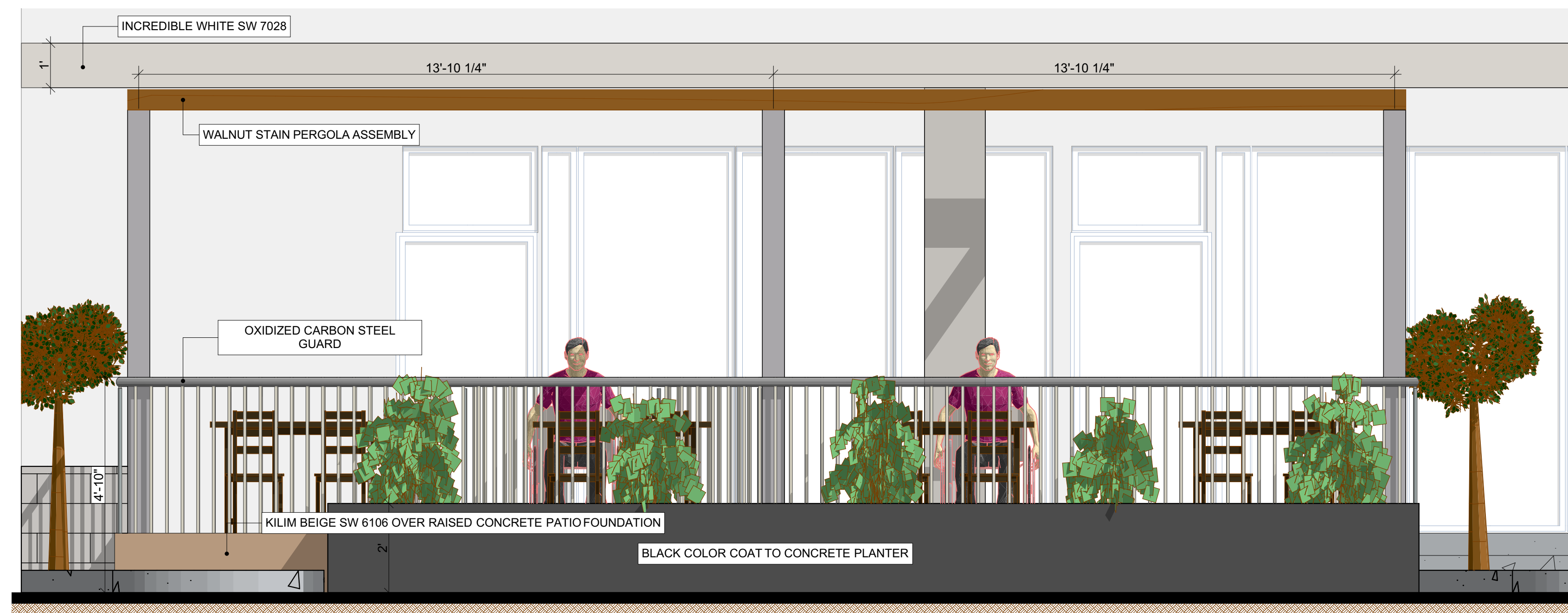


A-PAIN T FINISH
COLOR: Mega Greige SW 7031
BY: Sherwin Williams

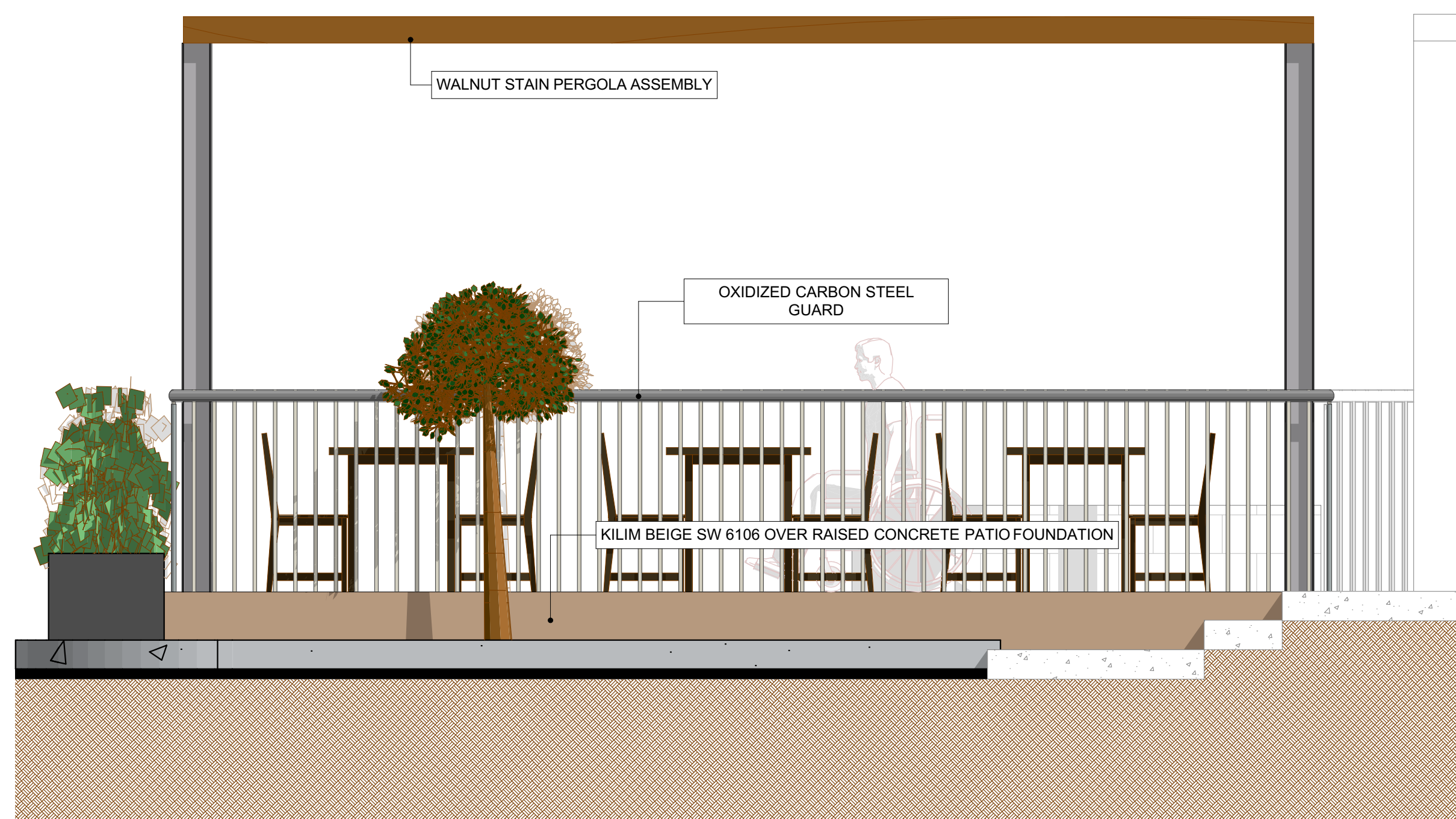
○ MEGA GREIGE SW 7031



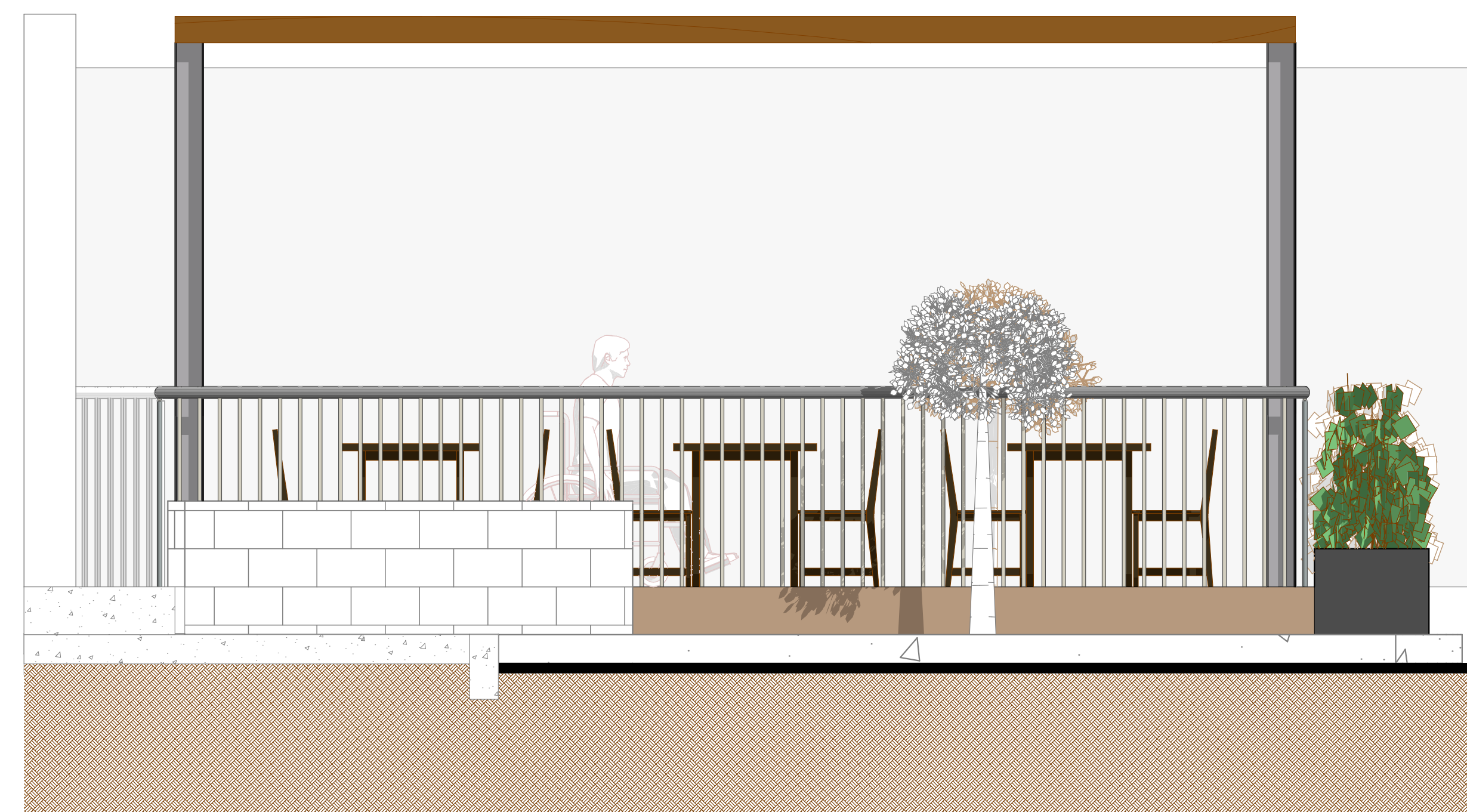
○ VARATHANE WALNUT STAIN



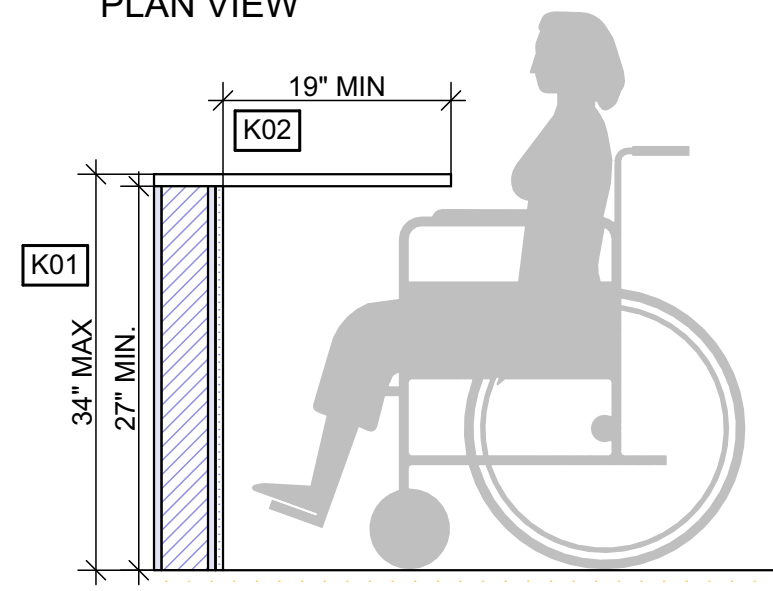
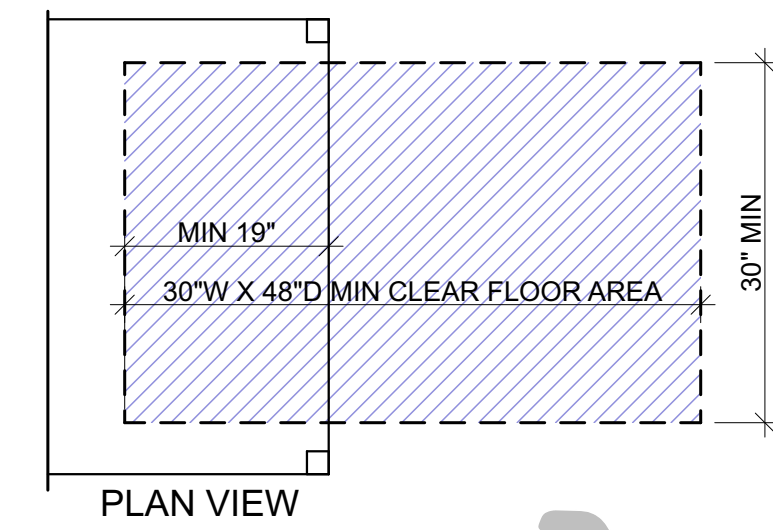
1 SOUTH PATIO ELEVATION
SCALE: 1/2" = 1'-0"



3 EAST PATIO ELEVATION
SCALE: 1/2" = 1'-0"



2 WEST PATIO ELEVATION
SCALE: 1/2" = 1'-0"

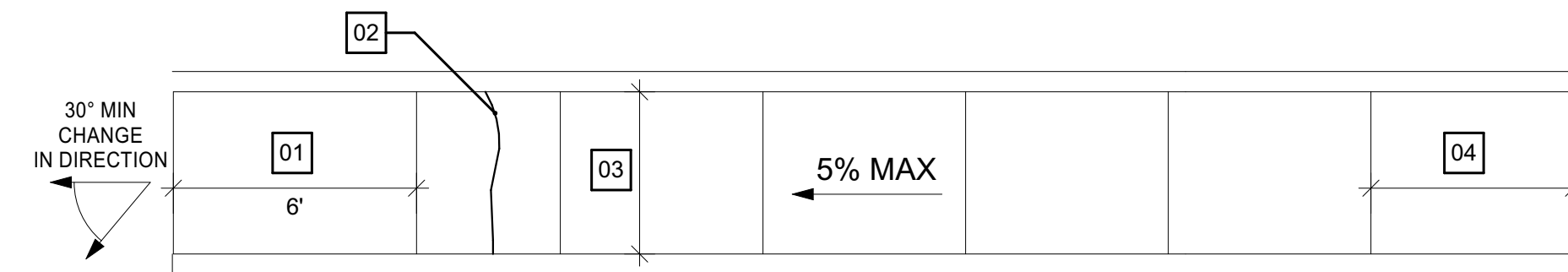


GENERAL NOTES

- G01 THIS DETAIL ILLUSTRATES TYPICAL CODE REQUIREMENTS & IS PROVIDED FOR REFERENCE PURPOSES ONLY. ACTUAL CONDITIONS MAY VARY. PLEASE NOTIFY THE DESIGNER OF CONDITIONS THAT CONFLICT WITH THIS DETAIL.
- G02 MINIMUM 30" W X 48" D CLEAR SPACE IS PROVIDED IN FRONT OF COUNTER W/ MIN 18" KNEE CLEARANCE

KEYNOTES

- K01 34" MAX COUNTER HEIGHT & MIN. 28" ABOVE FINISH FLOOR OR GROUND
K02 19" MIN DEPTH KNEE CLEARANCE



GENERAL NOTES -

- G01 NO ELEMENT (INCLUDING HANDRAILS, CURBS, OR WHEEL GUIDES) SHALL PROJECT INTO THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- G02 WHERE WALKS CONNECT TO RAMPS, THE TRANSITION SHALL BE SMOOTH AND FLUSH. CROSS SLOPE OF WALKS SHALL NOT EXCEED 1/4 INCH PER FOOT (2% SLOPE).
- G03 ACCESSIBLE WALKING SURFACES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:48 (2%). SLOPES SHALL BE MEASURED USING A 24" SMART LEVEL UNLESS OTHERWISE DIRECTED BY THE AUTHORITY HAVING JURISDICTION (A.H.J.).
- G04 WALKING SURFACE FINISHES SHALL BE SLIP-RESISTANT.
• FOR SLOPES LESS THAN 6%, APPLY MEDIUM-SALTED SLIP-RESISTANT FINISH.
• FOR SLOPES 6% AND GREATER, THE FULL GRADIENT MUST BE SLIP-RESISTANT.
- G05 DESIGN OUTDOOR RAMPS AND WALKS TO PREVENT WATER ACCUMULATION AND TO ENSURE POSITIVE DRAINAGE.

KEYNOTES -

- 01 AT DOORS OR GATES ALONG ACCESSIBLE WALKS, A LEVEL LANDING SHALL BE PROVIDED, MINIMUM 60 INCHES IN LENGTH (MEASURED IN THE DIRECTION OF TRAVEL) AND CLEAR WIDTH OF 48 INCHES MINIMUM.
- 02 WHERE A WALK IS PART OF A REQUIRED WHEELCHAIR TURNING SPACE, PROVIDE A 60-INCH DIAMETER TURNING CIRCLE OR A T-SHAPED TURNING SPACE, CLEAR OF OBSTRUCTIONS.
- 03 ACCESSIBLE WALKS MUST MAINTAIN A MINIMUM CLEAR WIDTH OF 48 INCHES. PASSING SPACES OF 60 INCHES BY 60 INCHES SHALL BE PROVIDED AT INTERVALS OF 200 FEET WHERE CONTINUOUS WIDTH IS LESS THAN 60 INCHES.
- 04 FOR CONTINUOUS ACCESSIBLE WALKS THAT EXTEND MORE THAN 400 FEET, PROVIDE A RESTING AREA THAT IS LEVEL AND AT LEAST 60 INCHES LONG TO ALLOW FOR USER RECOVERY.

5 ACCESS-DINING & WORK REQ
NOT TO SCALE

10 ACCESSIBLE ROUTE
SCALE: 1/4" = 1'-0"



PUBLISHED: 4/7/2026 10:53 AM

DATES
4/7/2026 DBR SUB

SCALE AS NOTED
CREATED BY: WDS

SHEET
ARCH DETAILS

A501

ATTACHMENT D

ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS

RESOLUTION NO. 03-20

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
GOLETA, CALIFORNIA, ADOPTING ARCHITECTURE AND
DESIGN STANDARDS FOR COMMERCIAL PROJECTS**

WHEREAS, upon the incorporation of the City on February 1, 2002, and in accordance with Government Code section 65360, which provides that a newly incorporated city has at least 30 months to adopt a general plan, the City elected not to directly adopt the applicable portions of the Santa Barbara County General Plan, including the Goleta Community Plan previously adopted by the Santa Barbara County Board of Supervisors;

WHEREAS, Appendix B of the Goleta Community Plan set forth certain architecture and design standards for commercial projects within what is now the City limits;

WHEREAS, the City Design Review Board (“DRB”) has reviewed the architecture and design standards set forth in Appendix B and has made a recommendation to the City Council that the City adopt a modified version of such standards so that the DRB and the City’s Planning Agencies have some additional architecture and design guidelines when reviewing commercial projects prior to the City’s adoption of a general plan;

WHEREAS, the City Council has reviewed the document entitled “CITY OF GOLETA ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS” recommended by the DRB and finds that the proposed standards contained therein, as amended by the City Council, are generally consistent with the general plan proposal being considered or studied by the City Council, and that such standards will enhance the ability of the DRB and the City’s Planning Agencies to review commercial projects and ensure that such projects exemplify the best professional design practices, enhance the visual quality of the environment, benefit surrounding property values and make the most appropriate use of land within the City.

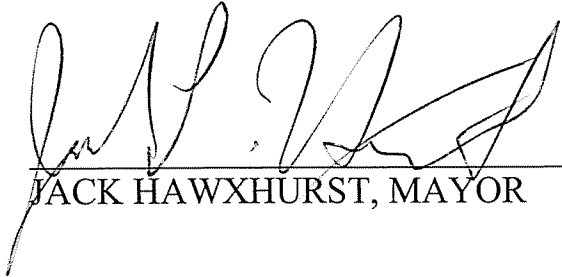
NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GOLETA DOES RESOLVE, DETERMINE, FIND, AND ORDER AS FOLLOWS:

SECTION 1. The "City of Goleta Architecture and Design Standards for Commercial Projects" attached as Exhibit "A" to this resolution are hereby approved and adopted.

SECTION 2. To the extent that any inconsistency exists between these City of Goleta Architecture and Design Standards for Commercial Projects and the guidelines and standards set forth in the Goleta Old Town Heritage District Architecture and Design Guidelines (the "County Old Town Guidelines") previously adopted by the County of Santa Barbara, the County Old Town Guidelines shall control within Goleta Old Town.

SECTION 3. City Clerk shall certify as to the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 7th day of April, 2003.



JACK HAWXHURST, MAYOR

ATTEST:



FREDERICK C. STOUDER
CITY CLERK

APPROVED AS TO FORM:



JULIE HAYWARD BIGGS
CITY ATTORNEY

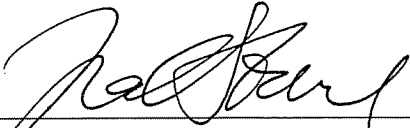
STATE OF CALIFORNIA)
COUNTY OF SANTA BARBARA) ss.
CITY OF GOLETA)

I, FREDERICK C. STOUDER, City Clerk of the City of Goleta, do hereby certify that the foregoing Resolution No. 03-20 was duly adopted by the City Council of the City of Goleta at a regular meeting thereof, held on the 7th day of April, 2003, by the following vote:

AYES: COUNCILMEMBERS BLOIS, CONNELL, WALLIS,
MAYOR PRO TEMPORE BROCK, MAYOR HAWXHURST

NOES: NONE

ABSENT: NONE



FREDERICK C. STOUDER
CITY CLERK

EXHIBIT A

CITY OF GOLETA

**ARCHITECTURE AND DESIGN STANDARDS
FOR COMMERCIAL PROJECTS**

Adopted as of April 7, 2003

I. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance the visual quality of the environment.

- A. The project shall include useable open space (appropriate to the project) which is designed and located appropriately for the proposed use.
 - 1. Useable open space can include view corridors, site recreation, employee lunch areas and natural vegetation areas.
- B. Site open space shall blend into adjacent natural areas. (Figure A: Example of poor landscaping transition.)
- C. Adequate setbacks from site structures (walls, paving and buildings) to environmentally sensitive areas shall be maintained.
- D. Site grading impacts shall be minimized.
 - 1. Cut and fill slopes should be contoured to blend in with the natural landform and feathered into adjacent grades. (Figure B: Example of a poorly executed cut and fill slope.)

II. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance adjacent neighborhood areas.

- A. Overall building shapes and height shall be compatible to and in scale with existing structures on the same site and in the surrounding neighborhood.
 - 1. Where the proposed structure is taller than existing adjacent structures, the following techniques may be required to make the structure compatible.
 - a. Increase building setbacks;
 - b. Step back upper floors;
 - c. Utilize roof types which minimize building mass at the perimeter (hip and flat roofs);
 - d. Excavate the building into the site.
- B. There shall be a harmonious relationship with existing and adjoining developments, avoiding excessive variety and monotonous repetition, but promoting compatibility of styles.
- C. The privacy of existing adjacent residential areas shall be protected by carefully controlling window and balcony placement.

- D. Exterior lighting shall be screened to minimize glare and casting light onto adjacent sites.
- E. Project design for industrial uses shall include screen walls and building placement to minimize the transfer of noise off site.
- F. Project design shall promote a smooth shift from offsite conditions different from those proposed (i.e., scale, zone, use, architectural context, etc.).
 - 1. Where possible, perimeter wall setbacks shall vary and the wall shall be broken visually by use of texture or material. (Figure C: Carports used as screen walls.)
- G. Project facilities such as loading docks, storage, utility, maintenance and trash storage areas shall be located in consideration of neighborhood uses, and screened where appropriate.

III. The project design shall facilitate alternate forms of transportation.

- A. Building setbacks shall be increased at the corner lots to promote pedestrian safety and good design.
- B. On larger projects with bus turnouts or pedestrian loading zones, such facilities shall be included with shelters designed to match project architecture. (Figure D: Bus stop shelter designed to match building architecture.)
- C. Pedestrian access from off-site shall be separated from automobiles where possible.
- D. Bicycle parking shall be accommodated in a safe, efficient manner and located to blend with the proposed project.

IV. Automobile access (on and off-site) and parking shall be safe and subordinate to other land and building forms.

- A. Every effort shall be made to screen parking areas with existing or proposed structures. (Figure E: Parking located behind building).
- B. Where screening of parking areas by building configuration is not possible, landscaping, grade changes, berms, low walls, and landscaping strips shall be used to screen parking structures and cars from adjacent roadways and residential developments.
- C. Landscaping should screen parking lots to minimize their expansiveness and reduce the effects of heat and glare from pavement; combine trees, shrubs and ground cover in islands; incorporate canopy trees at the perimeter and in island or finger planters with a maximum of eight parking spaces (or such greater number

as the applicable decision-maker may determine) between each tree; and use various paving textures which are compatible with the proposed or existing structure(s).

D. Putting utility lines under ground shall be encouraged on all projects.

V. Adequate landscaping shall be integrated into the project design to enhance the natural environment.

A. Landscaping and landscape areas shall be maximized and balanced throughout the site, relate to the building size and the context of the neighborhood, and be appropriate to the site. Landscaping shall generally consist of live plant material (e.g., rock and bark may be used as a weed control measure and larger rocks may be used as a design element).

B. Where existing vegetation must be removed, the area should be re-vegetated to adequately mitigate the visual impact created by the removal of the established vegetation. Preservation of existing specimen trees is paramount.

C. Drought tolerant and water conserving plants shall be used in the majority of the landscaping, except in areas of active recreation. Drought tolerant native plant species (with plants native to southern Santa Barbara County) or non-native plants if necessary to protect significant habitat value shall be required in environmentally sensitive areas.

E. Landscaping should protect and enhance public views. Appropriate landscaping on hillsides and ridgelines must also be considered.

F. Landscaping should screen out undesirable views (e.g., freeway from adjacent developments, parking lots, blank building and wall sites and mechanical equipment and other utility structures), but it is not a substitute for good architectural design.

G. Plantings (e.g., citrus, avocado and walnut trees) that reflect the rich horticultural heritage of the Goleta Valley are encouraged as an accent but should be balanced with the need for skyline trees to preserve Goleta's character and other considerations described elsewhere in this document.

H. Landscaping shall be installed in such a manner so that at maturity it will provide adequate distances for vehicle and pedestrian line-of-sight at entrance and exit curbs. It should not interfere with traffic control devices, public lighting, or circulation patterns. Similar consideration shall also be given to ensure that trees are planted at an adequate distance from utility poles, overhead wires, sewer lines and any other structure where tree roots or limbs could cause damage. Landscaping litter (e.g., palm fronds, fruit, etc.) shall be considered in any installation that affects vehicular or pedestrian traffic.

- I. Landscaping plans shall show all above and below ground obstructions (e.g., utility poles, street lights, sewer lines) that may affect plant placement and installation limitations.

VI. Building design shall be encouraged which enhances and protects the visual quality of the Goleta area.

- A. There shall be a harmony of materials and consistency in style and design on all sides of a structure.
 1. Materials, detailing, color and proportions shall be appropriate to the style of the building.
 2. There shall be adequate variety and interest given to all sides of a building yet allowing for flexibility in design for various building functions. Possible techniques to add interest include modulation of walls, wainscot or cornice molding, texture or patterns in building materials, niches for planters or seats and decorative vents and grilles.
- B. Building signage, site work and mechanical/electrical equipment shall be well integrated in the design concept and screened from public view to the maximum extent practicable. (Figure F: Unscreened meters detract from this otherwise attractive building.)
 1. The DRB may require additional site sections and photographs (including aerial photographs) to ensure adequate mechanical screening from adjacent areas of higher elevation.

VII. Passive solar design is encouraged.

- A. The use of certain passive design features (south facing glass, thermal storage, shading and lightshelf devices) may require that the literal requirement for consistency on all sides of a structure be viewed with sufficient latitude.
- B. Landscaping and other screening devices may be required when reflective materials cause glare to adjacent properties.