



Agenda Item B.1
CONCEPTUAL/PRELIMINARY/FINAL REVIEW
Meeting Date: August 26, 2025

TO: Goleta Design Review Board

SUBMITTED BY: Christina McGuire, Associate Planner

SUBJECT: 5820 Calle Real Avenue (APN 069-110-084)
Sweetgreen Restaurant Exterior Alterations and California
Environmental Quality Act Notice of Exemption
Case Nos. 25-0030-DRB; 25-0038-ZC

DRB ACTIONS FOR CONSIDERATION:

1. Adopt DRB and CEQA Findings provided as Attachment A;
2. Adopt CEQA Categorical Exemption Section 15301 (a) Existing Facilities (Attachment B); and
3. Conduct Conceptual/Preliminary/Final review and approve (or approve with conditions).

PROJECT DESCRIPTION:

This is a request for **Conceptual/Preliminary/Final Review** for a tenant improvement, including exterior alterations to an existing 4,161 square foot single-story commercial fast food restaurant building. The project includes a conversion of 783 square feet of indoor dining space to covered outdoor patio dining area under the existing roof, with a new wood trellis and new outdoor planters. Per Goleta Municipal Code 17.03.070, the space below the roof and within the inner surface of the main walls is included in Floor Area, so there is no change in Floor Area with the proposal since the proposed covered patio is within the existing building footprint. The exterior alterations include lowering the parapet height from 23'-6" to 22'-3 ½ ", removing an awning, repainting the exterior, and other minor exterior building alterations. The commercial building is currently operating as a Carl's Jr. restaurant which will be changed to a Sweetgreen restaurant. There are no changes to the parking lot or landscaping other than proposed new planters. The subject property has a Zoning and General Plan Land Use designation of Community Commercial (CC) and is located in the Inland Zone.

The project was filed by agent Megan Moore of JSD Professional Services, Inc, on behalf of Sweetgreen LA, LLC, business owner, on behalf of Cal Real North, L.P., property owner.

DISCUSSION:

Originally the building on the property was a bank with three drive up teller lanes. On March 4, 1998, the County of Santa Barbara approved a revised Development Plan (95-DP-009-RV01) and Major Conditional use Permit (97-CP-050) to convert the bank building and one of the drive up into the 3,925-square foot restaurant (Carl's Jr.) that exists today. The Conditional Use permit for the drive through lane remains in effect for the project as it runs with the land and it has been in continuous use.

Design Review Board review is the appropriate level of review for the project, since there is no change of use type, a restaurant is an allowed use in the Community Commercial Zoning district, and there is no overall change of square footage. The proposed exterior alterations are not exempt from review by the DRB because the alterations may substantially change the exterior appearance of the structure. The DRB should evaluate the project and consider the adopted Goleta Architecture and Design Standard for Commercial Projects in Attachment D. Specifically the Goleta Architecture and Design Standards for Commercial Projects aims to encourage, enhance, and protect the visual quality of the Goleta area.

The focus of the Design Review Board is to evaluate the proposed alterations as shown in the plans. The DRB has review authority for this project and may grant Approval if the project meets the Required Findings in Goleta Municipal Code §17.58.080. If the DRB cannot make the findings for the project, then the project must be redesigned. Signage will be proposed under a separate application.

ENVIRONMENTAL REVIEW (NOE):

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA because interior and exterior alterations are Categorically Exempt, pursuant to CEQA regulations Existing Facilities § 15301(a). The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The commercial alterations are minor and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited a tenant improvement and minor exterior alterations. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as a tenant improvement for a new business is not unusual. Section 15300.2(d)'s exception

does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the alterations of an existing non-historic commercial building. Additionally, the project's site does not contain any identified significant cultural resources and will not have any ground disturbance.

NEXT STEPS AND ASSOCIATED LAND USE ACTION:

If the DRB grants the applicant's request, the next steps include: (1) a 10-day appeal period, and (2) ministerial issuance of zoning permits.

If the DRB action is appealed and the appeal is upheld, DRB's action will be rescinded and the DRB process will start over.

ATTACHMENTS:

- A – Findings
- B – Notice of Exemption
- C – Project Plans
- D – Goleta Architecture and Design Standards for Commercial Projects

ATTACHMENT A

FINDINGS

Attachment A
DRB Findings for Signage and California Environmental Quality Finding
Sweetgreen
5850 Calle Real Avenue
Case No. 25-0030-DRB

DESIGN REVIEW FINDINGS (GMC SECTION 17.58.080)

1. The development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.

The proposed alterations are within the same footprint of the existing restaurant building and are compatible with the neighborhood and conform to the requirements of Goleta Municipal Code Section (GMC) 17.40.80 (F). The commercial restaurant conforms to all applicable development standards of Title 17, the applicable General Plan Policies related to commercial development. Further, the renovations will update the building to be more compatible with the recently approved Calle Real alterations/façade improvements at the adjacent Calle Real shopping center. .

2. Site layout, orientation, and location of structures, including any signage and circulation, are in an appropriate and harmonious relationship to one another and the property.

The proposed alterations will not alter the site layout, orientation, or location of structures. The alterations subject to this project are limited to façade improvements converting approximately 700 square feet of interior dining space into covered patio dining space. This will activate this area for customers to enjoy dining al fresco. Signage will be proposed and reviewed under a separate application.

3. The development demonstrates a harmonious relationship with existing adjoining development, avoiding both excessive variety as well as monotonous repetition, but allowing similarity of style, if warranted.

The proposed alterations will be harmonious with existing adjoining development because the shopping center has been approved for façade remodel in a more modern style. The proposed alterations have some similarities to existing nearby development but also has variety to reflect the individual business.

4. There is harmony of material, color, and composition on all sides of structures.

The alterations are proposed on all side of the structure with harmony of materials, color and composition through the entire proposed project.

5. Any outdoor mechanical or electrical equipment is well integrated in the total design and is screened from public view to the maximum extent practicable.

No new exterior mechanical or electrical equipment is proposed at this time and the roof parapet screening existing mechanical equipment will remain.

6. The site grading is minimized, and the finished topography will be appropriate for the site.

No grading is proposed as part of the proposed alterations.

7. Adequate landscaping is provided in proportion to the project and the site with due regard to preservation of specimen and protected trees, and existing native vegetation.

The landscaping at the site is not proposed for renovation. However, there are minor additions proposed involving planters and vines on a trellis to enhance the newly created covered patio. There are several mature trees on site, none are proposed to be removed.

8. The selection of plant materials is appropriate to the project and its environment, and adequate provisions have been made for long-term maintenance of the plant materials.

No new landscaping is proposed as part of the proposed alteration except for new planters in the newly created covered patio area.

9. All exterior lighting, including for signage, is well designed, appropriate in size and location, and dark-sky compliant.

Signage will be reviewed as a separate application. The proposed exterior changes do not involve any new exterior lighting.

10. The project architecture will respect the privacy of neighbors, is considerate of private views, and is protective of solar access off site.

The proposed commercial alterations are on a building that invites the public into the establishment. There are no alterations proposed that will affect the privacy of the residential neighbors to the south of the building. No structural alterations are proposed that would affect solar access off site.

11. The proposed development is consistent with any additional design standards as expressly adopted by the City Council. (Ord. 20-03 § 6).

The proposed project is not located in a special design district. There are adopted Commercial Architecture Design Guidelines with this project adheres. The proposal is also consistent with applicable policies of the City of Goleta General Plan.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA because interior and exterior alterations are Categorically Exempt, pursuant to CEQA regulations Existing Facilities § 15301(a). The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The commercial alterations are minor and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited a tenant improvement and minor exterior alterations. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as a tenant improvement for a new business is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the alterations of an existing non-historic commercial building. Additionally, the project's site does not contain any identified significant cultural resources and will not have any ground disturbance.

ATTACHMENT B

CEQA NOTICE OF EXEMPTION

To: ☐ Office of Planning and Research
P.O. Box 3044, 1400 Tenth St. Rm. 212
Sacramento, CA 95812-3044

☒ Clerk of the Board of Supervisors
County of Santa Barbara
105 E. Anapamu Street, Room 407
Santa Barbara, CA 93101

From: City of Goleta
130 Cremona Drive, Suite B
Goleta, CA 93117



Subject: Filing of Notice of Exemption

Project Title:

Sweetgreen restaurant exterior alterations
Case Nos. 25-0030-DRB, 25-0038-ZC

Project Applicant:

Megan Moore, of JSD Professional Services, Inc.
On behalf of Sweetgreen, Business Owner

Project Location (Address and APN):

5850 Calle Real Avenue
Goleta, CA 93117
County of Santa Barbara
APN: 069-110-084

Description of Nature, Purpose and Beneficiaries of Project:

This is a tenant improvement with exterior alterations for a new restaurant to occupy a former restaurant with a drive through lane.

The purpose of the proposal is for tenant improvements to change the restaurant tenant and the beneficiary of the project is the business.

Name of Public Agency Approving the Project:

Design Review Board of the City of Goleta

Name of Person or Agency Carrying Out the Project:

Megan Moore, of JSD Professional Services, Inc., on behalf of Sweetgreen, Business Owner.

Exempt Status:

☒ Categorical Exemption: § 15301 (a) Existing Facilities

Reason(s) why the project is exempt:

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines,

the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA because interior and exterior alterations are Categorically Exempt, pursuant to CEQA regulations Existing Facilities § 15301(a). The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The commercial alterations are minor and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited a tenant improvement and minor exterior alterations. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as a tenant improvement for a new business is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the alterations of an existing non-historic commercial building. Additionally, the project's site does not contain any identified significant cultural resources and will not have any ground disturbance.

City of Goleta Contact Person, Telephone Number, and Email:

Christina McGuire, Associate Planner
(805) 961-7566
cmcguire@cityofgoleta.org

Signature	Title	Date
-----------	-------	------

If filed by the applicant:

1. Attach certified document of exemption finding
2. Has a Notice of Exemption been filed by the public agency approving the project?
☐Yes ☐No

Date received for filing at OPR:

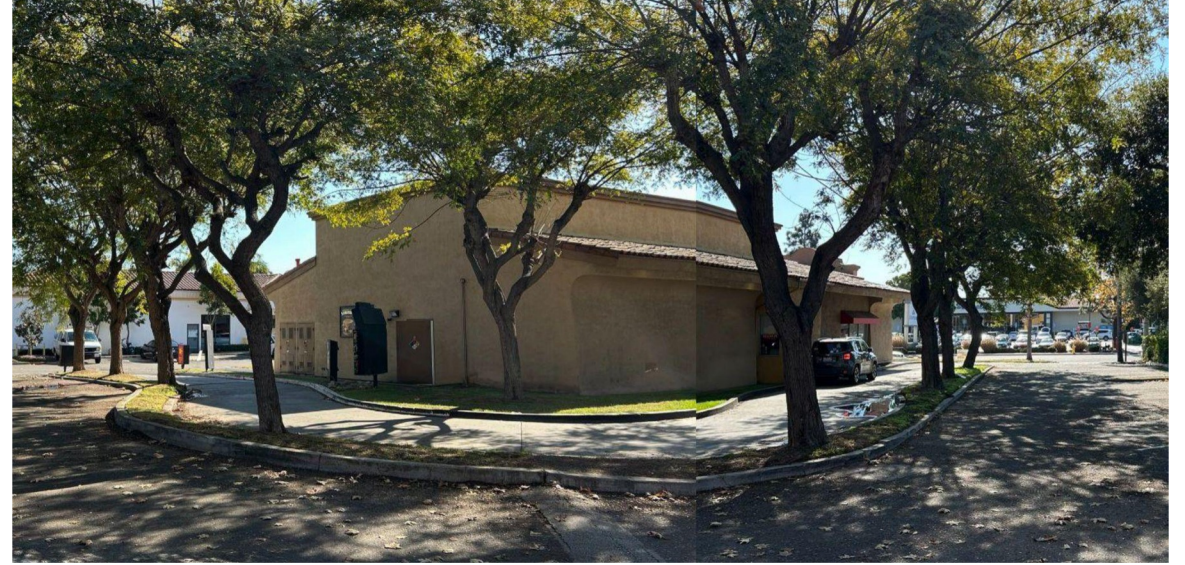
Note: Authority cited: Section 21083 and 211110, Public Resources Code
Reference: Sections 21108, 21152.1, Public Resources Code

ATTACHMENT C

PROJECT PLANS









Exterior Color and Material Board



Benj Moore Super White.

Exterior refinished stucco texture to match existing, through patio, to interior transitions.

Please note; some interior walls will be painted and not plaster/stucco finish.



EXISTING TILE ROOF
Repair / replace.



EXTERIOR TRIM
RAL 8025
"Pale Brown"



EXTERIOR
SIGNAGE
RAL 6012
"Kale".



"KEBONY CLEAR" 1x5
CLADDING.Engineered natural wood.
FSC certified, bio modified for
maintenance free finish.



EXTERIOR PLANTERS
Tournesol - [Wilshire Planters, GFRG Rectangle & Square](#)

Japanese Boxwood - *Buxus microphylla* - Available in S, M, L



Coyote Bush - *Baccharis vanessae* - (West Coast native species) - Available in S, M, L



Toyon Shrub - *Heteromeles arbutifolia* - (California Native) - Available in S, M, L



California Lilac - *Ceanothus* sp. (California Native) - Available in S, M, L



California Sagebrush - *Artemisia californica* (California native species) - Available in S, M, L

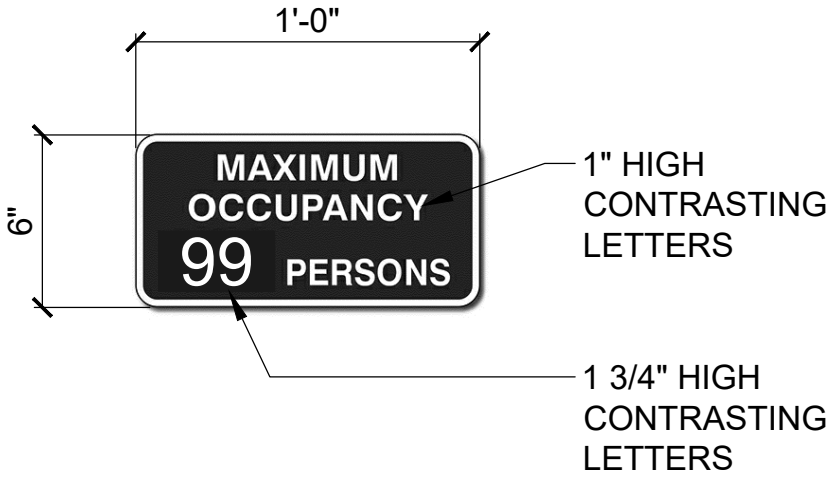


GENERAL NOTES

- A. REFER TO DOOR & HARDWARE SCHEDULE FOR ACCESSIBLE EGRESS DOOR & HARDWARE REQUIREMENTS.
- B. LANDLORD TO PROVIDE CONTINUATION OF ACCESSIBLE EGRESS ROUTE OF TRAVEL BEYOND LEASE LINE.
- C. ACCESSIBLE ROUTE OF TRAVEL NOT TO EXCEED RUNNING SLOPE OF 1:20 MAX. CROSS SLOPE OF 1:50. NOTIFY ARCHITECT OF NON-COMPLIANCE.
- D. DURING CONSTRUCTION, AT LEAST ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL. AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE AND COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT.
- E. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS OR OTHER DECORATIVE MATERIAL.
- F. ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX.
- G. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX.
- H. REFER TO ACCESSIBILITY SHEETS FOR ADDITIONAL DETAILS AND REQUIREMENTS FOR ACCESSIBLE FEATURES.

1 PLAN NOTES

- EXIT PATH OF TRAVEL, 44" MIN.
- ILLUMINATED EXIT SIGNAGE TYP., SEE LIGHTING SCHEDULE.
- FIRE EXTINGUISHER, CONFIRM FINAL LOCATIONS AND QUANTITIES WITH LOCAL FIRE JURISDICTION.
- PROVIDE SIGN ABOVE DOOR: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"; SEE SIGNAGE SCHEDULE.
- MAXIMUM OCCUPANCY SIGNAGE; SEE SIGNAGE SCHEDULE.
- 36" CLEARANCE IN FRONT OF ELECTRICAL PANELS.
- EXISTING DEMISING WALL. REFER TO DEMISED PREMISES PLAN.
- ACCESSIBLE TRANSACTION COUNTER, MIN 36" LENGTH AT 34" AFF. CLEAR FLOOR SPACE IN FRONT OF COUNTER TO BE MIN. 30" X 48" FOR SIDE APPROACH.
- ACCESSIBLE BEVERAGE STATION AT 34" AFF.
- ACCESSIBLE SEATING.



3 OCCUPANT LOAD SIGNAGE
NOT TO SCALE

LIFE SAFETY LEGEND

SYMBOL	DESCRIPTION
	EXIT SIGN
	TRAVEL DISTANCE TO EXIT
	PROJECT DEMISING LINE
	1 HOUR WALL
	2 HOUR WALL
	DOOR OCCUPANT LOAD / TOTAL OCCUPANT LOAD REQUIRED STAIR WIDTH PER EXIT PROVIDED STAIR WIDTH PER EXIT REQUIRED DOOR / AISLE WIDTH PER EXIT PROVIDED DOOR / AISLE WIDTH PER EXIT

TRAVEL DISTANCE, EXIT AND MEANS OF EGRESS
WIDTH PER 2019 CBC

OCCUPANCY	TRAVEL DISTANCE TO EXITS	COMMON PATH OF TRAVEL
ASSEMBLY	W/O SPRINK. 200' SPRINKLERS 250'	75'-0"

EGRESS WIDTH (W/O FIRE SPRINKLERS) PER
2022 CBC 1005.3

	EXIT WIDTH	MIN. REQUIRED	PROVIDED
OCCUPANTS	99		
STAIRS	99 X 0.3 = 29.7"	N/A	N/A
AISSLES	99 X 0.2 = 19.8"	36"	36"

NOTE: EXIT WIDTH IS 36" @ AISLES

NOTE 2: EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.9, FIRE CODE 1004.

OCCUPANT LOAD ANALYSIS
PER TABLE 1004.1.1

SPACE / OCCUPANCY	SQ. FT.	OCCUPANT LOAD FACTOR	TOTAL # OF OCCUPANTS
ASSEMBLY UNCONCENTRATED: INDOOR	769	15	51
COMMERCIAL KITCHEN	1412	200	7
BENCH SEATING (LF)	82	2	41
INTERIOR TOTAL			99
ASSEMBLY UNCONCENTRATED: OUTDOOR	973	15	65
EXTERIOR TOTAL			65

PLUMBING OCCUPANT LOAD ANALYSIS
PER TABLE 422.1

SPACE / OCCUPANCY	SQ. FT.	OCCUPANT LOAD FACTOR	TOTAL # OF OCCUPANTS
ASSEMBLY UNCONCENTRATED: INDOOR	1020	30	34
COMMERCIAL KITCHEN	772	50	15
ASSEMBLY UNCONCENTRATED: OUTDOOR	973	30	32
TOTAL			81

NOTE: FIXED EQUIPMENT REMOVED FROM COMMERCIAL KITCHEN SF

FIXTURE ANALYSIS PER CPC TABLE 422.1

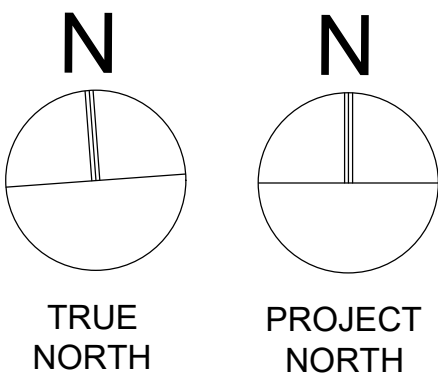
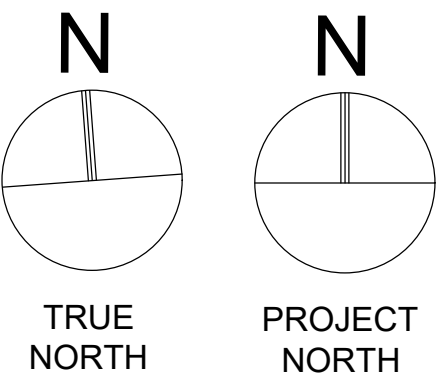
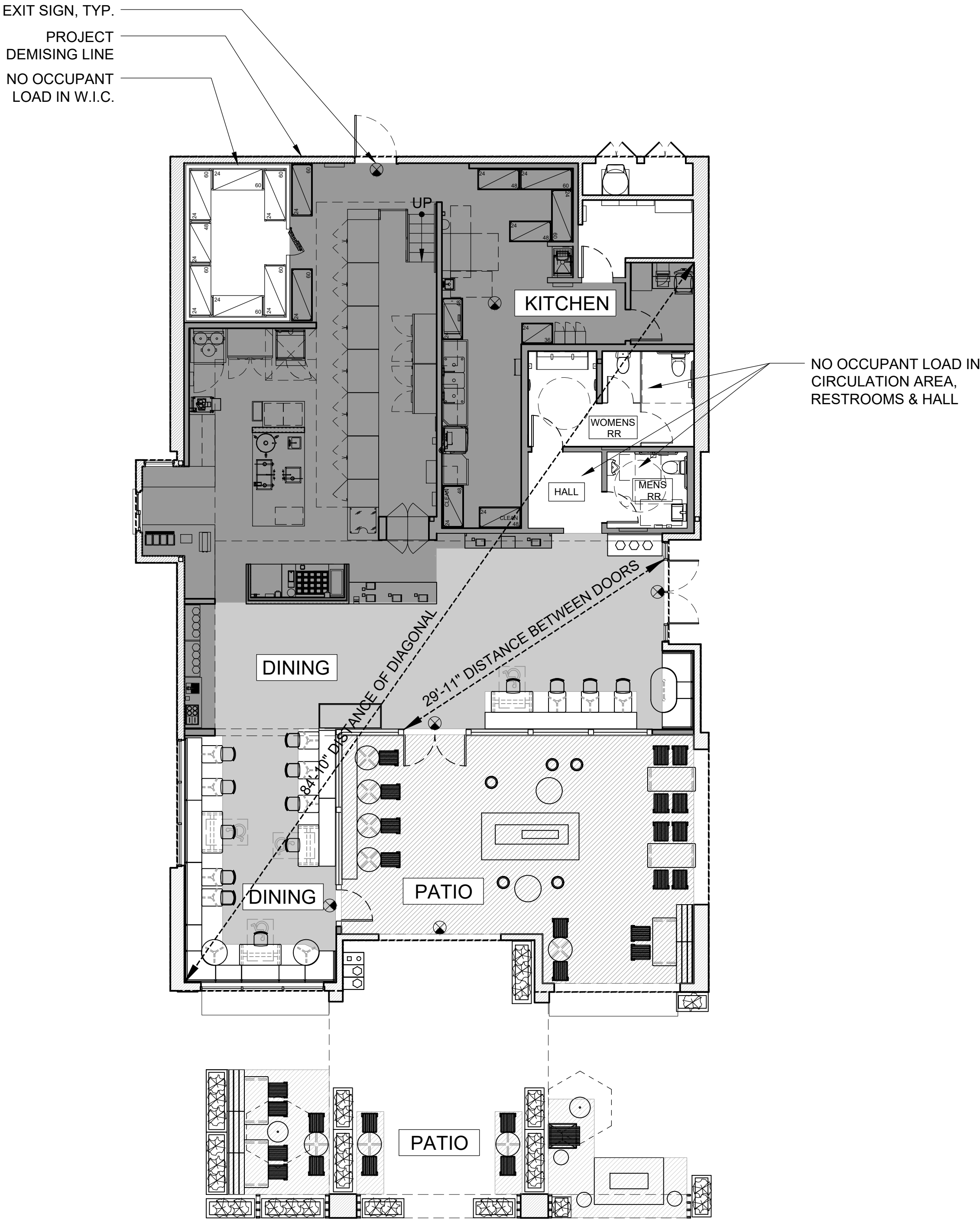
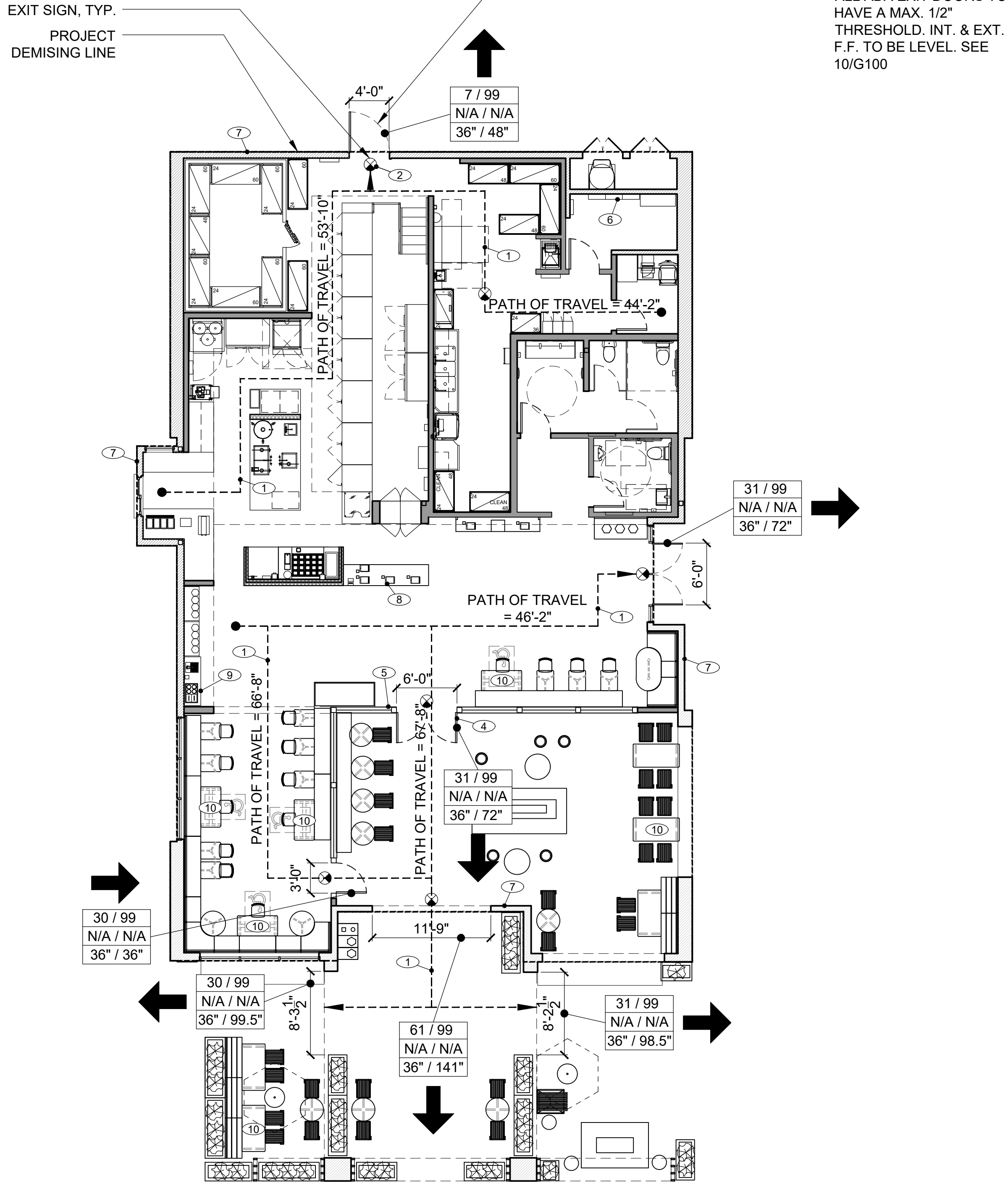
OCCUP. GROUP	OCCUPANTS	WATER CLOSET: MALE	WATER CLOSET: FEMALE	URINALS	LAVATORY: MALE	LAVATORY: FEMALE
	M	F	REQUIRED	REQUIRED	REQUIRED	REQUIRED
	81	1 (1-50)	2 (25-50)	1 (1-200)	1 (1-150)	1 (1-150)
A-2	41	1 PROVIDED	2 PROVIDED	1 PROVIDED	1 PROVIDED	1 PROVIDED

EXIT SEPARATION DISTANCE: NO SPRINKLERS

DISTANCE OF DIAGONAL: 84'-10"
EXIT SEPARATION BETWEEN DOORS: 29'-11"
1/3 OF DIAGONAL: 28'-3 1/2"
EXIT SEPARATION > 1/3 OF DIAGONAL

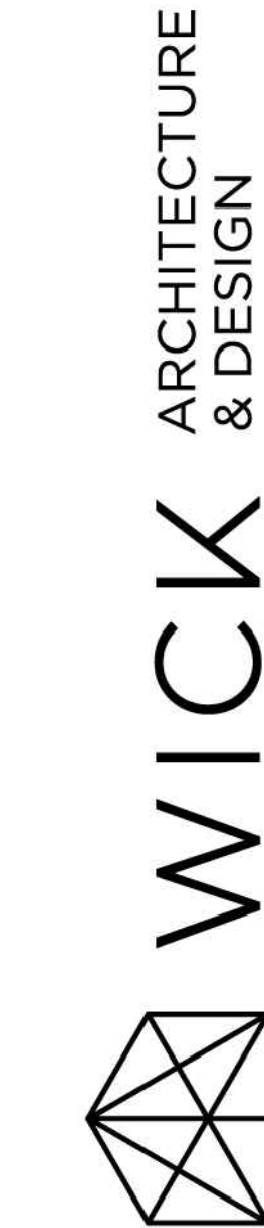
OF EXITS PER TABLE 1021.1

OCCUPANT LOAD IS 99
2 EXITS ARE REQUIRED
4 EXITS ARE PROVIDED



2 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

1 OCCUPANT LOAD PLAN
SCALE: 1/8" = 1'-0"



sweetgreen

GOLETA
5820 CALLE REAL
GOLETA, CA. 93117

ISSUE DATES
PLANNING SUBMITTAL: 05.02.25
PLANNING SUBMITTAL 2: 07.31.25

THE DESIGN, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING ARE CONFIDENTIAL. THE RECIPIENT OF THIS DRAWING HEREBY ACKNOWLEDGE & AGREE IT IS THE SOLE PROPERTY OF WICK ARCHITECTURE & DESIGN & THAT THEY SHALL NEITHER USE NOR REVEAL ANY OF THE DESIGN, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING OUTSIDE OF THE CONTRACTUAL AGREEMENT WITH WICK ARCHITECTURE & DESIGN WITHOUT EXPRESSION WRITTEN PERMISSION FROM WICK ARCHITECTURE & DESIGN.

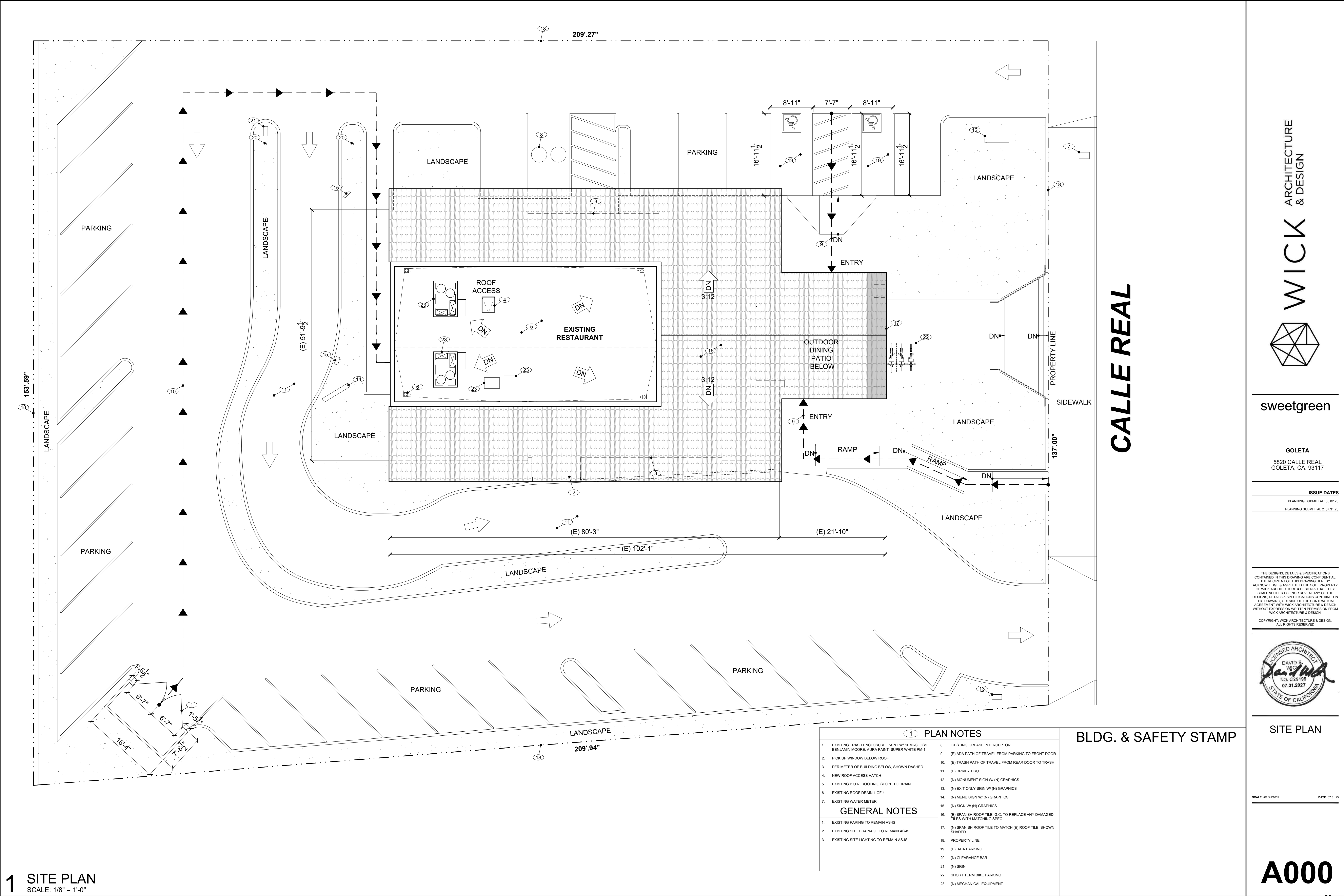
COPYRIGHT: WICK ARCHITECTURE & DESIGN. ALL RIGHTS RESERVED.



LIFE SAFETY &
OCCUPANT LOAD
PLAN

SCALE: AS SHOWN DATE: 07.31.25

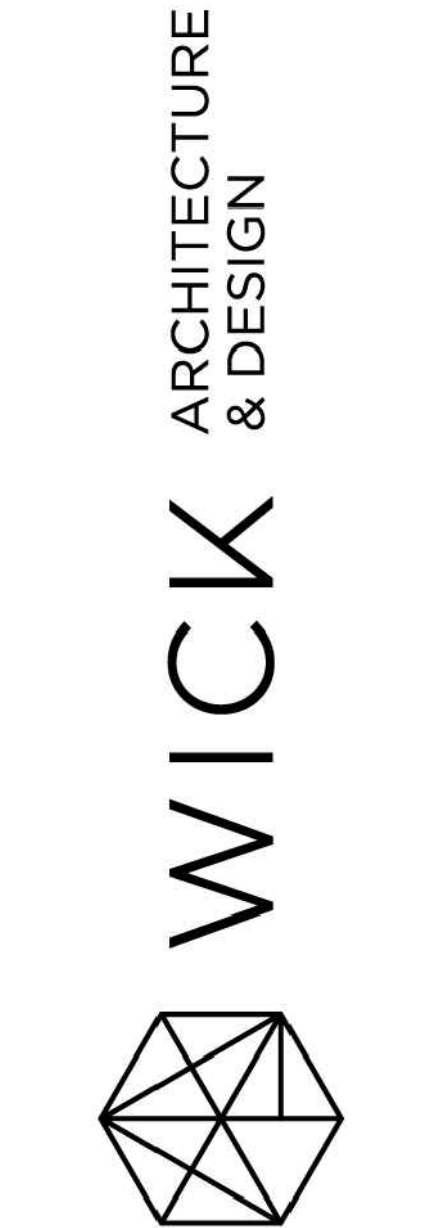
G200



1 SITE PLAN
SCALE: 1/8" = 1'-0"

1 PLAN NOTES	
1. EXISTING TRASH ENCLOSURE. PAINT W/ SEMI-GLOSS BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1	8. EXISTING GREASE INTERCEPTOR
2. PICK UP WINDOW BELOW ROOF	9. (E) ADA PATH OF TRAVEL FROM PARKING TO FRONT DOOR
3. PERIMETER OF BUILDING BELOW, SHOWN DASHED	10. (E) TRASH PATH OF TRAVEL FROM REAR DOOR TO TRASH
4. NEW ROOF ACCESS HATCH	11. (E) DRIVE-THRU
5. EXISTING B.U.R. ROOFING, SLOPE TO DRAIN	12. (N) MONUMENT SIGN W/ (N) GRAPHICS
6. EXISTING ROOF DRAIN 1 OF 4	13. (N) EXIT ONLY SIGN W/ (N) GRAPHICS
7. EXISTING WATER METER	14. (N) MENU SIGN W/ (N) GRAPHICS
GENERAL NOTES	
1. EXISTING PARKING TO REMAIN AS-IS	15. (N) SIGN W/ (N) GRAPHICS
2. EXISTING SITE DRAINAGE TO REMAIN AS-IS	16. (E) SPANISH ROOF TILE. G.C. TO REPLACE ANY DAMAGED TILES WITH MATCHING SPEC.
3. EXISTING SITE LIGHTING TO REMAIN AS-IS	17. (N) SPANISH ROOF TILE TO MATCH (E) ROOF TILE, SHOWN SHADED
	18. PROPERTY LINE
	19. (E) ADA PARKING
	20. (N) CLEARANCE BAR
	21. (N) SIGN
	22. SHORT TERM BIKE PARKING
	23. (N) MECHANICAL EQUIPMENT

BLDG. & SAFETY STAMP



sweetgreen

GOLETA
5820 CALLE REAL
GOLETA, CA. 93117

ISSUE DATES	
PLANNING SUBMITTAL	05.02.25
PLANNING SUBMITTAL 2	07.31.25

THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING ARE CONFIDENTIAL. THE RECIPIENT OF THIS DRAWING HEREBY ACKNOWLEDGE & AGREE IT IS THE SOLE PROPERTY OF WICK ARCHITECTURE & DESIGN & THAT THEY SHALL NEITHER USE NOR REVEAL ANY OF THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING, OUTSIDE OF THE CONTRACTUAL AGREEMENT WITH WICK ARCHITECTURE & DESIGN. WITHOUT EXPRESS WRITTEN PERMISSION FROM WICK ARCHITECTURE & DESIGN.

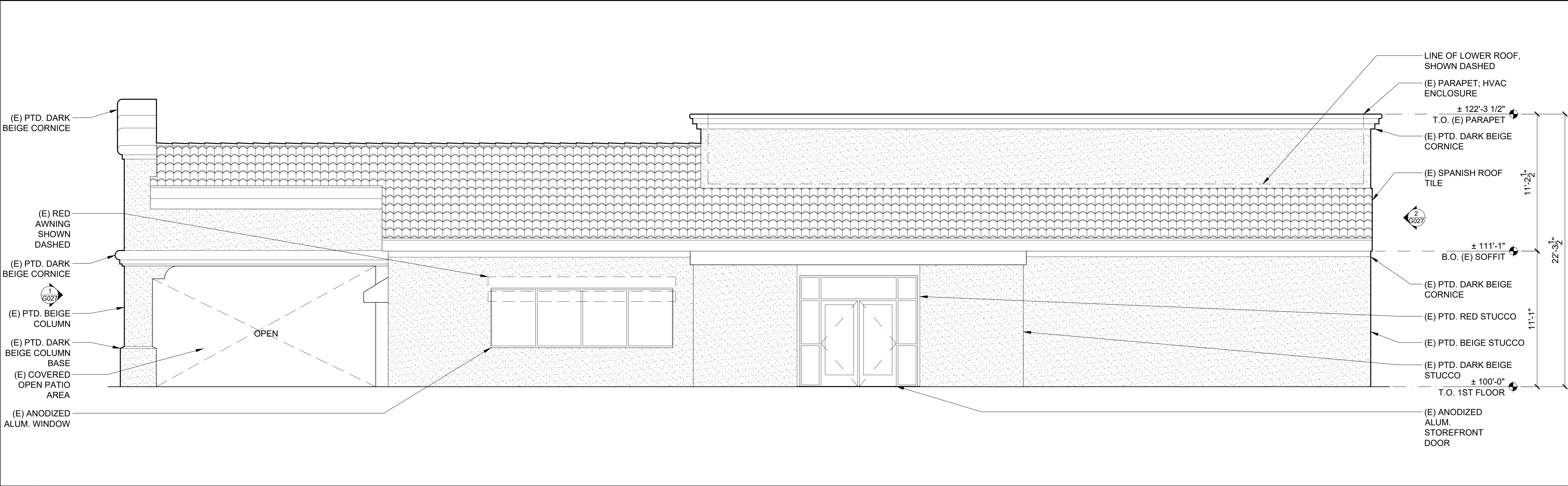
COPYRIGHT: WICK ARCHITECTURE & DESIGN. ALL RIGHTS RESERVED.



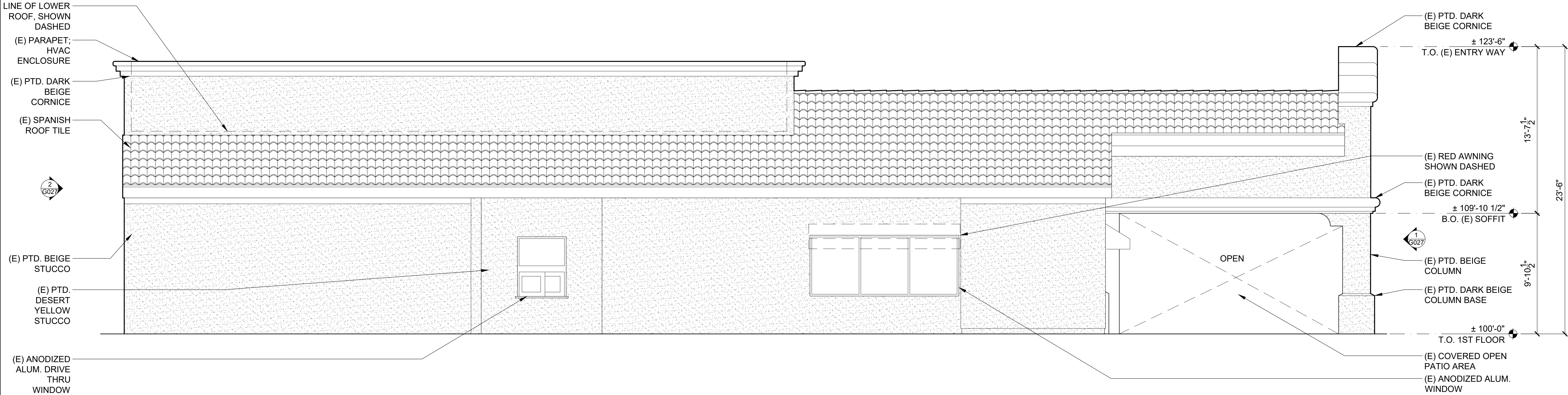
SITE PLAN

SCALE: AS SHOWN DATE: 07.31.25

A000



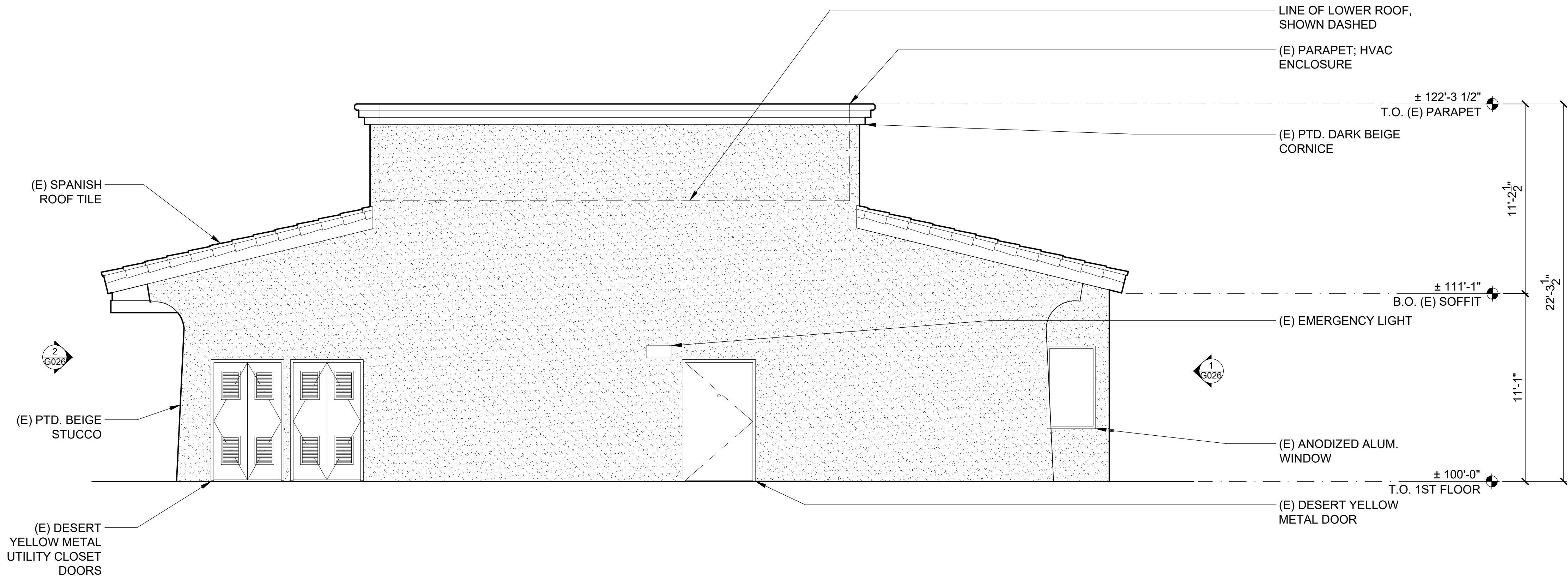
2 EXISTING EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



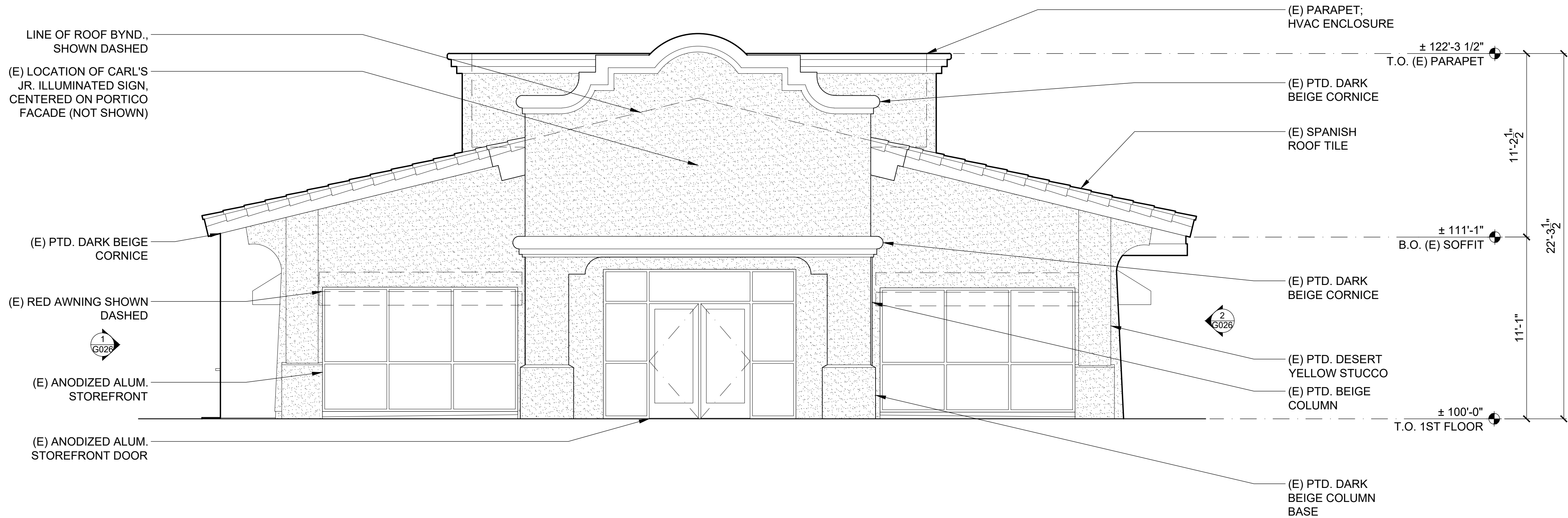
BLDG. & SAFETY STAMP

NOTE: GC TO VERIFY ALL
DIMENSIONS IN THE FIELD

1 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



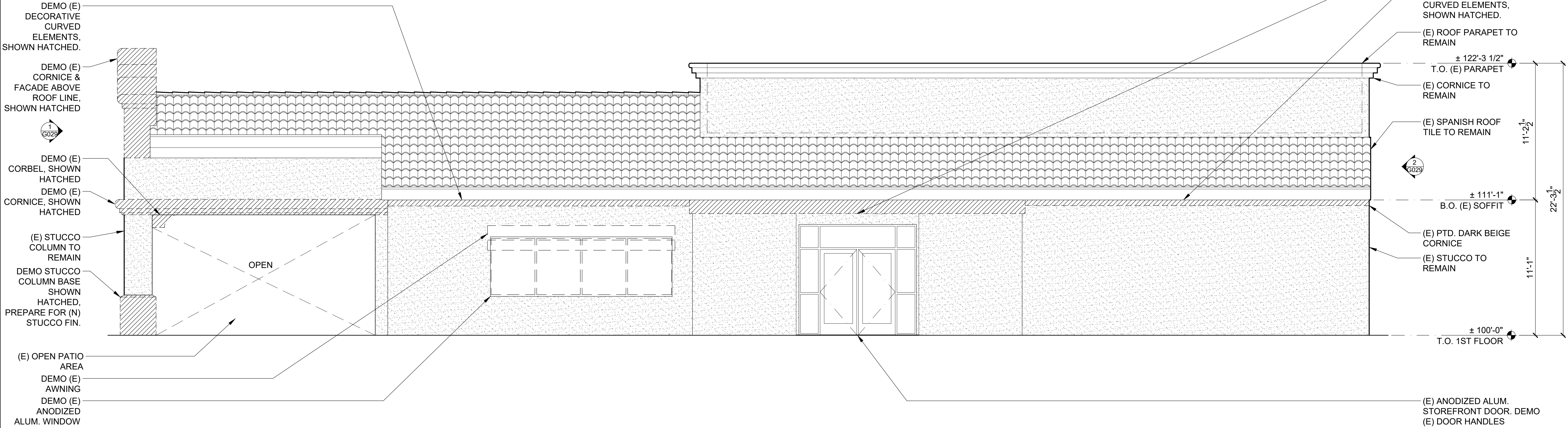
2 EXISTING NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: IF EXISTING, DEMO ANY WALL MOUNTED SIGNAGE FROM PRIOR TENANT

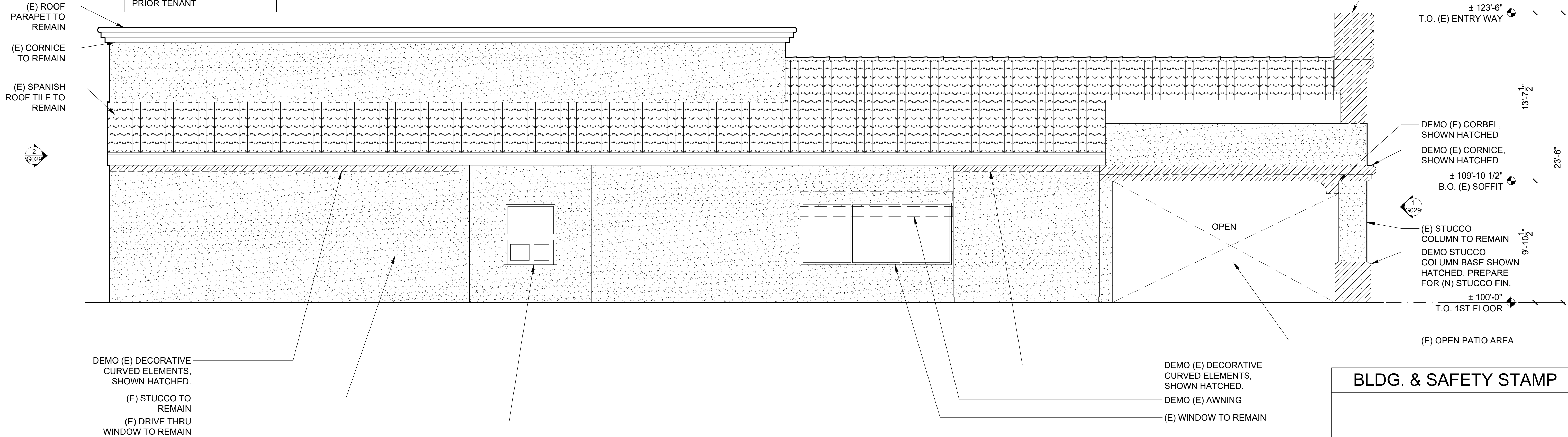


2 EAST DEMOLITION EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

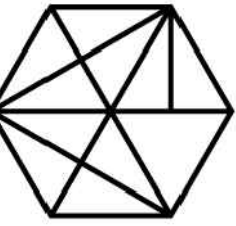
NOTE: IF EXISTING, DEMO ANY WALL MOUNTED SIGNAGE FROM PRIOR TENANT



1 WEST DEMOLITION EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

WICK ARCHITECTURE & DESIGN



sweetgreen

GOLETA

5820 CALLE REAL
GOLETA, CA. 93117

ISSUE DATES

PLANNING SUBMITTAL: 05.02.25
PLANNING SUBMITTAL 2: 07.31.25

THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING ARE CONFIDENTIAL. THE RECIPIENT OF THIS DRAWING HEREBY ACKNOWLEDGE & AGREE IT IS THE SOLE PROPERTY OF WICK ARCHITECTURE & DESIGN & THAT THEY SHALL NEITHER USE NOR REVEAL ANY OF THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING, OUTSIDE OF THE CONTRACTUAL AGREEMENT WITH WICK ARCHITECTURE & DESIGN WITHOUT EXPRESSION WRITTEN PERMISSION FROM WICK ARCHITECTURE & DESIGN.

COPYRIGHT: WICK ARCHITECTURE & DESIGN. ALL RIGHTS RESERVED



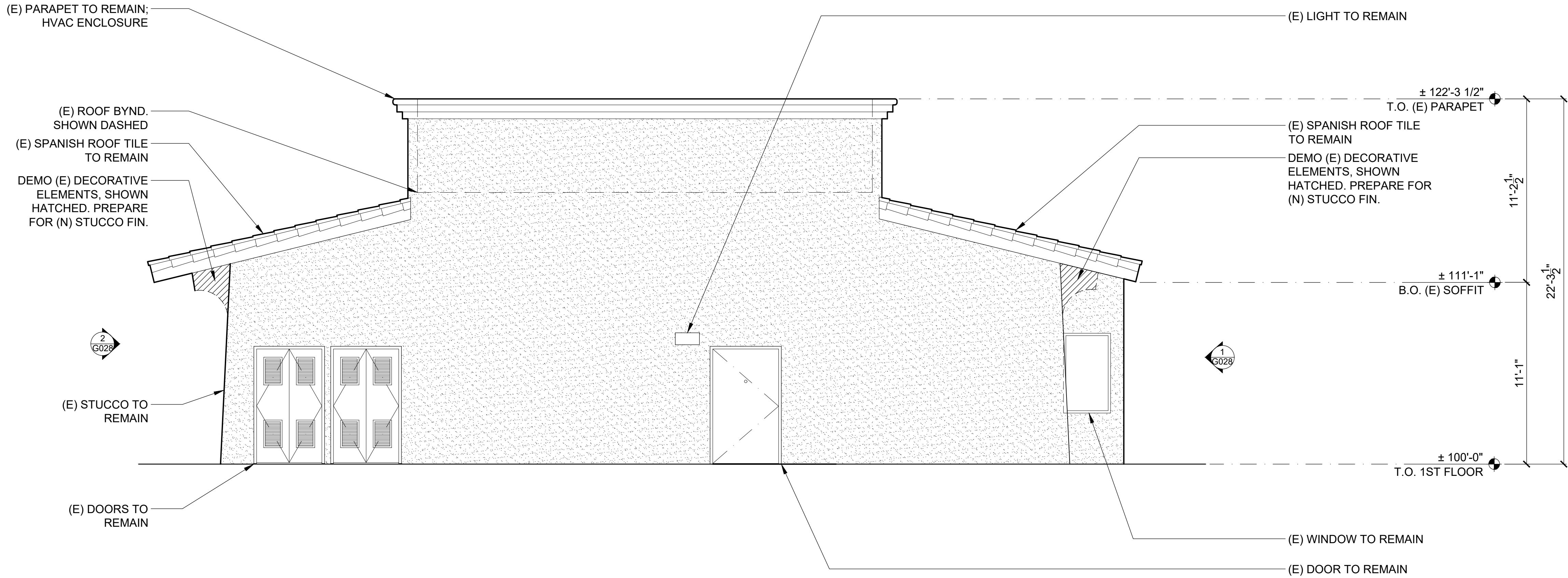
DEMOLITION EXTERIOR ELEVATIONS

SCALE: AS SHOWN DATE: 07.31.25

A028

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: IF EXISTING, DEMO ANY WALL MOUNTED SIGNAGE FROM PRIOR TENANT

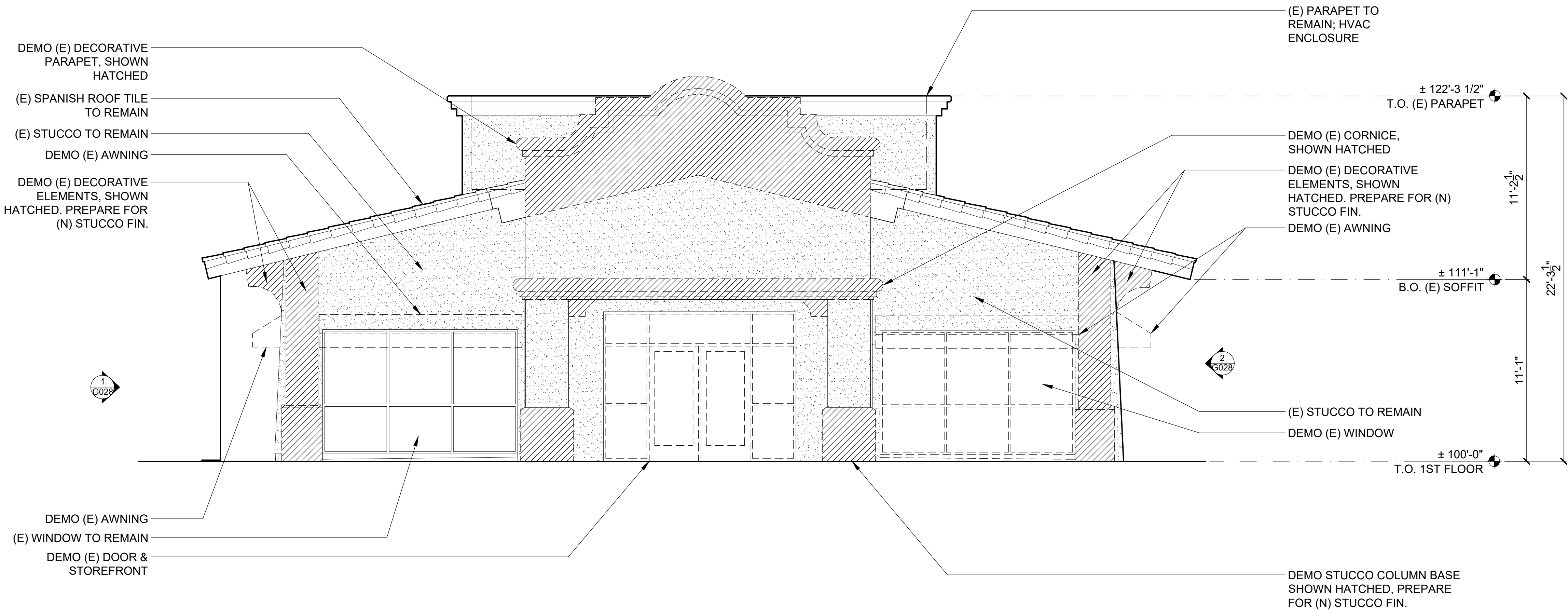


2 NORTH DEMOLITION EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: IF EXISTING, DEMO ANY WALL MOUNTED SIGNAGE FROM PRIOR TENANT



1 SOUTH DEMOLITION EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: GC TO REPLACE ANY DAMAGED SPANISH ROOF TILE

NOTE: GC TO REPAIR WATERPROOFING AT ALL NEW STUCCO

(N) ROOF TILE TO MATCH (E), SHOWN HATCHED

(N) STUCCO EAVE TO MATCH (E), SHOWN HATCHED. PAINT RAL 8025 PALE BROWN.
(N) STAINED WOOD TRELLIS W/ PLANTING

(N) STUCCO (SHOWN SHADED), MATCH (E) STUCCO FIN. PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1
(N) OPENING @ DEMOLISHED WINDOW

(E) ROOF BYND. SHOWN DASHED
(E) ROOF PARAPET TO REMAIN

± 122'-3 1/2"
T.O. (E) PARAPET
PARAPET COPING PAINT RAL 8025 PALE BROWN.
(E) SPANISH ROOF TILE TO REMAIN
(E) STUCCO EAVE, PAINT RAL 8025 PALE BROWN.

± 111'-1"
B.O. (E) SOFFIT
(N) STUCCO, MATCH (E) STUCCO FIN. PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1
(E) STUCCO, PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1

± 100'-0"
T.O. 1ST FLOOR

(N) STN. KEBONY WOOD FINISH O/ HORZ. FURRING STRIPS O/ W.P.
(E) ANODIZED ALUM. STOREFRONT DOOR W/ (N) DOOR HANDLES

2 EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: GC TO REPAIR WATERPROOFING AT ALL NEW STUCCO

NOTE: GC TO REPLACE ANY DAMAGED SPANISH ROOF TILE

(E) ROOF PARAPET TO REMAIN

(E) PARAPET COPING PAINT RAL 8025 PALE BROWN.

(E) SPANISH ROOF TILE TO REMAIN

(E) ROOF BYND. SHOWN DASHED
(E) STUCCO EAVE, PAINT RAL 8025 PALE BROWN.

(N) STUCCO (SHOWN SHADED), MATCH (E) STUCCO FIN. PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1

(E) STUCCO, PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1

(E) ANODIZED ALUM. DRIVE THRU WINDOW

(N) ROOF TILE TO MATCH (E), SHOWN HATCHED
(N) STUCCO EAVE TO MATCH (E), SHOWN HATCHED. PAINT RAL 8025 PALE BROWN.

± 122'-3 1/2"
T.O. (E) PARAPET

(N) STAINED WOOD TRELLIS W/ PLANTING
± 109'-10 1/2"
B.O. (E) SOFFIT

(N) STUCCO (SHOWN SHADED), MATCH (E) STUCCO FIN. PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1
± 9'-10 1/2"
T.O. 1ST FLOOR

(N) FURNITURE IN FRONT SHOWN DASHED

(N) STUCCO (SHOWN SHADED), MATCH (E) STUCCO FIN. PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1

(E) STUCCO, PAINT W/ MATTE BENJAMIN MOORE, AURA PAINT, SUPER WHITE PM-1

(E) ANDZ. ALUM. WINDOW

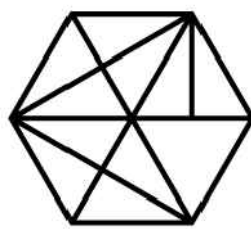
(N) STN. KEBONY WOOD FINISH O/ HORZ. FURRING STRIPS O/ W.P.

BLDG. & SAFETY STAMP

1 WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

WICK ARCHITECTURE & DESIGN



sweetgreen

GOLETA

5820 CALLE REAL
GOLETA, CA. 93117

ISSUE DATES

PLANNING SUBMITTAL: 05.02.25
PLANNING SUBMITTAL 2: 07.31.25

THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING ARE CONFIDENTIAL. THE RECIPIENT OF THIS DRAWING HEREBY ACKNOWLEDGE & AGREE IT IS THE SOLE PROPERTY OF WICK ARCHITECTURE & DESIGN & THAT THEY SHALL NEITHER USE NOR REVEAL ANY OF THE DESIGNS, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING OUTSIDE OF THE CONTRACTUAL AGREEMENT WITH WICK ARCHITECTURE & DESIGN WITHOUT EXPRESS WRITTEN PERMISSION FROM WICK ARCHITECTURE & DESIGN.

COPYRIGHT: WICK ARCHITECTURE & DESIGN. ALL RIGHTS RESERVED



EXTERIOR ELEVATIONS

SCALE: AS SHOWN

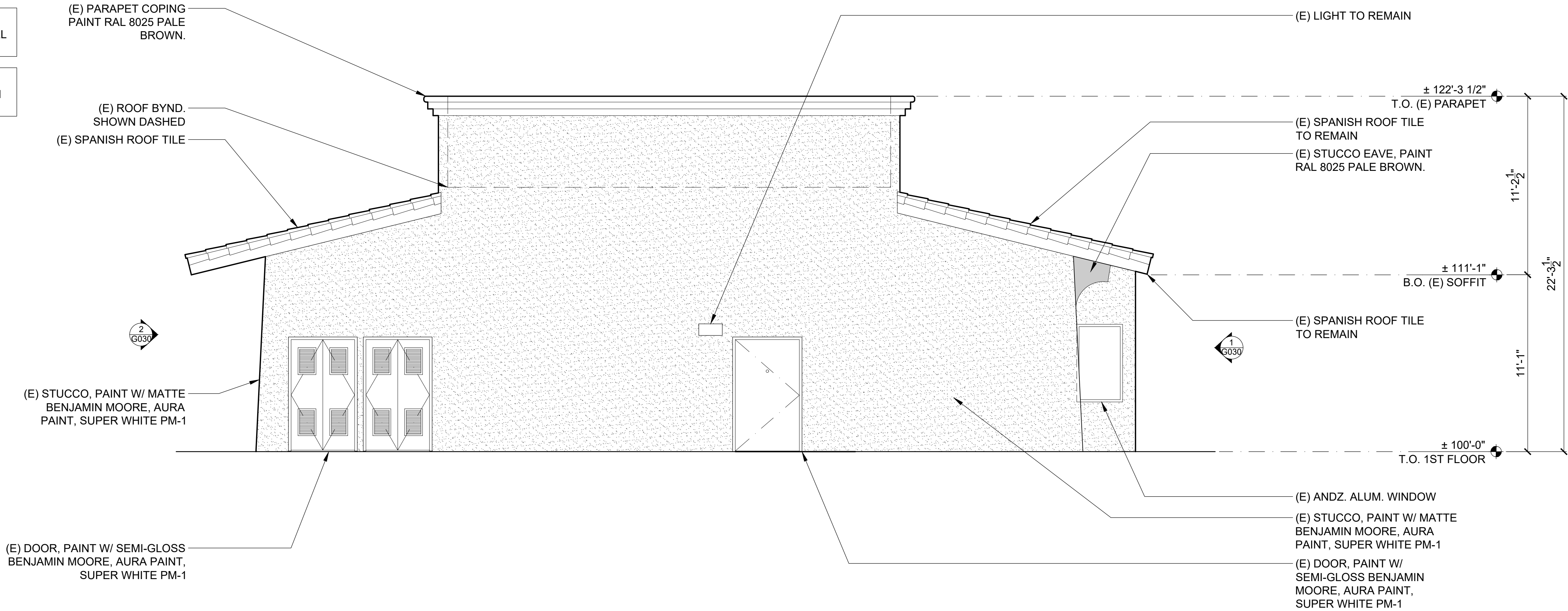
DATE: 07.31.25

A030

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

NOTE: GC TO REPAIR WATERPROOFING AT ALL NEW STUCCO

NOTE: GC TO REPLACE ANY DAMAGED SPANISH ROOF TILE



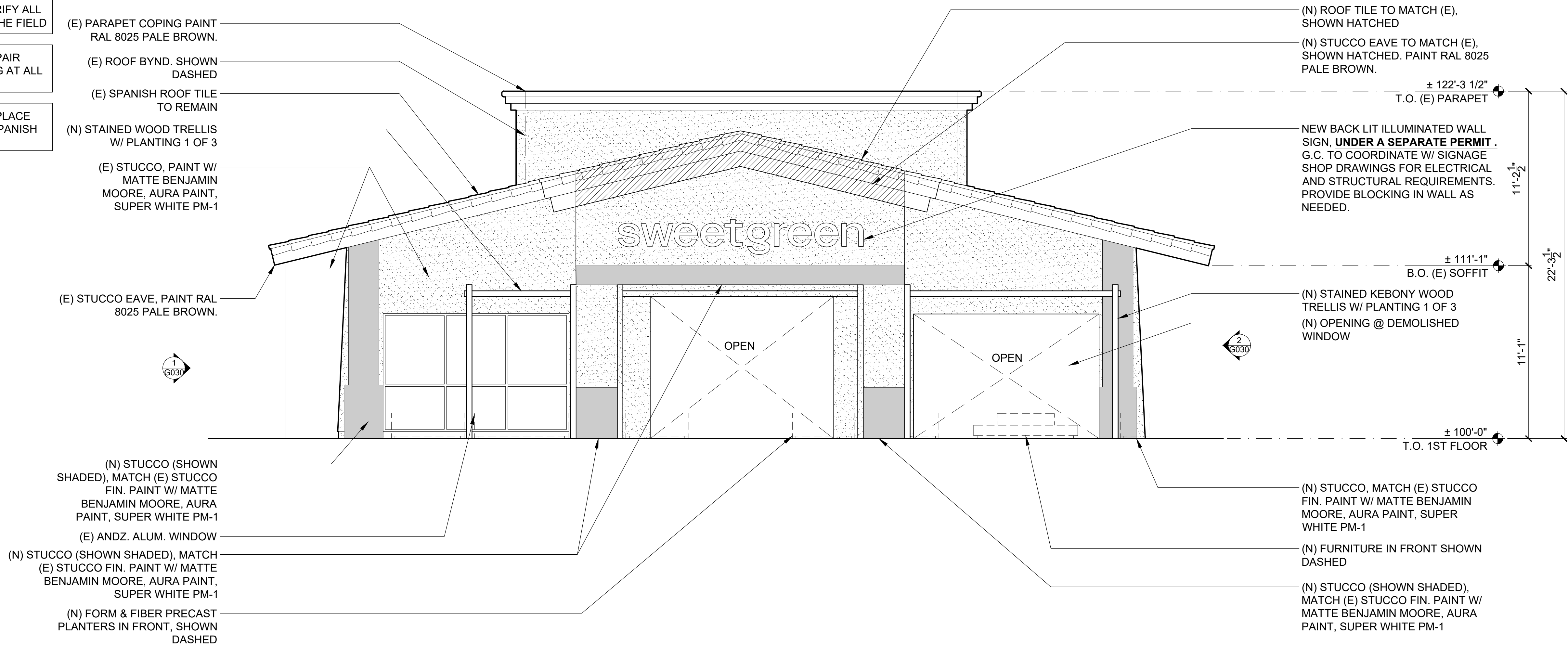
2 NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS IN THE FIELD

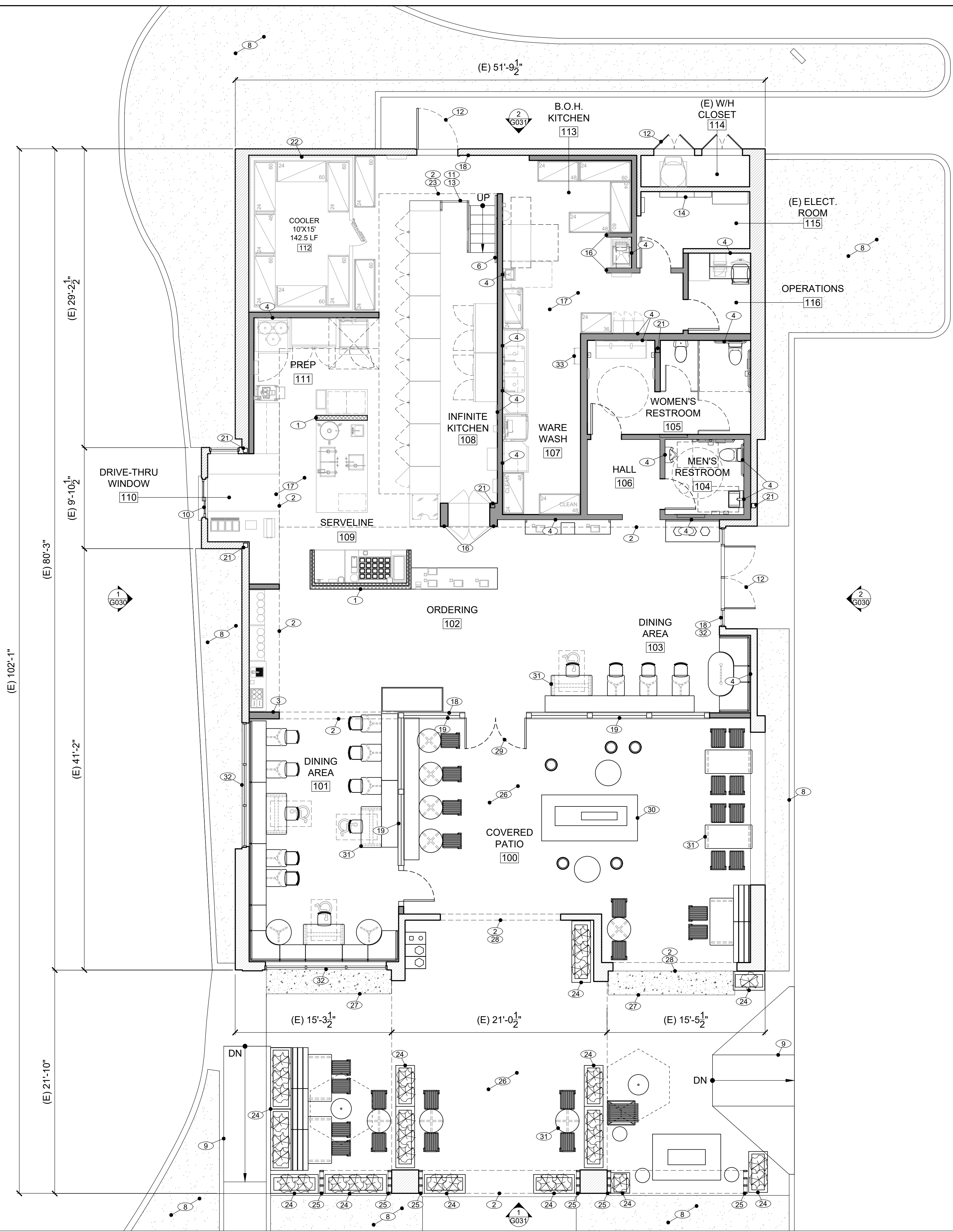
NOTE: GC TO REPAIR WATERPROOFING AT ALL NEW STUCCO

NOTE: GC TO REPLACE ANY DAMAGED SPANISH ROOF TILE



1 SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1 PLAN NOTES

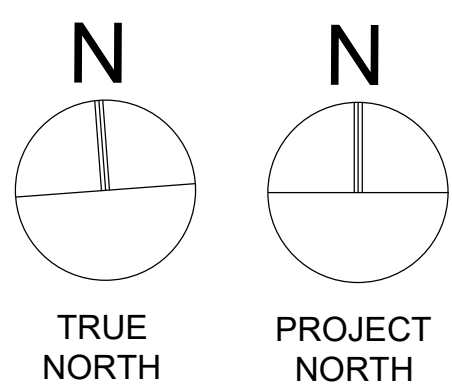
- PARTIAL HEIGHT WALL. REFER TO SECTION FOR HEIGHT & ADDITIONAL REQUIREMENTS.
- SOFFIT ABOVE. SHOWN DASHED. REFER TO REFLECTED CEILING PLAN.
- FINISH FACE OF WALL TO ALIGN WITH FINISH FACE OF SOFFIT ABOVE.
- PROVIDE BLOCKING IN WALL FOR ARTWORK, EQUIPMENT & SHELVING PER PLANS. REFER TO ELEVATIONS FOR LOCATIONS.
- WALL TO ALIGN WITH FACE OF COOLER PANEL THIS LOCATION. **(NOT IN USE)**
- NEW STAINLESS STEEL HANDRAIL BY G.C.
- NEW STOREFRONT ENTRY VESTIBULE. REFER TO STOREFRONT DETAILS & ENLARGED PLAN FOR ADDITIONAL REQUIREMENTS. NOTE: THIS STOREFRONT CANNOT BE INSTALLED UNTIL THE IK UNIT HAS BEEN BROUGHT INTO THE SPACE. **(NOT IN USE)**
- EXISTING LANDSCAPE
- EXISTING SLOPED CONCRETE
- EXISTING PICK-UP WINDOW TO REMAIN. NO OPENING GREATER THAN 432 SQ. INCHES.
- IK GUARDRAIL
- EXISTING DOOR(S) TO REMAIN PER DOOR SCHEDULE.
- 24" X 30" ACCESS HATCH **BELOW IK**
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL PANEL INFORMATION.
- EXISTING METAL PATIO RAILING TO REMAIN. **(NOT IN USE)**
- WALLS TO ALIGN.
- G.C. TO COORDINATE POSITION OF KITCHEN PARTITIONS (FOH & BOH) WITH FOOD SERVICE CONSULTANT TO ENSURE ALL EQUIPMENT CLEARANCES ARE MAINTAINED.
- TACTILE EXIT SIGN. WHEN SIGN IS MOUNTED TO GLASS PROVIDE A BACK SIDE WITH FINISH TO MATCH FRONT SIDE.
- NEW TEMPERED FIXED GLASS WINDOW PER SCHEDULE.
- CANOPIES ABOVE. SHOWN DASHED. **(NOT IN USE)**
- EXISTING STEEL COLUMN TO REMAIN
- MIN. 2" CLEARANCE BETWEEN W.I.C. & WALL TYP. ALL SIDES
- EXTENT OF RAISED CEILING FOR IK, SHOWN DASHED
- NEW FORM & FIBER PRECAST PLANTERS
- NEW WOOD / AIRCRAFT CABLE STRUCTURE FOR PLANTING
- ROOF ABOVE. AREA IS COVERED
- NEW EXTERIOR CONCRETE SLAB
- G.C. TO ADVISE IF FLOOR TRANSITION IS GREATER THAN 1/4" IF GREATER THAN 1/4" AN AREA OF CONCRETE WILL NEED TO BE REMOVED AND REPOURED TO ENSURE THE FLOOR TRANSITION CHANGE IS NOT GREATER THAN 1/4"
- NEW DOOR PER DOOR SCHEDULE
- NEW PLANTER
- NEW SEATS AND TABLES PER FURNITURE SCHEDULE
- EXISTING WINDOW TO REMAIN PER WINDOW SCHEDULE
- NEW ROOF LADDER & ROOF HATCH ABOVE

LEGEND

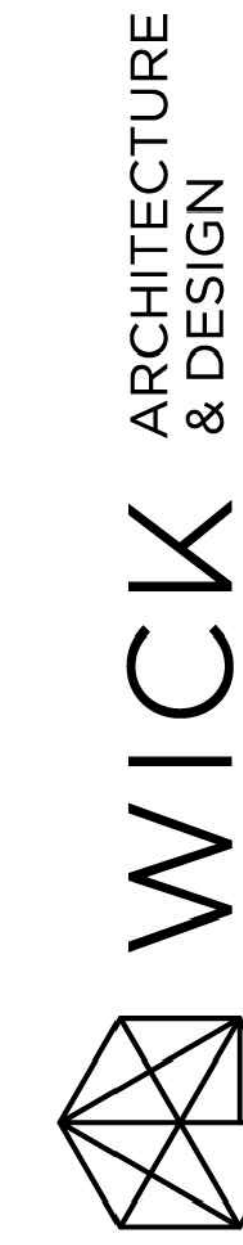
	NEW FULL HEIGHT WALL
	NEW PARTIAL HEIGHT WALL
	EXISTING WALL
	DEMO WALL (NON-BEARING)
	DOOR NUMBER, SEE A400
	EXISTING DOOR NUMBER, SEE A400
	WINDOW NUMBER
	EXISTING WINDOW NUMBER
	ONE HOUR WALL (5/8" TYPE 'X' GWB. BOTH SIDES)
	PARTITION TYPE, SEE A310

GENERAL NOTES

- BASE BUILDING PARTITIONS SHOULD BE CLEAN AND REPAIRED/PREPARED AS REQUIRED FOR PROPOSED TENANT CONSTRUCTION AREAS THAT ARE SCHEDULED AS GYPSUM BOARD SHOULD BE PAINT READY.
- ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
- PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, U.N.O.
- ALL DIMENSIONS ARE TO FACE OF STUD.
- ANY DIMENSION NOTED "VERIFY" OR "V.I.F." MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
- PROVIDE BLOCKING AS REQUIRED IN PARTITIONS AND CEILINGS AT WALL AND CEILING MOUNTED SHELVING, MILLWORK, LIGHTING, ETC. IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE. COORDINATE LOCATIONS OF BLOCKING WITH ALL PLANS, ELEVATIONS, AND DETAILS. VERIFY SHOP STANDARDS WITH SUBCONTRACTORS AND SUPPLIERS AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- WHERE NEW CONSTRUCTION APPEARS TO ABUT EXISTING CONDITIONS AND THE FINISHED SURFACES APPEAR TO ALIGN, SURFACES SHALL BE CONSTRUCTED WITHOUT A VISIBLE JOINT, U.N.O.
- PROVIDE ADDITIONAL STUDS AS REQUIRED WITHIN PARTITIONS TO ACHIEVE OUTLET GROUPINGS AS SPECIFIED IN ELECTRICAL DRAWINGS.
- G.C. TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.
- G.C. TO REVIEW CONDITION OF EXISTING FLOOR SLAB AND DETERMINE BEST METHOD FOR PATCHING/REPAIRING, FILLING, AND SEALING OF SLAB IN ORDER TO PREPARE IT TO RECEIVE NEW SCHEDULED FINISHES. (THIS MAY REQUIRE ALLOWANCE PRICING FOR UNKNOWN WHEN BIDDING)
- G.C. IS RESPONSIBLE FOR MAINTAINING DIMENSIONS AS INDICATED ON THE DRAWINGS. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". WHERE THIS TOLERANCE IS NOT OBTAINABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
- DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- THE DIMENSIONS AND WORK NOTED ON THESE DRAWINGS ARE INDICATED FOR DESIGN INTENT. IF THE INSTALLATION OF ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION WORK INTERFERES WITH THIS INTENT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE G.C. IS RESPONSIBLE FOR BRACING TO DECK OF PARTITIONS AT DOORS AND WINDOWS.
- G.C. TO COORDINATE LOCATIONS OF ALL MEP (INCLUDING THERMOSTATS, OUTLETS, ACCESS PANELS, EMERGENCY FIXTURES, SMOKE DETECTION FIXTURES, ETC) WITH EXISTING CONDITIONS, ARCHITECTURAL DRAWINGS, MILLWORK, FURNITURE, INTERIOR FINISHES, ETC AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION OF EQUIPMENT OR SERVICES.
- G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS.
- COORDINATE WITH KES DRAWINGS FOR IN-WALL BLOCKING REQUIRED FOR KITCHEN EQUIPMENT.
- G.C. TO COORDINATE POSITION OF KITCHEN PARTITIONS (FOH & BOH) WITH FOOD SERVICE CONSULTANT TO ENSURE ALL EQUIPMENT CLEARANCES ARE MAINTAINED.



1 CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



sweetgreen

GOLETA
5820 CALLE REAL
GOLETA, CA. 93117

ISSUE DATES
PLANNING SUBMITTAL: 05.02.25
PLANNING SUBMITTAL 2: 07.31.25

THE DESIGN, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING ARE CONFIDENTIAL. THE RECIPIENT OF THIS DRAWING HEREBY ACKNOWLEDGE & AGREE IT IS THE SOLE PROPERTY OF WICK ARCHITECTURE & DESIGN & THAT THEY SHALL NEITHER USE NOR REVEAL ANY OF THE DESIGN, DETAILS & SPECIFICATIONS CONTAINED IN THIS DRAWING OUTSIDE OF THE CONTRACTUAL AGREEMENT WITH WICK ARCHITECTURE & DESIGN WITHOUT EXPRESS WRITTEN PERMISSION FROM WICK ARCHITECTURE & DESIGN.
COPYRIGHT: WICK ARCHITECTURE & DESIGN. ALL RIGHTS RESERVED



CONSTRUCTION PLAN

BLDG. & SAFETY STAMP

SCALE: AS SHOWN DATE: 07.31.25

A100

ATTACHMENT D

ARCHITECTURAL STANDARDS – COMMERCIAL BUILDINGS

RESOLUTION NO. 03-20

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GOLETA, CALIFORNIA, ADOPTING ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS

WHEREAS, upon the incorporation of the City on February 1, 2002, and in accordance with Government Code section 65360, which provides that a newly incorporated city has at least 30 months to adopt a general plan, the City elected not to directly adopt the applicable portions of the Santa Barbara County General Plan, including the Goleta Community Plan previously adopted by the Santa Barbara County Board of Supervisors;

WHEREAS, Appendix B of the Goleta Community Plan set forth certain architecture and design standards for commercial projects within what is now the City limits;

WHEREAS, the City Design Review Board ("DRB") has reviewed the architecture and design standards set forth in Appendix B and has made a recommendation to the City Council that the City adopt a modified version of such standards so that the DRB and the City's Planning Agencies have some additional architecture and design guidelines when reviewing commercial projects prior to the City's adoption of a general plan;

WHEREAS, the City Council has reviewed the document entitled "CITY OF GOLETA ARCHITECTURE AND DESIGN STANDARDS FOR COMMERCIAL PROJECTS" recommended by the DRB and finds that the proposed standards contained therein, as amended by the City Council, are generally consistent with the general plan proposal being considered or studied by the City Council, and that such standards will enhance the ability of the DRB and the City's Planning Agencies to review commercial projects and ensure that such projects exemplify the best professional design practices, enhance the visual quality of the environment, benefit surrounding property values and make the most appropriate use of land within the City.

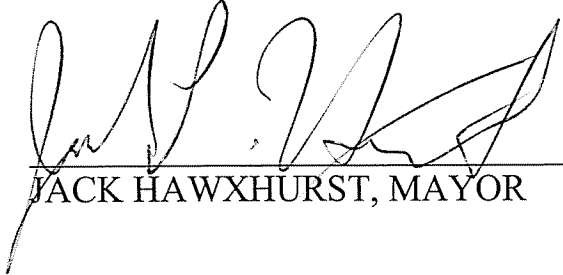
NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GOLETA DOES RESOLVE, DETERMINE, FIND, AND ORDER AS FOLLOWS:

SECTION 1. The "City of Goleta Architecture and Design Standards for Commercial Projects" attached as Exhibit "A" to this resolution are hereby approved and adopted.

SECTION 2. To the extent that any inconsistency exists between these City of Goleta Architecture and Design Standards for Commercial Projects and the guidelines and standards set forth in the Goleta Old Town Heritage District Architecture and Design Guidelines (the "County Old Town Guidelines") previously adopted by the County of Santa Barbara, the County Old Town Guidelines shall control within Goleta Old Town.


SECTION 3. City Clerk shall certify as to the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 7th day of April, 2003.



JACK HAWXHURST, MAYOR

ATTEST:



FREDERICK C. STOUDER
CITY CLERK

APPROVED AS TO FORM:



JULIE HAYWARD BIGGS
CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SANTA BARBARA) ss.
CITY OF GOLETA)

I, FREDERICK C. STOUDER, City Clerk of the City of Goleta, do hereby certify that the foregoing Resolution No. 03-20 was duly adopted by the City Council of the City of Goleta at a regular meeting thereof, held on the 7th day of April, 2003, by the following vote:

AYES: COUNCILMEMBERS BLOIS, CONNELL, WALLIS,
 MAYOR PRO TEMPORE BROCK, MAYOR HAWXHURST

NOES: NONE

ABSENT: NONE



FREDERICK C. STOUDER
CITY CLERK

EXHIBIT A

CITY OF GOLETA

**ARCHITECTURE AND DESIGN STANDARDS
FOR COMMERCIAL PROJECTS**

Adopted as of April 7, 2003

I. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance the visual quality of the environment.

- A. The project shall include useable open space (appropriate to the project) which is designed and located appropriately for the proposed use.
 - 1. Useable open space can include view corridors, site recreation, employee lunch areas and natural vegetation areas.
- B. Site open space shall blend into adjacent natural areas. (Figure A: Example of poor landscaping transition.)
- C. Adequate setbacks from site structures (walls, paving and buildings) to environmentally sensitive areas shall be maintained.
- D. Site grading impacts shall be minimized.
 - 1. Cut and fill slopes should be contoured to blend in with the natural landform and feathered into adjacent grades. (Figure B: Example of a poorly executed cut and fill slope.)

II. Site layout (location of structures, signs, parking, etc.) shall be designed to respect and enhance adjacent neighborhood areas.

- A. Overall building shapes and height shall be compatible to and in scale with existing structures on the same site and in the surrounding neighborhood.
 - 1. Where the proposed structure is taller than existing adjacent structures, the following techniques may be required to make the structure compatible.
 - a. Increase building setbacks;
 - b. Step back upper floors;
 - c. Utilize roof types which minimize building mass at the perimeter (hip and flat roofs);
 - d. Excavate the building into the site.
- B. There shall be a harmonious relationship with existing and adjoining developments, avoiding excessive variety and monotonous repetition, but promoting compatibility of styles.
- C. The privacy of existing adjacent residential areas shall be protected by carefully controlling window and balcony placement.

- D. Exterior lighting shall be screened to minimize glare and casting light onto adjacent sites.
- E. Project design for industrial uses shall include screen walls and building placement to minimize the transfer of noise off site.
- F. Project design shall promote a smooth shift from offsite conditions different from those proposed (i.e., scale, zone, use, architectural context, etc.).
 - 1. Where possible, perimeter wall setbacks shall vary and the wall shall be broken visually by use of texture or material. (Figure C: Carports used as screen walls.)
- G. Project facilities such as loading docks, storage, utility, maintenance and trash storage areas shall be located in consideration of neighborhood uses, and screened where appropriate.

III. The project design shall facilitate alternate forms of transportation.

- A. Building setbacks shall be increased at the corner lots to promote pedestrian safety and good design.
- B. On larger projects with bus turnouts or pedestrian loading zones, such facilities shall be included with shelters designed to match project architecture. (Figure D: Bus stop shelter designed to match building architecture.)
- C. Pedestrian access from off-site shall be separated from automobiles where possible.
- D. Bicycle parking shall be accommodated in a safe, efficient manner and located to blend with the proposed project.

IV. Automobile access (on and off-site) and parking shall be safe and subordinate to other land and building forms.

- A. Every effort shall be made to screen parking areas with existing or proposed structures. (Figure E: Parking located behind building).
- B. Where screening of parking areas by building configuration is not possible, landscaping, grade changes, berms, low walls, and landscaping strips shall be used to screen parking structures and cars from adjacent roadways and residential developments.
- C. Landscaping should screen parking lots to minimize their expansiveness and reduce the effects of heat and glare from pavement; combine trees, shrubs and ground cover in islands; incorporate canopy trees at the perimeter and in island or finger planters with a maximum of eight parking spaces (or such greater number

as the applicable decision-maker may determine) between each tree; and use various paving textures which are compatible with the proposed or existing structure(s).

D. Putting utility lines under ground shall be encouraged on all projects.

V. Adequate landscaping shall be integrated into the project design to enhance the natural environment.

- A. Landscaping and landscape areas shall be maximized and balanced throughout the site, relate to the building size and the context of the neighborhood, and be appropriate to the site. Landscaping shall generally consist of live plant material (e.g., rock and bark may be used as a weed control measure and larger rocks may be used as a design element).
- B. Where existing vegetation must be removed, the area should be re-vegetated to adequately mitigate the visual impact created by the removal of the established vegetation. Preservation of existing specimen trees is paramount.
- C. Drought tolerant and water conserving plants shall be used in the majority of the landscaping, except in areas of active recreation. Drought tolerant native plant species (with plants native to southern Santa Barbara County) or non-native plants if necessary to protect significant habitat value shall be required in environmentally sensitive areas.
- E. Landscaping should protect and enhance public views. Appropriate landscaping on hillsides and ridgelines must also be considered.
- F. Landscaping should screen out undesirable views (e.g., freeway from adjacent developments, parking lots, blank building and wall sites and mechanical equipment and other utility structures), but it is not a substitute for good architectural design.
- G. Plantings (e.g., citrus, avocado and walnut trees) that reflect the rich horticultural heritage of the Goleta Valley are encouraged as an accent but should be balanced with the need for skyline trees to preserve Goleta's character and other considerations described elsewhere in this document.
- H. Landscaping shall be installed in such a manner so that at maturity it will provide adequate distances for vehicle and pedestrian line-of-sight at entrance and exit curbs. It should not interfere with traffic control devices, public lighting, or circulation patterns. Similar consideration shall also be given to ensure that trees are planted at an adequate distance from utility poles, overhead wires, sewer lines and any other structure where tree roots or limbs could cause damage. Landscaping litter (e.g., palm fronds, fruit, etc.) shall be considered in any installation that affects vehicular or pedestrian traffic.

- I. Landscaping plans shall show all above and below ground obstructions (e.g., utility poles, street lights, sewer lines) that may affect plant placement and installation limitations.

VI. Building design shall be encouraged which enhances and protects the visual quality of the Goleta area.

- A. There shall be a harmony of materials and consistency in style and design on all sides of a structure.
 1. Materials, detailing, color and proportions shall be appropriate to the style of the building.
 2. There shall be adequate variety and interest given to all sides of a building yet allowing for flexibility in design for various building functions. Possible techniques to add interest include modulation of walls, wainscot or cornice molding, texture or patterns in building materials, niches for planters or seats and decorative vents and grilles.
- B. Building signage, site work and mechanical/electrical equipment shall be well integrated in the design concept and screened from public view to the maximum extent practicable. (Figure F: Unscreened meters detract from this otherwise attractive building.)
 1. The DRB may require additional site sections and photographs (including aerial photographs) to ensure adequate mechanical screening from adjacent areas of higher elevation.

VII. Passive solar design is encouraged.

- A. The use of certain passive design features (south facing glass, thermal storage, shading and lightshelf devices) may require that the literal requirement for consistency on all sides of a structure be viewed with sufficient latitude.
- B. Landscaping and other screening devices may be required when reflective materials cause glare to adjacent properties.