



TO: Goleta Design Review Board

SUBMITTED BY: Samantha Bailey, Acting Planning Technician

SUBJECT: 370 Storke Rd (APN 073-100-008) Signage for The Point Market and Raised Parapet and California Environmental Quality Act Notice of Exemption Case Nos. 25-0025-DRB, 25-0026-ZC

DRB ACTIONS FOR CONSIDERATION:

1. Adopt DRB and CEQA Findings provided as Attachment A;
2. Adopt CEQA Categorical Exemption Section 15311 (a) on-premise signs (Attachment B); and
3. Conduct Conceptual/Preliminary/Final review and approve (or approve with conditions).

PROJECT DESCRIPTION:

This is a request for a ***Conceptual/Preliminary/Final Review*** for one nonilluminated wall sign and to raise the parapet wall facing S. Storke Road. The DRB commenced reviewed of this item on July 22, 2025. The sign is proposed to display as three components across the façade of the building that is visible from Storke Road. The center component is proposed to be a 25 square foot blue circular sign with three lines of copy and a company logo above the copy. The first line of copy will read “THE” in 4.84” tall white letters. The second line of copy will read “POINT” in 8.63” white letters. The third line of copy will read “MARKET” in 4.84” brown lettering with a line above and below.

The component to the left of the sign is proposed to be one line of copy that will read “COFFEE” in brown lettering at 10.23” in height and 30.92” in length totaling 2.5 square feet. The component to the left of the sign is proposed to have two lines of copy and directional arrows to the right of the sign. The first line of copy will read “DRIVE” and the second line of copy will read “THRU” with each line of lettering in 10.08” tall brown lettering. The directional arrows will be three 22.94” tall green pointed lines. The two lines of copy and directional arrows will have a combined area of 7.4 square feet.

One additional illuminated wall sign was proposed for the Carwash structure and received approval from the DRB at the 7/22/25 meeting. The sign will read “Car Wash” in 24” tall internally illuminated channel lettering painted with blue acrylic faces and silver edge trim. The length of the sign will be 150”, 3” in depth, and will have a total sign area of 25 square feet.

The property is located in the Inland Zone and has a General Plan Land Use and Zoning Designation of General Commercial (CG). The project was filed by Dan Morris of Freedom Signs, on behalf of Price Management, the property owner.

DISCUSSION:

The scope of this proposal is one nonilluminated wall sign and to raise the roof parapet by 12 inches with a new arch added to accommodate the circular shape of "The Point Market" sign. The proposed color and material match the existing colors and materials of the building. The focus of the DRB is to evaluate the new sign since the DRB has review authority for this project and may grant Approval if the project meets the Required Findings in Goleta Municipal Code §17.58.080. If the DRB cannot make the findings for the project, then the project must be redesigned.

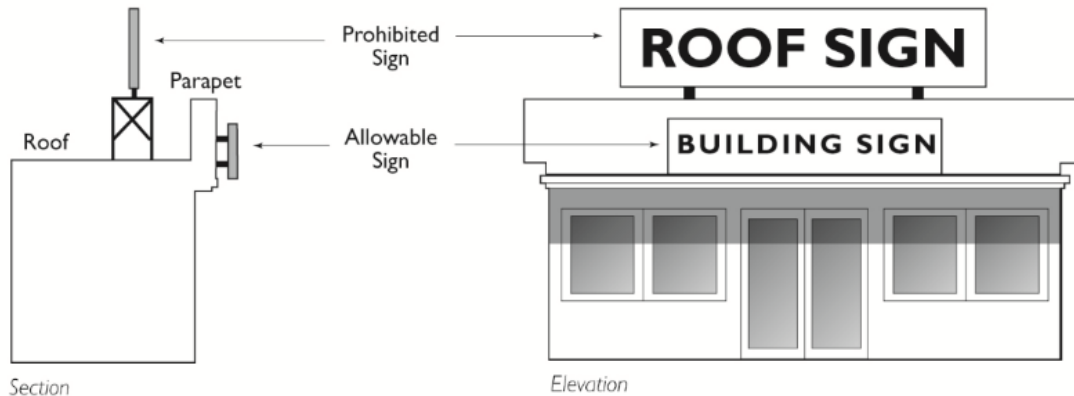
The proposed wall sign meets the wall sign requirements of GMC 17.40.080 (F) as follows: 1) There is only one wall sign for each tenant space; 2) The proposed wall sign does not exceed the height of the building wall to which it is attached, as the parapet is proposed to be raised behind the sign; 3) the proposed wall sign does not exceed the maximum sign area allowed of 100 square feet; 4) the proposed signage does not extend more than 12 inches beyond the face of the wall; 5) the proposal does not cover any required wall openings; and 6) the proposed signage is placed flat against the wall building. There are no additional design standards adopted for signage or the parapet height increase for this zoning district. The proposed wall sign is consistent with applicable policies of the City of Goleta General Plan, for example VH Policy 4.13.

Revised Plans Submitted:

The applicant provided revised plans to address DRB comments from the 7/22/25 meeting. These revised plans include the proposal to raise the parapet behind the wall sign to comply with the standard for wall signs per 17.40.080 (F) (2) which requires the wall sign to not exceed the height of the wall to which it is attached. The maximum height for the General Commercial district is 35 feet and the height of the building with the raised parapet will be 17.2 feet. The color, material, and overall design of the raised parapet is harmonious with the existing design of the building.

Additionally, the proposal to raise the height of the parapet would keep the signage qualified as a wall sign rather than a prohibited roof sign as displayed in figure 17.40.040 (H) Roof Signs:

FIGURE 17.40.040(H): ROOF SIGNS

**ENVIRONMENTAL REVIEW (NOE):**

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA. Specifically, the project is categorically exempt from environmental review pursuant to CEQA Guidelines § 15311 (a) (On-premise signs) as it includes a proposal for signs for an established business on existing buildings and § 15301 (a) Interior or exterior alterations as it includes a proposal for minor alteration to the parapet of an existing building. The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The sign will be placed on existing buildings and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited to signage and minor building modification to raise the roof parapet by 12 inches. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as the addition of a sign and raising the parapet in a commercial district is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the installation of signage and the raising of the parapet on

an existing building. Additionally, the proposed signage would not affect cultural and historical resources since there is no ground disturbance involved.

NEXT STEPS AND ASSOCIATED LAND USE ACTION:

If the DRB grants the applicant's request, the next steps include: (1) a 10-day (DRB) appeal period; (2) ministerial issuance of a Zoning Clearance following (Case No. **25-0026-ZC**) if no appeal is submitted; and (3) Building Permits as needed.

If the DRB action is appealed and the appeal is upheld, DRB's action will be rescinded and the DRB process will start over.

ATTACHMENTS:

- A – Findings
- B – Notice of Exemption
- C – Sign Plans

ATTACHMENT A

FINDINGS

Attachment A
DRB Findings for Signage, Parapet change, and
California Environmental Quality Finding
for The Point Market and Raised Parapet
370 Storke Road (APN 073-100-008)
Case No. 25-0025-DRB/25-0026-ZC

DESIGN REVIEW FINDINGS (GMC SECTION 17.58.080)

1. The development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.

The proposed signage and raising of the roof parapet is compatible with the neighborhood as the type of proposed signage and roof parapet is similar with the surrounding commercial businesses. The proposed wall sign conforms to the wall sign requirements of Goleta Municipal Code Section (GMC) 17.40.080 (F) and are well below the maximum sign area as outlined in 17.40.060 (O). The proposed increase in height to the roof parapet conforms to the requirements for maximum building height in the General Commercial district of the table found in Goleta Municipal Code Section (GMC) 17.08.030

2. Site layout, orientation, and location of structures, including any signage and circulation, are in an appropriate and harmonious relationship to one another and the property.

The proposed sign location and height of the roof parapet is on an existing building and is in line with the size of typical commercial signage and building heights. Further, the orientation of the signage and raised roof parapet is appropriate for the street frontage that borders the property. The location will not affect circulation or the building layout on the property.

3. The development demonstrates a harmonious relationship with existing adjoining development, avoiding both excessive variety as well as monotonous repetition, but allowing similarity of style, if warranted.

The signage and raised roof parapet is harmonious with signs and building structures at nearby commercial businesses as the materials are similar to the neighboring businesses. The proposed wall sign and raised roof parapet has some similarities to existing nearby ones but also has variety to reflect the individual tenant spaces. The proposed sign and parapet avoids both excessive variety as well as monotonous repetition.

4. There is harmony of material, color, and composition on all sides of structures.

The sign will be placed on an existing building and will remain harmonious in terms of materials and colors on all sides of the building. The parapet will blend with the

existing building as it is a minor alteration and will match the color and material of the building.

5. Any outdoor mechanical or electrical equipment is well integrated in the total design and is screened from public view to the maximum extent practicable.

No mechanical or electrical equipment is proposed for the nonilluminated wall sign and raised roof parapet.

6. The site grading is minimized, and the finished topography will be appropriate for the site.

No grading is proposed as part of the proposed signage and raised roof parapet.

7. Adequate landscaping is provided in proportion to the project and the site with due regard to preservation of specimen and protected trees, and existing native vegetation.

No new landscaping is proposed as part of the proposed signage and raised parapet and no specimen trees, protected trees, and existing native vegetation will be removed as part of the project.

8. The selection of plant materials is appropriate to the project and its environment, and adequate provisions have been made for long-term maintenance of the plant materials.

No new landscaping is proposed as part of the proposed signage and raised roof parapet.

9. All exterior lighting, including for signage, is well designed, appropriate in size and location, and dark-sky compliant.

No lighting is proposed for the nonilluminated sign and raised roof parapet.

10. The project architecture will respect the privacy of neighbors, is considerate of private views, and is protective of solar access off site.

The proposed signage and parapet will not affect the privacy of neighbors, impact existing views, and will not result in obstruction of solar access to other adjacent properties. The signage and parapet is proposed to be oriented toward the adjacent commercial street, and the proposed sign size and parapet height is not obtrusive.

11. The proposed development is consistent with any additional design standards as expressly adopted by the City Council. (Ord. 20-03 § 6).

There are no additional design standards adopted for signage and a raised roof parapet for this zoning district. The proposed wall sign and raised roof parapet is consistent with applicable policies of the City of Goleta General Plan, for example VH Policy 4.13.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA. Specifically, the project is categorically exempt from environmental review pursuant to CEQA Guidelines § 15311 (a) (On-premise signs) as it includes a proposal for signs for an established business on existing buildings and § 15301 (a) Interior or exterior alterations as it includes a proposal for minor alteration to the parapet of an existing building. The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The sign will be placed on existing buildings and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited to signage and minor building modification to raise the roof parapet by 12 inches. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as the addition of a sign and raising the parapet in a commercial district is not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the installation of signage and the raising of the parapet on an existing building. Additionally, the proposed signage would not affect cultural and historical resources since there is no ground disturbance involved.

ATTACHMENT B

CEQA NOTICE OF EXEMPTION

To: ☐ Office of Planning and Research
P.O. Box 3044, 1400 Tenth St. Rm. 212
Sacramento, CA 95812-3044

☒ Clerk of the Board of Supervisors
County of Santa Barbara
105 E. Anapamu Street, Room 407
Santa Barbara, CA 93101

From: City of Goleta
130 Cremona Drive, Suite B
Goleta, CA 93117



Subject: Filing of Notice of Exemption

Project Title:

Signage for The Point Market and Raised Parapet
Case No. 25-0025-DRB; 25-0026-ZC

Project Applicant:

Dan Morris of Freedom Signs
On behalf of Price Management, the business owner

Project Location (Address and APN):

370 Storke Rd
Goleta, CA 93117
County of Santa Barbara
APN: 073-100-008

Description of Nature, Purpose and Beneficiaries of Project:

This is for one nonilluminated wall sign and a raised roof parapet. The purpose of the proposed signage is to identify the business component on the property and the purpose of the raised roof parapet is to accommodate the new signage. The beneficiary of the project is the business owner.

Name of Public Agency Approving the Project:

Design Review Board of the City of Goleta

Name of Person or Agency Carrying Out the Project:

Dan Morris, of Freedom Signs, on behalf of Price Management, the business owner.

Exempt Status:

- ☒ Categorical Exemption: § 15311 (a) (On-premise signs)
- ☒ Categorical Exemption: § 15301 (a) Interior or exterior alterations

Reason(s) why the project is exempt:

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA. Specifically, the project is categorically exempt from environmental review pursuant to CEQA Guidelines § 15311 (a) (On-premise signs) as it includes a proposal for signs for an established business on existing buildings and § 15301 (a) Interior or exterior alterations as it includes a proposal

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City of Goleta Contact Person, Telephone Number, and Email:

Samantha Bailey, Acting Planning Technician
Mary Chang, Supervising Planner
(805) 961-7567
mchang@cityofgoleta.org

Signature

Title

Date

If filed by the applicant:

1. Attach certified document of exemption finding
2. Has a Notice of Exemption been filed by the public agency approving the project?
☐Yes ☐No

Date received for filing at OPR: _____

Note: Authority cited: Section 21083 and 211110, Public Resources Code
Reference: Sections 21108, 21152.1, Public Resources Code

ATTACHMENT C

PROJECT PLANS



816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 7-27-25

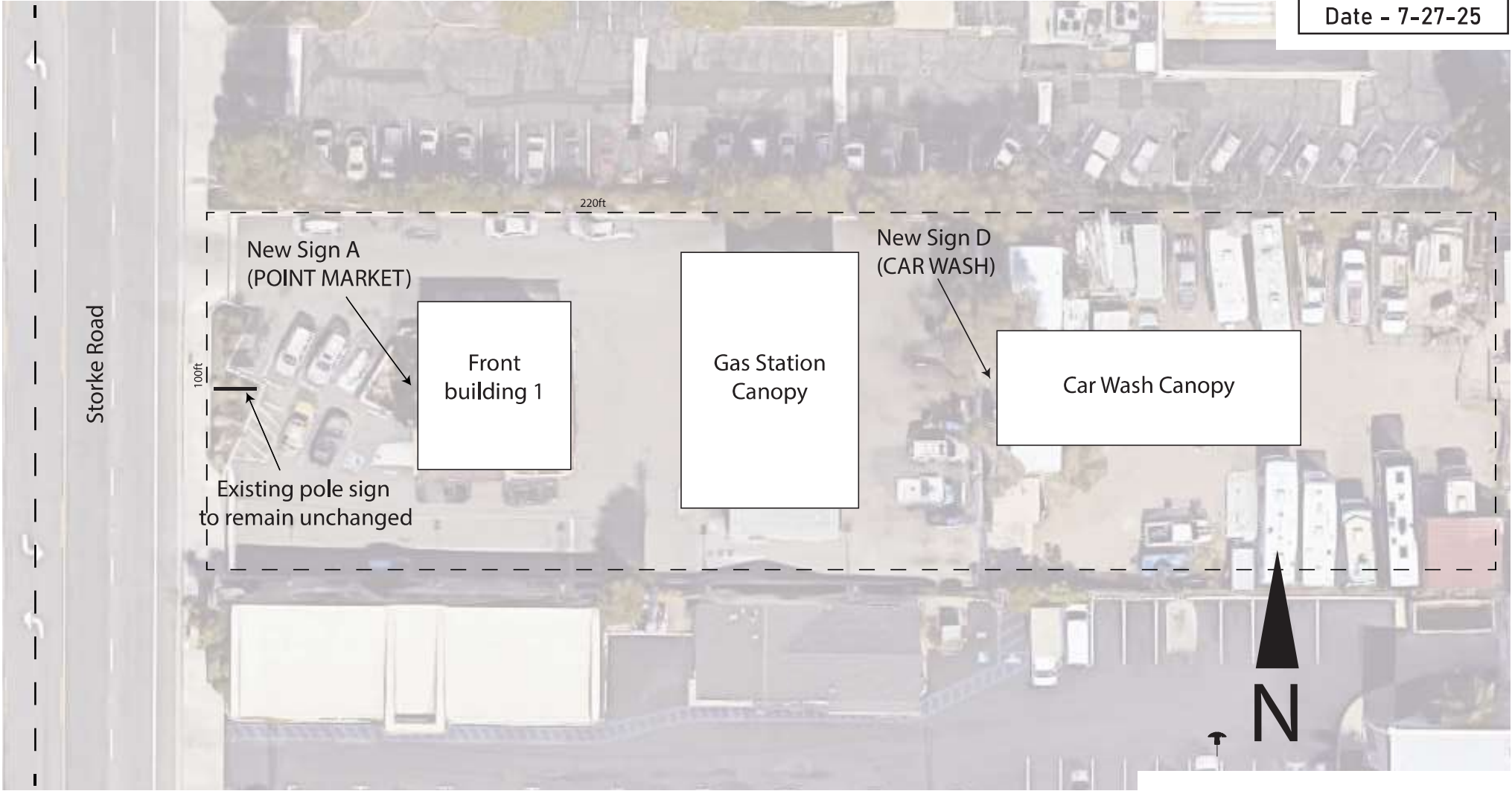
1. COVER
2. SITE PLAN
3. SIGN A TO SCALE
4. SIGN B TO SCALE
5. ELEVATION (POINT MARKET)
6. ELEVATION (CAR WASH)
7. PHOTOSIMS
8. SURROUNDINGS



816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 7-27-25

Site Plan



Sheet Title =
Site Plan

Scale = 1 1/2" = 20'



816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 1-27-25

Sign A

11"X31" = 2.5sqft

60"x60" = 25sqft

23"X46" = 7.4sqft



Sheet Title =
Signs to scale

Scale = 1 1/2" : 1'

Freedom Signs

816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 1-27-25

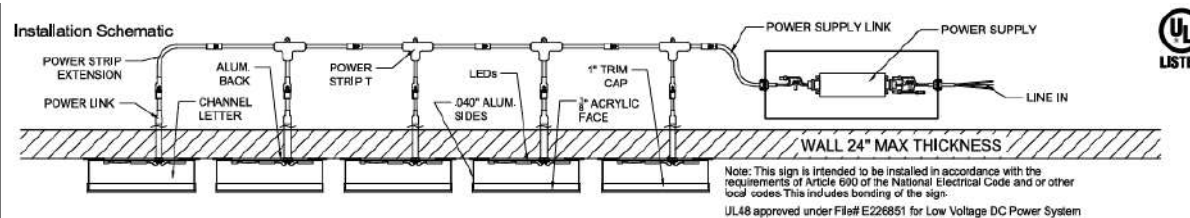
Sign D to Scale



Facelit Channel letters, white returns, silver edge trim and blue acrylic faces

Sheet Title =
Sign to scale

Scale = 1/2":1'



wiring detail

Installation Elevation: Sign Size 24"x151", Total Sign 25 Square Feet

Estimated Electrical Load: 1 amps @ 120 volts

Car Wash

Dimensional simulation

Project Title = storke car wash 374 Storke APN- 073-100- 008

*Freedom
Signs*

816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date -8-3-25

Front building
West Elevation

Parapet raised by 12" with new arch added

COFFEE



DRIVE
THRU >>>

17.2ft

14ft

38ft

Frontage = 38'x 13.2' = 502 sqft

Sheet Title =
Site Plan

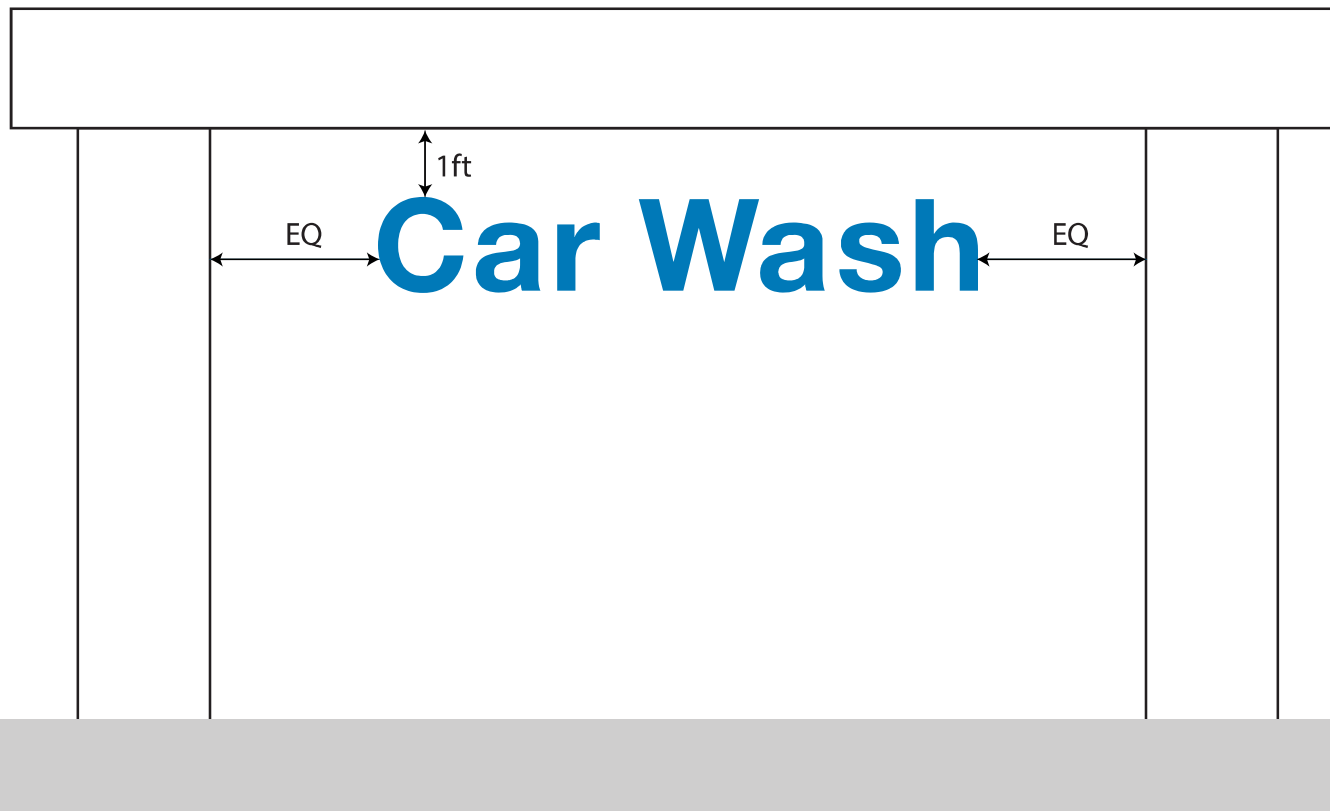
Scale $\frac{1}{4}$ "=1'



816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 1-27-25

West Elevation



Sheet Title =
Site Plan

Scale = 1 1/4" = 1'

*Freedom
Signs*

816 Reddick St.
Santa Barbara, CA 93103
805.965.1410
dan@freedomsigns.com

Date - 7-27-25

Photosim showing signs A in place



Photosim showing sign D in place



Surroundings

View of sign location looking North East



View of sign location looking South East



View from sign location looking West



Existing pole sign to remain unchanged



Views of property looking East towards back of parcel

