



**Agenda Item A.1
PUBLIC HEARING
Meeting Date: April 20, 2026**

TO: Goleta Historic Preservation Commission

FROM: Darryl Mimick, HPC Secretary

CONTACT: Brian Hiefield, Senior Planner

SUBJECT: Proposed Adaptive Reuse and Renovation to the Fairview Gardens Historic Farmhouse, as part of the Fairview Gardens Conditional Use Permit Project; 598 N. Fairview Avenue; APN 069-090-052; Case Nos. 25-0001-CUP; 25-0003-DRB.

RECOMMENDATION:

That the Historic Preservation Commission (HPC) recommends that the Planning Commission find that the proposed adaptive reuse and rehabilitation of the farmhouse portion of the Fairview Gardens Conditional Use Permit project is consistent with the Secretary of Interior Standards for the Treatment of Historic Structures based on the Findings in Attachment A.

BACKGROUND

The Center for Urban Agriculture at Fairview Gardens (Fairview Gardens) is requesting a Conditional Use Permit (CUP) to formalize historic activities and operational uses on the 12.23-acre Fairview Gardens farm located at 598 N. Fairview Avenue. The project includes youth and adult educational programs, farm operations, staff housing, public events, and the proposed physical developments to support those uses (the Project). The Project consists of the construction of multiple structures including a multi-functional service barn, staff housing, a retail farmstand, and restroom facilities. The project also includes rehabilitating the existing historic farmhouse. HPC's review is limited to the historic farmhouse portion of the Project. A more detailed description of the adaptive reuse and rehabilitation of the farmhouse provided in the Project Description section below.

The Historic Resources Report for 598 North Fairview Avenue, prepared by Post/Hazeltine Associates: October 2024, included as Attachment C to this staff report (historic resources report) evaluated the historical significance of Fairview Gardens, including the historic farmhouse. The report concludes that the farmhouse and surrounding agricultural land at Fairview Gardens meets the criteria for listing as a Historic Resource in the City of Goleta Historic Resources Inventory, California Register of Historic Resources, and National

Register of Historic Places. On April 5, 2022, the City Council found the farmhouse eligible for listing as a City of Goleta Historic Landmark, and the farmhouse Department of Parks and Recreation (DPR) form is provided as Attachment D to this report. Therefore, it is a historical resource as defined by the California Environmental Quality Act (CEQA). The property's other built improvements, landscaping, and hardscape are not considered significant historic resources. The report also concludes that the proposed rehabilitation of the farmhouse and construction of new facilities would not substantially impair the historic resource's integrity of location, design, materials, workmanship, feeling, or association. The historic resources report recommended that a historic preservation treatment plan for the farmhouse be prepared to guide its rehabilitation. This recommendation will be included as a condition of approval for consideration by the Planning Commission.

PROJECT DESCRIPTION

Existing development at Fairview Gardens encompasses 7,666 (gross) square feet of area. The Project proposes 18,070 square feet of new construction and the removal of 5,649 square feet of existing buildings, producing a net of 12,421 square feet of added square footage to the property. The total proposed building area (existing to remain plus new) is 20,087 square feet. The Fairview Gardens plans are included as Attachment B to this staff report and square footage details are included in the table below:

Project List

Existing Structures to Be Removed						
Structure Name	Status	Description / Use	Existing GSF	Proposed GSF	Delta	Historic
Produce Stand	(Existing to be removed)	farmstand / market	1,265 GSF	0 GSF	+ -1,265 GSF	No
Yurts	(Existing to be removed)	temporary staff housing	1,725 GSF	0 GSF	+ -1,725 GSF	No
Accessory Ag Structures (sheds, pergola, chicken/goat pens, propagation/shade structures)	(Existing to be removed)	agricultural uses	2,659 GSF	0 GSF	+ -2,659 GSF	No
Existing Structures to Be Renovated						
Structure Name	Status	Description / Use	Existing GSF	Proposed GSF	Delta	Historic
Farmhouse	(E) existing modified	offices, teaching kitchen, learning zone	2,017 GSF	50 GSF	+ 50 GSF	Y
New Structures						
Structure Name	Status	Description / Use	Existing GSF	Proposed GSF	Delta	Historic
Multi-functional Service Barn	(N) new	agriculture processing facility and educational / gathering space		6,260 GSF	+ 6,260 GSF	n/a
Retail Farmstand	(R) replaced	new farmstand / market		2,500 GSF	+ 2,500 GSF	n/a
Staff Housing	(N) new	modular staff housing		7,240 GSF	+ 7,240 GSF	n/a
Restroom Pavilion	(N) new	restrooms		370 GSF	+ 370 GSF	n/a
Education Pavilion	(N) new	outdoor gathering pavilion		730 GSF	+ 730 GSF	n/a
Support	(N) new	yurt - offices		115 GSF	+ 115 GSF	n/a
Support	(N) new	yurt - offices		115 GSF	+ 115 GSF	n/a
Propagation House	(N) new	outdoor greenhouse		600 GSF	+ 600 GSF	n/a
Staff Housing Trash Encl.	(N) new	trash enclosure		90 GSF	+ 90 GSF	n/a
Totals						
		Total Existing Building Area	7,666 GSF			
		Total Existing Building Area to be Removed	5,649 GSF			
		Total Existing Building Area to be Renovated	2,017 GSF			
		Total New Building Area		18,070 GSF		
		Net New Building Area (New minus Existing to be Removed)			12,421 GSF	
		Total Building Area (Existing to Remain Plus New)			+ 20,087 GSF	

Site development also includes utilities, hardscape, and landscape improvements necessary to support the new structures and uses.

The existing two-story Vernacular type of farmhouse is of wood construction. It is comprised of interlocking two-story volumes set at right angles to each other to create an L-shaped footprint. Its exterior walls are sheathed in narrow, clapboard siding laid over vertical boards. The intersecting gable roof is moderately pitched with boxed eaves. Fenestration is almost entirely comprised of multi-light wood sash of varying dimensions. Many of the windows are set in projecting frames embellished with simplified Classical inspired trim work. The primary entrance located on the house's south elevation is a multi-light wood door sheltered by a one-story porch with a shed roof supported by wood posts. A partially collapsed brick chimney is located near the south end of the west elevation. A shallow porch supported by narrow wood posts located at the north end of the house's east elevation shelters a door leading to the house's kitchen. The farmhouse has been extensively altered since its construction in the 19th century. Alterations include the south elevation's one-story porch, the porch at the north end of the east elevation, and modifications to the fenestration. It is likely the original part of the house, encompassing the wing with a side gable roof is balloon-framed because the partial collapse of the west elevation's chimney revealed the original exterior walls comprised of wide vertical boards that extend a full two stories in height. The boards are of varying widths with some well over a foot wide. This construction method had largely been replaced with standard wood framing by the early 1890s. A more detailed description of the existing farmhouse can be found in the historical resources report which is attached.

The primary focus of HPC review will be the proposed rehabilitation of the existing historic farmhouse. A summary of the farmhouse rehabilitation is provided below, and photos and plans are provided in Attachment B:

- Install a new foundation. The foundation would be sheathed in wood boards matching the existing skirting in design and materials.
- Repair the farmhouse's exterior walls and roof assembly. Replacement materials including siding, and trim work, will match the originals in material, dimension, profile, and appearance.
- Repair the farmhouse's existing fenestration, including windows that have been covered over. A three-part window on the east elevation's first floor and a double sash window on the south elevation would be replaced with multi-light French doors to improve accessibility.
- Repair the west elevation's brick fireplace. The chimney would be dismantled and rebuilt to meet current code requirements. If feasible the existing bricks would be reused as a veneer.
- Modify the south elevation's non-historic porch by installing a raised deck, steps, and new porch posts. The porch draws its inspiration from the house's Vernacular-type architecture.
- The porch would be raised to be level with the front door. The existing porch postdates the period of significance (c. 1930), and the original porch was very likely level with the entry door.
- A freestanding shade structure supported by wood posts with a retractable fabric canopy is proposed. The canopy would be retracted except during public events.

The restored historic farmhouse will be a multi-purpose building, with the following program/functions/areas:

- Flexible Use Café - Patron Area: 590 SF seating area that doubles for use for youth and adult educational programs. While the café will be available to the public, the primary audience for the café are people already on-site attending programs.
- Teaching/Staging Kitchen: 218 SF of support space for the café and culinary educational program.
- 1st & 2nd Floor Office Space: 688 SF consisting of a reception area, three (3) offices, and two (2) restroom space.
- 2nd Floor Studio Dwelling Unit: A 337 SF studio to provide for flexible staff housing needs.

ANALYSIS

Secretary of the Interior Standards and Historic Resources Report

Pursuant to Goleta Municipal Code (GMC) Section 17.33.080.D, the HPC should rely upon the relevant Secretary of Interior Standards for the Treatment of Historic Properties since the City has not adopted applicable design standards. In making a recommendation to the Planning Commission, the HPC is asked to make the findings listed in GMC Section 17.33.080 D.2.

The Standards define rehabilitation as follows:

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

As described further in the Findings provided as Attachment A, the Project has been evaluated against the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties. Those standards are identified below (in italics) and a summary explanation of how the Project complies with each of the standards is also provided.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The Goleta Valley, including the Fairview Gardens property, was a prosperous agricultural community during the period of significance (1874 – c. 1930). The main crops of the Goleta Valley were row crops, and orchard crops, including plums and lemon trees. The property was in private ownership until 1997. Ownership of the property transferred to The Center for Urban Agriculture at Fairview Gardens, a non-profit organization. Fairview Gardens is considered by some to be the oldest organic farm in southern California. Further The property will continue to operate by a non-profit organization focused on sustainable agriculture; this use is consistent with the property's original function as an agricultural property with a residential component. The rehabilitation and repair of the farmhouse will allow the building to serve the

public while preserving almost all its surviving design features and materials. Since the farmhouse will continue to be associated with the onsite farming use, the adaptive reuse and rehabilitation can be found consistent with Standard 1.

Regarding the remaining CUP project components which are not subject to HPC review, the layout of the proposed improvements is informal, which is consistent with the layout of the farm during the period of significance (1874 – c. 1930) when it featured a large outbuilding and a well house near the farmhouse. The outbuilding and well are nonexistent.

Removal of the non-historic outbuildings including the yurts and various sheds and service buildings would enhance the setting of the farmhouse. Therefore, their proposed removal meets Standard 1.

The proposed new construction employs simple rectangular forms, gable and shed roofs, reductive architectural detailing and corrugated metal siding inspired by early to mid-20th century farm building, which will form an appropriate setting for the historic farmhouse. The incorporation of staff housing (not the 2nd floor dwelling proposed within the farmhouse) is supportable because it will be located at the northeast corner of the property and the planting of orchards at the north end of the property will minimize view of the new construction from the historic farmhouse and will not be visible from public vistas such as North Fairview Avenue. Therefore, the Project, which will not impair the historic resource or its setting, meets Standard 1.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

The Project would retain the farmhouse's historic footprint with no additional proposed square footage. Loss of historic design features are confined to a double sash window on the south elevation's first floor and a triple window on the east elevation. While these alterations will remove some historic materials, the farmhouse's remaining historic windows and the front door will be rehabilitated, which provides sufficient examples of these elements to convey their character and type. Therefore, the proposed alterations to the farmhouse meet Standard 2.

Removing buildings and structures postdating the period of significance (1874 - c.1930) would not impair the property's ability to convey its historic associations, appearance, or the setting of the farmhouse. Therefore, this aspect of the Project meets Standard 2.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The Project does not propose adding conjectural features or architectural or decorative elements from other historic properties. Therefore, the Project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

None of the buildings, structures, landscaping, or hardscape features, postdating the period of significance (1874 -c. 1930), have achieved historic significance in their own right. Therefore, Standard 4 does not apply to the Project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Loss of historic building fabric is limited to two sets of windows on the farmhouse. These include a double sash window on the south elevation and a triple window on the east elevation as mentioned previously. After their removal the windows would be stored onsite. While the loss of these windows would remove historic building fabric, sufficient examples of the original windows would remain in-situ to convey the historic character of these architectural features. Therefore, the proposed alterations to the farmhouse meet Standard 5.

Removing non-historic buildings and structures postdating the period of significance (1874 -c.1930) would not impair the property's ability to convey its historic appearance or the setting of the farmhouse. Therefore, this aspect of the Project is farmhouse meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The Project proposes repairs to the farmhouse. These include repairing the existing fenestration, siding, and trim work. A new foundation and roof and framing repairs will also be undertaken. To ensure the repairs meet Standard 6, guidance outlined in the Secretary of the Interior's Preservation Briefs (preservation briefs) shall be implemented in consultation with City of Goleta Planning Staff and a City of Goleta-approved historian. A detailed description of the preservation briefs can be found in the historic resources report included as Attachment C to this staff report.

If historic fabric is too deteriorated to repair, it will be replaced in kind to recreate the original in material (if possible), dimension, and appearance under the guidance of a City-approved architectural historian following the guidance outlined in the preservation briefs. Because the applicant proposes to repair historic fabric and to limit replacements to those materials that are too deteriorated to repair following the guidance in the preservation briefs, the Project would meet Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Currently, the Project does not propose the cleaning or treating of specific elements of the historic building. If such treatments are required, the guidance outlined in the preservation briefs shall be implemented under the guidance of a City of Goleta-approved historian. If this guidance is implemented, the proposed Project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The historic farmhouse and surrounding farm environs are not considered archaeological resources; therefore, this standard does not apply to the Project. As a precaution for the Fairview Gardens site overall, any ground disturbing activities in native soils will be required to have both an archeologist and a native American monitor present.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

This proposed foundation work would meet Standard 9, provided the visible portion of the new foundation is clad in wood slats to match the existing wood slat cladding of the house's raised foundation.

The remodeled porch on the south elevation would feature a 27-foot by 12-foot raised wood deck, steps, new porch posts, and a new shed roof. The existing porch is likely a replacement based on construction methods used. The original wood porch would likely have been raised with steps leading up to a wood porch deck and the front door. If original materials survive, they are likely limited to the porch's beadboard ceiling. The proposed porch design is appropriate because its materials and detailing emulate the materials and design details of a late nineteenth or early twentieth century porch. This alteration would meet Standard 9, provided the detailing of the porch posts emulates motifs common to late 19th and early 20th-century porch posts, which include moldings at the base and top of the posts.

The replacement of a double sash window on the south elevation with a double French door would remove a window that dates to the period of significance (1874 - c. 1930). The doors are proposed to provide a more accessible entry to the farmhouse while preserving the historic front door and its sidelights. The window proposed for replacement would be stored onsite. The design of the proposed French doors is supportable because they are wood, employ a similar glazing pattern as the house's historic windows with three lights across, do not employ sidelights, and have a paneled element at the bottom of the doors to emulate early 20th century French doors. Therefore, these alterations meet Standard 9.

The existing nine-foot, six-inch by 23-foot non-historic porch at the north end of the east elevation would be rebuilt, capped by a low-pitched shed roof and three wood

posts. The porch shelters a raised deck. The design of the porch and its materials are consistent in scale, design, and materials with the existing farmhouse. An existing triple window located south of the first-floor door would be replaced with double multi-light French doors accessing the interior of the farmhouse. The triple window would be stored onsite. The existing non-historic glazed door at the north end of the east elevation would be replaced. Provided the new door is a paneled wood type, either glazed in its upper register or solid, these alterations meet Standard 9.

The windows proposed for removal are located on the east elevation that has undergone several alterations, including the addition of a porch and the replacement of a door. Removing the triple window, which is not visually prominent because it is located on a side elevation, would not substantially impair the farmhouse's integrity of design, materials, or workmanship because the majority of the building's remaining historic fenestration would be restored. Therefore, these proposed alterations meet Standard 9.

The area around Fairview Gardens is comprised of single-family suburban style development on the north, south and east sides of the property. During the period of significance (1874 -c. 1930) the acreage was devoted to orchards and some row crops with the original access driveway extending off the south end of the property. Currently, Fairview Garden's open space is comprised of agricultural land, partially bordered by shrubs and trees, all of which postdate the period of significance (1874 - c. 1930). While the acreage no longer retains its integrity of design due to the loss of the orchards and original network of roadways, it does contribute to the setting of the farmhouse.

The construction of the multi-functional service building (barn), learning pavilion, restroom building, farmstand, staff housing, propagation building, equipment storage area, compost facility, small animal enclosure and other improvements would not remove or alter historic landscape features. The layout and placement of the proposed buildings, structures, and hardscape features, which would be located on either side of the main driveway and at the northeast corner of the property is informal and irregular with modest scale and massing, much like the layout of ranch and farm outbuildings characterizing late nineteenth and early 20th century farms in the Goleta Valley. While the barn is at a larger scale than the other proposed buildings, its placement and size is comparable to a large barn once located to the north of the farmhouse. The new buildings' architecture and materials, with their simple reductive detailing, gable and shed roofs, simple forms, corrugated metal, and wood siding draw inspiration from Goleta's surviving late nineteenth through mid-20th century ranch and farm buildings. While new construction is inspired by these earlier architectural forms, it is sufficiently differentiated to create a clear differentiation between the farmhouse and the proposed improvements. Therefore, the proposed Project will not impair the farmhouse's integrity of design, materials, workmanship, feeling or association and meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed improvements, including the rehabilitation of the farmhouse, the new barn, learning pavilion, restroom building, farmstand, staff housing, propagation building, equipment storage area, compost facility, small animal enclosure and other improvements could be removed in the future without impairing the farmhouse or its setting. Therefore, the proposed Project meets Standard 10.

In conclusion, the rehabilitation of the farmhouse would comply with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties.

CEQA Review

California Environmental Quality Act (CEQA) action is not required for a recommendation from the Historic Preservation Commission. The Review Authority will be asked to adopt the CEQA document when the entire project is under consideration.

Zoning and General Plan

The entire Fairview Gardens Project site is zoned "Agricultural." Structures in this zone are required to have a 20-foot property line setback and may not exceed a height of 35 feet. The proposed rehabilitated farmhouse building and associated covered porches would be located more than 20 feet from property lines and would have a maximum height of 24 feet 9 inches. Therefore, the rehabilitation of the farmhouse would be consistent with setbacks and height requirements.

In addition to consistency with the zoning standards, the proposed rehabilitation of the farmhouse is consistent with applicable policies included in the Visual and Historic Resources Element of the City's General Plan/Coastal Land Use Plan. Policies applicable to the Project are evaluated below.

Policy VH 5.5 Alterations to Historic Resources. Any proposed alterations to a designated historic resource or property listed in the City's Historic Resources Inventory shall respect the character-defining features of the building, its setting, and maintain architectural consistency with the original site or structure. Such proposals may require the submittal of an historic evaluation from a recognized professional as part of the design review process, that, depending upon the nature of the proposed alternation, may include review by the Historic Preservation Commission or Design Review Board prior to approval. To encourage rehabilitation, maintenance, and sensitivity in additions and remodels, the City encourages and supports adaptive reuse of structures listed on the Historic Resources Inventory and may consider allowing for flexibility when applying building code regulations, including use of the California Historic Building Code, in order to facilitate the retention of character defining features and maintaining historical significance.

Consistent. The historic resources report concluded that as proposed it would implement and be consistent with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, and that the restoration and reuse of the farmhouse would not impair the designated historic resource. The proposed work to the farmhouse would adaptively reuse the building and extend its functional life of the farmhouse. In addition, the condition of approval requiring a historic preservation treatment plan for the farmhouse be prepared to

guide its rehabilitation, the restoration and adaptive reuse of the farmhouse would respect the character-defining features of the building, maintain architectural consistency, and be consistent with all of the applicable Secretary of the Interior's Standards for Rehabilitation and the City of Goleta Historic Preservation Ordinance.

Policy VH 5.7 New Construction. *Development approved in proximity to an identified historic resource shall respect and be aesthetically compatible with the structures or sites in terms of scale, materials, and character.*

Consistent. The construction of the multi-functional service building (barn), learning pavilion, restroom building, farmstand, staff housing, propagation building, equipment storage area, compost facility, small animal enclosure and other improvements would not remove or alter historic landscape features. The layout and placement of the proposed buildings, structures, and hardscape features, which would be located on either side of the main driveway and at the northeast corner of the property is informal and irregular with modest scale and massing, much like the layout of ranch and farm outbuildings characterizing late nineteenth and early 20th century farms in the Goleta Valley. While the barn is at a larger scale than the other proposed buildings, its placement and size is comparable to a large barn once located to the north of the farmhouse. The new buildings' architecture and materials, with their simple reductive detailing, gable and shed roofs, simple forms, corrugated metal, and wood siding draw inspiration from Goleta's surviving late nineteenth through mid-20th century ranch and farm buildings. While new construction is inspired by these earlier architectural forms, it is sufficiently differentiated to create a clear differentiation between the farmhouse and the proposed improvements. Therefore, the proposed Project will not impair the farmhouse's integrity of design, materials, workmanship, feeling or association.

Findings and Conclusion

The proposed Project is consistent with applicable policies of the City's Visual and Historic Resources Element and complies with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties for the reasons outlined above and in Attachment A. If the HPC does not feel the findings can be made, the item can be continued for additional work by the applicant or the HPC can recommend to the Planning Commission and the other recommending bodies that the Project not be approved after specifying which of the required findings and the reasons why the findings cannot be made.

ATTACHMENTS:

- A. Review Findings
- B. Fairview Gardens Plans
- C. Historic Resources Report for 598 North Fairview Avenue, Post/Hazeltine Associates: October 2024
- D. Farmhouse Department of Parks and Recreation Form

Attachment A

Findings

ATTACHMENT A

Historic Preservation Commission Review Findings Fairview Gardens Farmhouse 598 N. Fairview Avenue (Assessor Parcel Number 069-090-052) Case Nos. 25-0001-CUP; 25-0003-DRB.

The Historic Preservation Commission recommends the following findings as stated in Section 17.33.080(D)(2) of the Goleta Municipal Code:

Section 17.33.080(D)(2)

- A. *The proposed alteration is found to be consistent with any applicable design standards or guidelines adopted by the City Council;*

This finding is not applicable as no design standards or guidelines have been adopted by the City Council at this time.

- B. *In the absence of applicable design standards or guidelines, the proposed alteration is found to be consistent with the relevant Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Based on the evaluation of the project included in the *Historic Resources Report for 598 North Fairview Avenue, prepared by Post/Hazeltine Associated: October 2024 (historic resources report)*, the Project is consistent with the Secretary of Interior's Standards as follows:

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The Goleta Valley, including the Fairview Gardens property, was a prosperous agricultural community during the period of significance (1874 – c. 1930). The main crops of the Goleta Valley were row crops, and orchard crops, including plums and lemon trees. The property was in private ownership until 1997. Ownership of the property transferred to The Center for Urban Agriculture at Fairview Gardens, a non-profit organization. Fairview Gardens is considered by some to be the oldest organic farm in southern California. Further The property will continue to operate by a non-profit organization focused on sustainable agriculture; this use is consistent with the property's original function as an agricultural property with a residential component. The rehabilitation and repair of the farmhouse will allow the building to serve the public while preserving almost all its surviving design features and materials Since the farmhouse will continue to be associated with the onsite farming use, the adaptive reuse and rehabilitation can be found consistent with Standard 1.

Regarding the remaining CUP project components which are not subject to HPC review, the layout of the proposed improvements is informal, which is consistent with the layout of the farm during the period of significance (1874 – c. 1930) when it featured a large outbuilding and a well house near the farmhouse. The outbuilding and well are nonexistent.

Removal of the non-historic outbuildings including the yurts and various sheds and service buildings would enhance the setting of the farmhouse. Therefore, their proposed removal meets Standard 1.

The proposed new construction employs simple rectangular forms, gable and shed roofs, reductive architectural detailing and corrugated metal siding inspired by early to mid-20th century farm building, which will form an appropriate setting for the historic farmhouse. The incorporation of staff housing (not the 2nd floor dwelling proposed within the farmhouse) is supportable because it will be located at the northeast corner of the property and the planting of orchards at the north end of the property will minimize view of the new construction from the historic farmhouse and will not be visible from public vistas such as North Fairview Avenue. Therefore, the Project, which will not impair the historic resource or its setting, meets Standard 1.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

The Project would retain the farmhouse's historic footprint with no additional proposed square footage. Loss of historic design features are confined to a double sash window on the south elevation's first floor and a triple window on the east elevation. While these alterations will remove some historic materials, the farmhouse's remaining historic windows and the front door will be rehabilitated, which provides sufficient examples of these elements to convey their character and type. Therefore, the proposed alterations to the farmhouse meet Standard 2.

Removing buildings and structures postdating the period of significance (1874 - c.1930) would not impair the property's ability to convey its historic associations, appearance, or the setting of the farmhouse. Therefore, this aspect of the Project meets Standard 2.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The Project does not propose adding conjectural features or architectural or decorative elements from other historic properties. Therefore, the Project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

None of the buildings, structures, landscaping, or hardscape features, postdating the period of significance (1874 -c. 1930), have achieved historic significance in their own right. Therefore, Standard 4 does not apply to the Project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Loss of historic building fabric is limited to two sets of windows on the farmhouse. These include a double sash window on the south elevation and a triple window on the east elevation as mentioned previously. After their removal the windows would be stored onsite. While the loss of these windows would remove historic building fabric, sufficient examples of the original windows would remain in-situ to convey the historic character of these architectural features. Therefore, the proposed alterations to the farmhouse meet Standard 5.

Removing non-historic buildings and structures postdating the period of significance (1874 -c.1930) would not impair the property's ability to convey its historic appearance or the setting of the farmhouse. Therefore, this aspect of the Project is farmhouse meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The Project proposes repairs to the farmhouse. These include repairing the existing fenestration, siding, and trim work. A new foundation and roof and framing repairs will also be undertaken. To ensure the repairs meet Standard 6, guidance outlined in the Secretary of the Interior's Preservation Briefs (preservation briefs) shall be implemented in consultation with City of Goleta Planning Staff and a City of Goleta-approved historian. A detailed description of the preservation briefs can be found in the historic resources report included as Attachment C to this staff report.

If historic fabric is too deteriorated to repair, it will be replaced in kind to recreate the original in material (if possible), dimension, and appearance under the guidance of a City-approved architectural historian following the guidance outlined in the preservation briefs. Because the applicant proposes to repair historic fabric and to limit replacements to those materials that are too deteriorated to repair following the guidance in the preservation briefs, the Project would meet Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Currently, the Project does not propose the cleaning or treating of specific elements of the historic building. If such treatments are required, the guidance outlined in the preservation briefs shall be implemented under the guidance of a City of Goleta-approved historian. If this guidance is implemented, the proposed Project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The historic farmhouse and surrounding farm environs are not considered archaeological resources; therefore, this standard does not apply to the Project. As a precaution for the Fairview Gardens site overall, any ground disturbing activities in native soils will be required to have both an archeologist and a native American monitor present.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

This proposed foundation work would meet Standard 9, provided the visible portion of the new foundation is clad in wood slats to match the existing wood slat cladding of the house's raised foundation.

The remodeled porch on the south elevation would feature a 27-foot by 12-foot raised wood deck, steps, new porch posts, and a new shed roof. The existing porch is likely a replacement based on construction methods used. The original wood porch would likely have been raised with steps leading up to a wood porch deck and the front door. If original materials survive, they are likely limited to the porch's beadboard ceiling. The proposed porch design is appropriate because its materials and detailing emulate the materials and design details of a late nineteenth or early twentieth century porch. This alteration would meet Standard 9, provided the detailing of the porch posts emulates motifs common to late 19th and early 20th-century porch posts, which include moldings at the base and top of the posts.

The replacement of a double sash window on the south elevation with a double French door would remove a window that dates to the period of significance (1874 - c. 1930). The doors are proposed to provide a more accessible entry to the farmhouse while preserving the historic front door and its sidelights. The window proposed for replacement would be stored onsite. The design of the proposed French doors is supportable because they are wood, employ a similar glazing pattern as the house's historic windows with three lights across, do not employ sidelights, and have a paneled element at the bottom of the doors to emulate early 20th century French doors. Therefore, these alterations meet Standard 9.

The existing nine-foot, six-inch by 23-foot non-historic porch at the north end of the east elevation would be rebuilt, capped by a low-pitched shed roof and three wood posts. The porch shelters a raised deck. The design of the porch and its materials are consistent in scale, design, and materials with the existing farmhouse. An existing triple window located south of the first-floor door would be replaced with double multi-light French doors accessing the interior of the farmhouse. The triple window would be stored onsite. The existing non-historic glazed door at the north end of the east elevation would be replaced. Provided the new door is a paneled wood type, either glazed in its upper register or solid, these alterations meet Standard 9.

The windows proposed for removal are located on the east elevation that has undergone several alterations, including the addition of a porch and the replacement of a door. Removing the triple window, which is not visually prominent because it is located on a side elevation, would not substantially impair the farmhouse's integrity of design, materials, or workmanship because the majority of the building's remaining historic fenestration would be restored. Therefore, these proposed alterations meet Standard 9.

The area around Fairview Gardens is comprised of single-family suburban style development on the north, south and east sides of the property. During the period of significance (1874 -c. 1930) the acreage was devoted to orchards and some row crops with the original access driveway extending off the south end of the property. Currently, Fairview Garden's open space is comprised of agricultural land, partially bordered by shrubs and trees, all of which postdate the period of significance (1874 - c. 1930). While the acreage no longer retains its integrity of design due to the loss of the orchards and original network of roadways, it does contribute to the setting of the farmhouse.

The construction of the multi-functional service building (barn), learning pavilion, restroom building, farmstand, staff housing, propagation building, equipment storage area, compost facility, small animal enclosure and other improvements would not remove or alter historic landscape features. The layout and placement of the proposed buildings, structures, and hardscape features, which would be located on either side of the main driveway and at the northeast corner of the property is informal and irregular with modest scale and massing, much like the layout of ranch and farm outbuildings characterizing late nineteenth and early 20th century farms in the Goleta Valley. While the barn is at a larger scale than the other proposed buildings, its placement and size is comparable to a large barn once located to the north of the farmhouse. The new buildings' architecture and materials, with their simple reductive detailing, gable and shed roofs, simple forms, corrugated metal, and wood siding draw inspiration from Goleta's surviving late nineteenth through mid-20th century ranch and farm buildings. While new construction is inspired by these earlier architectural forms, it is sufficiently differentiated to create a clear differentiation between the farmhouse and the proposed improvements. Therefore, the proposed Project will not impair the farmhouse's integrity of design, materials, workmanship, feeling or association and meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed improvements, including the rehabilitation of the farmhouse, the new barn, learning pavilion, restroom building, farmstand, staff housing, propagation building, equipment storage area, compost facility, small animal enclosure and other improvements could be removed in the future without impairing the farmhouse or its setting. Therefore, the proposed Project meets Standard 10.

- C. *There is sufficient evidence, including evidence provided by the applicant, that denial of the proposed alteration would cause an immediate hardship because of conditions unique to the specific property.*

As depicted by photos in the historic resources report, the building is deteriorating. Rehabilitation activities proposed by the project include, but are not limited to repairing the existing fenestration, siding, and trim work. A new foundation and roof and framing repairs will also be undertaken. The chimney requires complete replacement with a new foundation, flue, and brickwork. If feasible, existing bricks will be incorporated into the new chimney. The proposed rehabilitation activities would also be conducted in a manner that preserves the historical significance of the building. If historic fabric is too deteriorated to repair it will be replaced in kind to recreate the original in material (if possible), dimension, and appearance under the guidance of a City-approved architectural historian following the guidance outlined in the Secretary of the Interior Preservation Briefs described in the historic resources report. Further delays in conducting the proposed rehabilitation could have the potential to result in accelerated building decay, which could have the potential to jeopardize the ability to restore the building in an economical manner.

Attachment B

Fairview Gardens Plans

Center for Urban Agriculture at Fairview Gardens

598 N. Fairview Ave, Goleta CA 93117

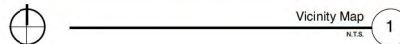
Conditional Use Permit Submittal



295 Palm Ave.
Santa Barbara CA
93101 USA
1 805.857.1315
1 805.857.1317
www.bbaid.com



Aerial of site looking southeast



Vicinity Map
N.T.S. 1

Sheet Index

- architectural**
- A2.0 Cover Sheet
 - A1.0 Survey
 - A1.1 Site Plan
 - A1.2 Existing Ag Support Areas
 - A1.3 Proposed Ag Support Areas
 - A1.4 Existing vs Proposed Ag Support Areas
 - A2.0 3D Views
 - A2.1 Barn Floor and Roof Plan
 - A2.2 Barn Elevations
 - A2.3 Farmhouse Existing Plans
 - A2.4 Farmhouse Proposed Plans
 - A2.5 Farmhouse Existing Elevations
 - A2.6 Farmhouse Proposed Elevations
 - A2.7 Retail Stand Plan
 - A2.8 Retail Stand Elevations
 - A2.9 Staff Housing Plans
 - A2.10 Staff Housing Elevations
 - A2.11 Restroom Building Plans & Elevations
 - A2.12 Education Pavilion Plans & Elevations
- civil**
- 3 Civil Cover Sheet
 - 3 Preliminary Demolition Plan
 - 3 Preliminary Grading Plan
 - 4 Preliminary Utility Plan
 - 4 Preliminary Erosion Control Plan
 - 6 Existing Damage Exhibit
 - 7 Preliminary Stormwater Control Plan

Project Description

The Center for Urban Agriculture at Fairview Gardens is requesting a modification to its Conditional Use Permit. The proposed project consists of ground up construction of multiple structures including a Multi-functional Service Barn, Staff Housing, a Retail Farmstand, and Restroom facilities. The project also includes renovations to the historic existing Farmhouse. Site development includes utility, and hardscape improvements necessary to support the new structures and farm activities.

Scope of Work

- The scope of work for this submittal includes:
- Utility improvements and connections including electrical, water, gas, sewer, phone & DSL, and fire water.
 - General site grading
 - New landscaped hardscape
 - New construction of a single story with mezzanine multi-functional service barn
 - New construction of a single story retail farmstand to replace existing interior modifications and minor exterior modifications to existing historical Farmhouse
 - New construction of single story staff housing of 8 residential units (4 duplex units)
 - New construction of a restroom pavilion
 - New construction of an outdoor education pavilion
 - New construction of 4x6x8 outdoor support frame for storage office use
 - New construction of a new outdoor propagation house

Project Information

Owner: Center for Urban Agriculture at Fairview Gardens
 Project Address: 598 N. Fairview Ave
 Goleta, CA 93117
 Assessor's Parcel Number: 069-090-052

Zone: AG-1.5
 Occupancy: A-2, F-1
 Gross lot area: 332,298 SF
 12.23 acres

Grading	Retail Area:	500 CY CUT / 500 CY FILL
	Farmstand Area:	3,700 CY CUT / 1,600 CY FILL
	Housing Area:	500 CY CUT / 600 CY FILL
	Total:	3,700 CY CUT / 2,700 CY FILL

Parking	Proposed Automobile Parking Spaces	46 (including 2 van-accessible ADA spaces)
	Proposed Bks - Van Drop Off Area	1
	Proposed Bicycle Parking Spaces	24

Project List

Existing Structures to Be Removed	Structure Name	Status	Description / Use	Existing GSF	Proposed GSF	Delta	Historic
	Produce Stand	(E) existing to be removed	farmstand / market	1,265 GSF	0 GSF	+ -1,265 GSF	No
	Yurt	(E) existing to be removed	temporary staff housing	1,725 GSF	0 GSF	+ -1,725 GSF	No
	Accessory Ag Structures (sheds, pergola, chicken/goat pens, propagation/shade structures)	(E) existing to be removed	agricultural uses	2,659 GSF	0 GSF	+ -2,659 GSF	No

Existing Structures to Be Renovated	Structure Name	Status	Description / Use	Existing GSF	Proposed GSF	Delta	Historic
	Farmhouse	(E) existing modified	offices, teaching kitchen, learning zone	2,017 GSF	50 GSF	+ 50 GSF	Y

New Structures	Structure Name	Status	Description / Use	Proposed GSF	Delta	Historic
	Multi-functional Service/Barn	(N) new	agriculture processing facility and educational / gathering space	6,260 GSF	+ 6,260 GSF	N/A
	Retail Farmstand	(N) new	new farmstand / market	2,500 GSF	+ 2,500 GSF	N/A
	Staff Housing	(N) new	modular staff housing	7,240 GSF	+ 7,240 GSF	N/A
	Restroom Pavilion	(N) new	restrooms	370 GSF	+ 370 GSF	N/A
	Education Pavilion	(N) new	outdoor gathering pavilion	730 GSF	+ 730 GSF	N/A
	Support	(N) new	yurt - o foas	115 GSF	+ 115 GSF	N/A
	Support	(N) new	yurt - o foas	115 GSF	+ 115 GSF	N/A
	Propagation House	(N) new	outdoor greenhouse	600 GSF	+ 600 GSF	N/A
	Staff Housing Trash Encl.	(N) new	trash enclosure	90 GSF	+ 90 GSF	N/A

Totals	Total Existing Building Area	7,666 GSF
	Total Existing Building Area to be Removed	5,649 GSF
	Total Existing Building Area to be Renovated	2,017 GSF
	Total New Building Area	18,070 GSF
	Net New Building Area (New minus Existing to be Removed)	12,421 GSF
	Total Building Area (Existing to Remain Plus New)	+ 20,087 GSF

Code Compliance	2021 California Building Code
	2022 California Mechanical Code
	2022 California Plumbing Code
	2022 California Electrical Code
	2022 California Fire Protection Code
	2022 California Energy Code
	2022 California Green Building Code
	Local Jurisdiction Code Amendments

Center for Urban Agriculture at Fairview Gardens

598 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

Revisions

© 2024 Blackbird Architects, Inc.
The design, text and plans represented by these documents are the property of Blackbird Architects, Inc. Use of any of these documents is prohibited without the written permission of Blackbird Architects, Inc.

NOT FOR CONSTRUCTION

Title Sheet

A0.0
CUP Submittal 12.16.24

PROVIDED FOR REFERENCE ONLY

Topographic Survey

A portion of Lots 1, 2 and 3 in the County of Santa Barbara, State of California, as shown on the "Plan of the Portions of the U.S. - Idaho State of Goleta, Santa Barbara County, California, dated September 23, 1858, S. 1858, S. 1858, S. 1858, Survey" filed in the Office of the County Recorder of the County of Santa Barbara, Volume 1, 1858 or Book 1, Page 73 of Maps and Surveys, and identified by corner post located on lot 1.

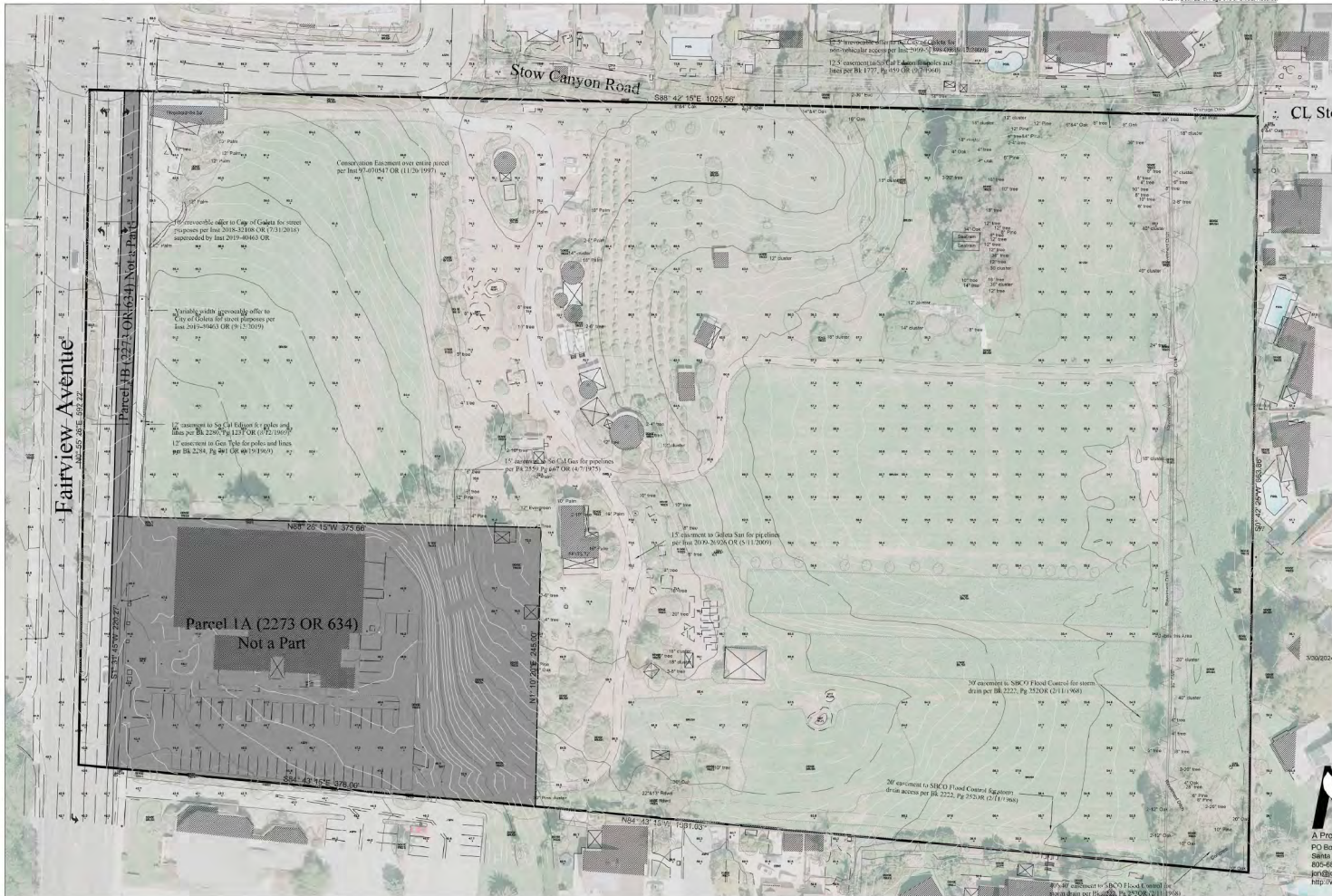
Beginning at the Southeast corner of the tract of land described in the deed from Ephraim Peltier to Beverly A. Hicks, dated January 17, 1974, and recorded in Book 1, Page 238 of Deeds, records of said County, and running thence North 2 degrees, 30 minutes West, along the South line of said tract, 15.17 meters; thence North 88 degrees and 30 minutes West 10.26 meters to the West line of said tract; thence South 88 degrees and 30 minutes West, along said West line 8.96 meters to the Southwest corner of said tract; thence South 88 degrees and 45 minutes East 15.23 meters to the point of beginning.

EXCEPTING THEREFROM those portions thereof described in deed to the County of Santa Barbara recorded June 4, 1980 in Instrument No. 19439 in Book 2473, Page 664 of Official Records.



BENCHMARK
PK Nail & Washer LS 5470
Elev = 75.26'

Via Fiori Lane



Site Information

Owner: Center for Urban Agriculture at Fairview Gardens, a Ca. non-profit public benefit corp.
Address: 598 N. Fairview Ave.
Goleta, CA 93117
APN: 069-090-052
Area: 12.23 acres (Assessor data)
Zoning: AG-5

Surveyor's Statement

This survey was performed by me or under my direction in conformance with the requirements of the Professional Land Surveyor's Act in March, 2024. Elevation shown herein are based on NAVD83 datum determined by GPS observation. Bearings are based on the CSM's horizontal network. Record title information is cited per Fidelity Title Preliminary Title Report F380-4216900 dated September 14, 2020. A complete boundary survey was not performed as part of this survey. Benchmark "Nail & Tag LS 5470 in asphalt intersection of Via Fiori Lane" Elev = 75.26'

4/16/2024

Jon McKellar
PLS 7578



A Professional Land Surveying & Consulting Company

PO Box 244
Santa Maria, CA 93457
805-809-8950 bus.
jon@jonmckellar.com
http://www.jonmckellar.com

Sheet 1 of 1

Center for Urban Agriculture at Fairview Gardens

598 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies are prohibited by contract only. These are a revision of these design plans as authorized without the written permission of Blackbird Architects, Inc.

NOT FOR CONSTRUCTION

Survey

A1.0
CUP Submittal 12.16.24



GENERAL NOTES: SITE PLAN

1. See Civil plans for site demolition, grading, drainage, erosion control, tree protection, and site utilities.
2. Refer to Landscape drawings for hardscape, landscape materials, and features.
3. Refer to Elevations for exterior finishes.
4. Refer to Sections and Details for construction assemblies.
5. Refer to Finish Schedule for interior finishes.
6. Refer to Plumbing, Mechanical, and Electrical drawings for applicable notes and equipment.
7. See Electrical sheets for site electrical.
8. Dimensioning:
- 8.1. All dimensions are to face of stud U.N.C.
- 8.2. Finish floor datum of each BLDG. is not at the same elev.
10. F.F. (Finish floor) refers to top-of-slab or top-of-deck U.N.C.

LEGEND: SITE PLAN

- property line
 - - - setback
 - - - easement
 - - - (E) contour
 - - - (H) contour
 - feature above
 - feature below
 - (E) building area
 - (H) building area
 - asphalt
 - concrete
 - gravel
 - DG
 - mulch
 - crop
- Ag. Crops
Items in blue subject to change seasonally

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

Revisions

© 2014 Blackbird Architects, Inc.
The Goleta Street and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies as permitted by contract only. This without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Site Plan



A1.1

Center for Urban
Agriculture at
Fairview
Gardens

585 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

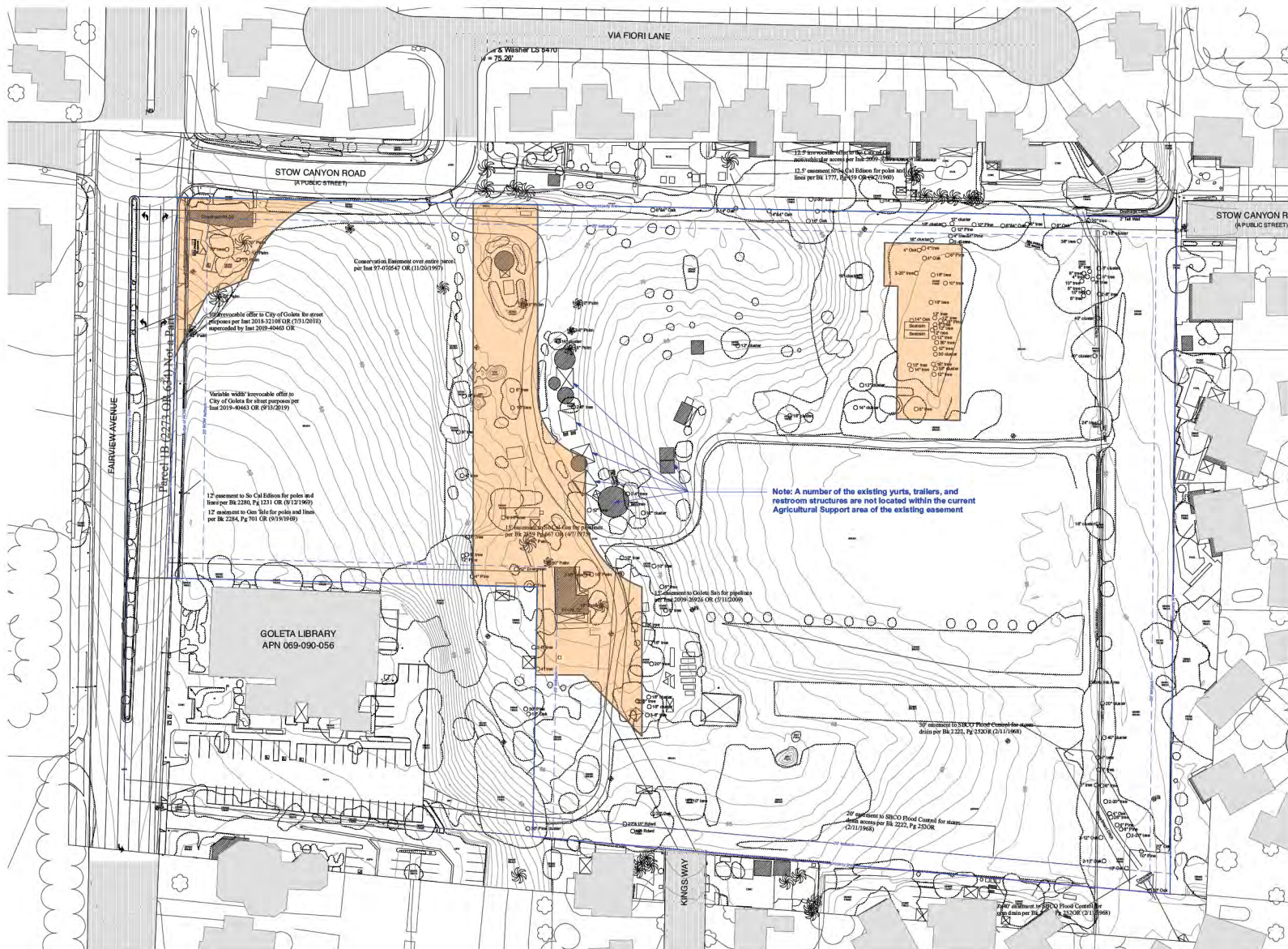
Revisions

© 2014 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use of copies is prohibited by contract only. Title within the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Ag Support Areas

A1.2
CUP Submittal 12.16.24



Per Deed of Agricultural Conservation Easement:

Allowed Agriculture Area Uses Include:

- Buildings use for the production, care or storage of crops and animals raised on the Property
- Paving (concrete, asphalt or gravel) in connection with use of permitted facilities within the Agricultural Support Area
- Paving for ingress or egress for the property as requested.
- Paving with approval of the Land Trust

Allowed Agricultural Support Area Uses Include:

- Housing units for families where at least one member of the family is engaged in the production or sale of the Property's produce and/or in the educational efforts in connection with the property
- Structures and required parking areas for educational purposes related to agriculture
- Sales stands, shops, or other facilities on the Property for the sale to the public.

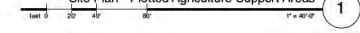
Existing Agriculture Support Areas
per Deed/Lawson record (03/27/1996)

- Northwest Area (total marked) - 21 acres
- Central Ridge Area (Barnhouse and other) - 97 acres
- Northeast Area (Barnier staff housing area) - 28 acres

Total: 144 acres

1.44ac / 16.53ac = 11.8% of site area as Ag Support (12% M)

Site Plan - Plotted Agriculture Support Areas



1

Center for Urban
Agriculture at
Fairview
Gardens

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

Revisions

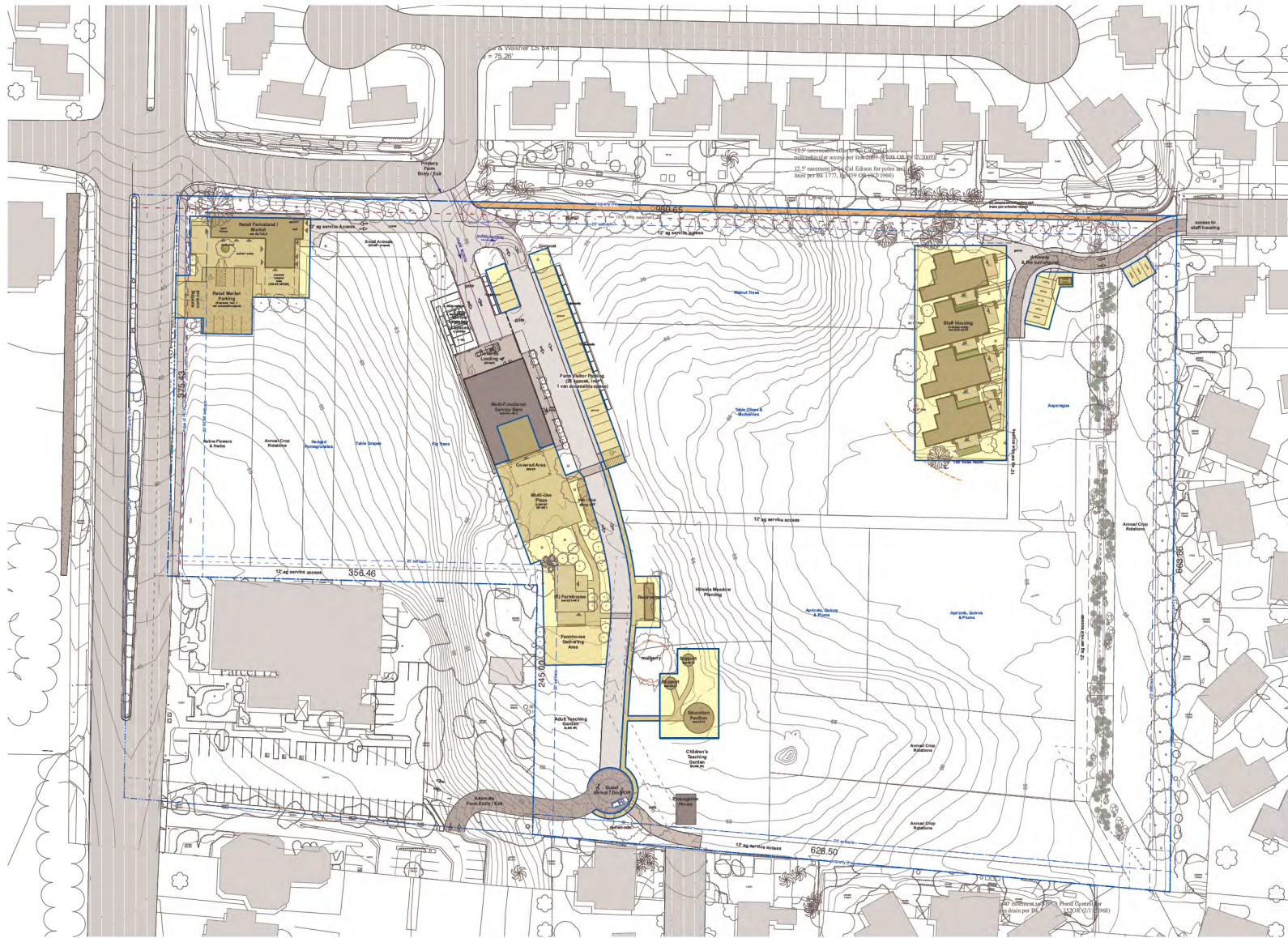
© 2014 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies is prohibited by contract only. These are the results of the design process and are not to be used without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Ag Support Areas

A1.3

5.22.25



Per Deced of Agricultural Conservation Easement:

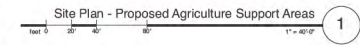
Allowed Agriculture Area Uses Include:

- Buildings use for the production, care or storage of crops and animals raised on the Property
- Paving (concrete, asphalt or gravel) in connection with use of permitted facilities within the Agricultural Support Area
- Paving for ingress or egress for the property as required
- Paving with approval of the Land Trust

Allowed Agricultural Support Area Uses Include:

- Housing units for families where at least one member of the family is engaged in the production or sale of the Property's produce and/or in the educational efforts in connection with the property
- Structures and required parking areas for educational purposes related to agriculture
- Sales stands, shops, or other facilities on the Property for the sale to the public

Proposed Agriculture Support Areas
 • Northwest Area (small market + parking) - 27 acres
 • Central Ridge Area (greenhouse and other) - 89 acres
 • Farmhouse & Gathering + Visitor Parking, Education Pavilion
 & Support Area, Visitor Pathways - parking - 48 acres
 • Northwest Area (staff housing area) - parking - 48 acres
 Total: 144 acres
 1.44ac / 12.28ac = 11.8% of site area as Ag Support (12% MAX)



Site Plan - Proposed Agriculture Support Areas

1

**Center for Urban
Agriculture at
Fairview Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

Revisions

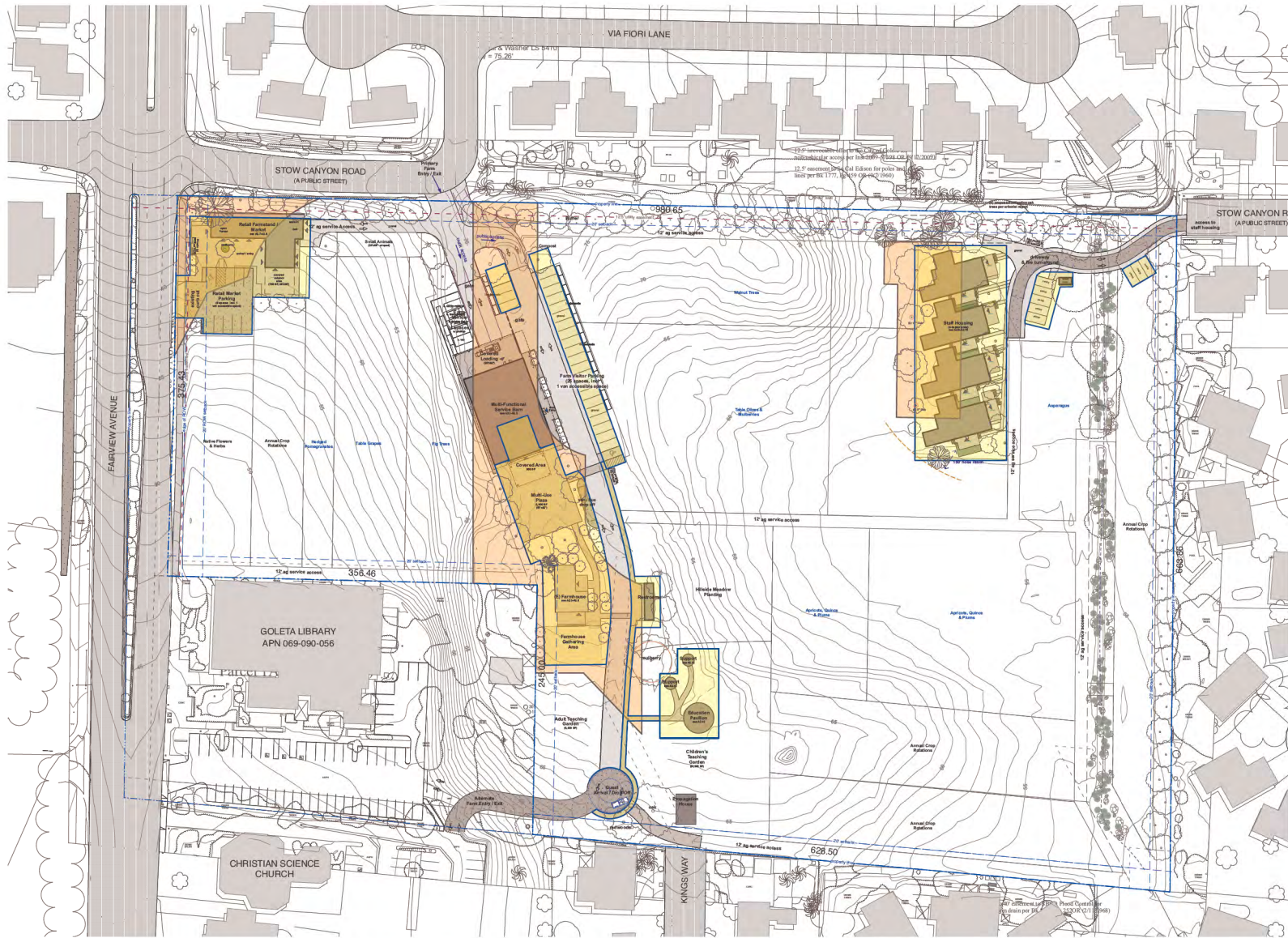
© 2014 Blackbird Architects, Inc.
The Goleta Street and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies are prohibited by contract only. This without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Ag Support Areas

A1.4

5.22.25



Per Deed of Agricultural Conservation Easement:

Allowed Agriculture Area Uses Include:

- Buildings use for the production, care or storage of crops and animals raised on the Property
- Paving (concrete, asphalt or gravel) in connection with use of permitted facilities within the Agricultural Support Area
- Paving for ingress or egress for the property as required
- Paving with approval of the Land Trust

Allowed Agricultural Support Area Uses Include:

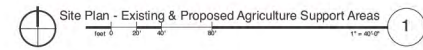
- Housing units for families where at least one member of the family is engaged in the production or sale of the Property's produce and/or in the educational efforts in connection with the property
- Structures and required parking areas for educational purposes related to agriculture
- Sales stands, shops, or other facilities on the Property for the sale to the public

Proposed Agriculture Support Areas

- Northwest Area (retail market + parking) - 27 acres
 - Central Ridge Area (farmhouse and other) - 26 acres
 - Farmhouse & Gathering + Visitor Parking, Education Pavilion
 - Support Area, Visitor Treatment) - 48 acres
 - Northeast Area (staff housing area + parking) - 45 acres
- Total: 144 acres
1.44ac / 12.23ac = 11.8% of site area as Ag Support (12% MAX)

Existing Agriculture Support Areas

- Northwest Area (retail market) - 21 acres
 - Central Ridge Area (farmhouse and other) - 27 acres
 - Northeast Area (former staff housing area) - 26 acres
- Total: 144 acres
1.44ac / 12.23ac = 11.8% of site area as Ag Support (12% MAX)





View of Staff Housing from East 07



Gathering / Education Space at South Side of Multi-Purpose Service Barn 06



Renovated Historic Farmhouse East Elevation 05



Renovated Historic Farmhouse South (Front) Elevation 04



View of Multi-Purpose Service Barn From Northwest 03



Street View of Retail Farm Stand from Fairview Avenue (Looking East) 02



Site Aerial from Northwest 01

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-000-052

Revisions

© 2014 Blackbird Architects, Inc.
The design ideas and plans represented by these
documents are the property of Blackbird Architects,
Inc. Use of copies is prohibited by contract only. They
may be reviewed on these plans or plans as authorized
without the written permission of Blackbird
Architects, Inc.

NOT FOR
CONSTRUCTION

3D Views

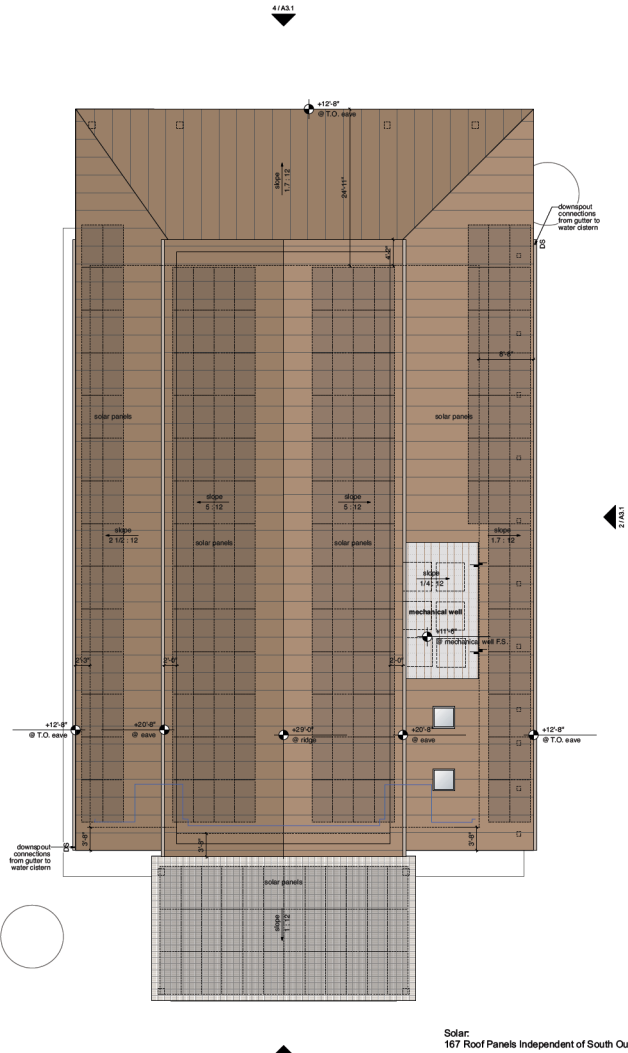
A2.0
CUP Submittal 12.16.24

GENERAL NOTES: ROOF PLAN

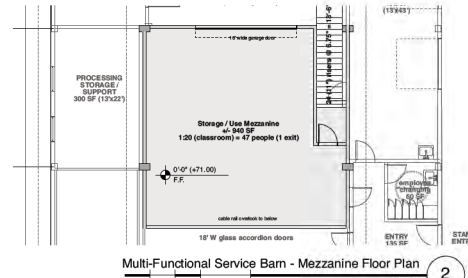
- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing, and Electrical applicable notes, equipment and vents.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.O.
2) all T.O. Roof elevations are to top of corrugated metal panel, U.N.O.
3) refer to Sections for Top Plate and Beam heights.
- E. Roof pitch for roof covering per 2022 CBC Chapter 16.
- F. Provide minimum slope of 1/4" per 1' for all roof eaves.
- G. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- H. Valley flashings are to conform to CRC R307.5.3.
- I. Roof gutters are to conform to CRC R307.5.4.
- J. Installation of metal roof panels shall comply with CRC R306.10.
- K. Installation of single ply roofing shall comply with CRC R306.
- L. Enclosed roof eaves and roof soffit are to comply with CRC R307.5.5.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.

LEGEND: ROOF PLAN / DECK

- feature below
- standing seam con-ten metal roof with roofing system below (Class A)
- single ply roofing membrane, color to match door/window frames (Class A)
- corrugated weathered steel roof
- metal gutter, painted to match fascia
- downspout, painted to match fascia or wall
- DS
- skylight
- roof drain & roof drain overflow
- solar panels (20'-12" x 81'-12" @350W ea)



Multi-Functional Service Barn Roof Plan 3



Multi-Functional Service Barn - Mezzanine Floor Plan 2

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for structural notes.
- F. Refer to Scope of Work for hardscape, landscape materials, and features.
- G. Install moisture resistant G.W.B. on all walls in bathrooms, and rooms subject to wet conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.O.
2) door/corner or near intersections of perpendicular walls are located 4" from face of stud to face of panel U.N.O.
3) Switches shall be placed centered at 36" AFF and 4" from door jamb or corner, U.N.O.
4) Cornerpiece receptacle shall be placed centered at 12" AFF or 9" above counter top, U.N.O.
- J. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- K. See Scope of Work for Window and Door Types and Schedules.

LEGEND: FLOOR PLAN

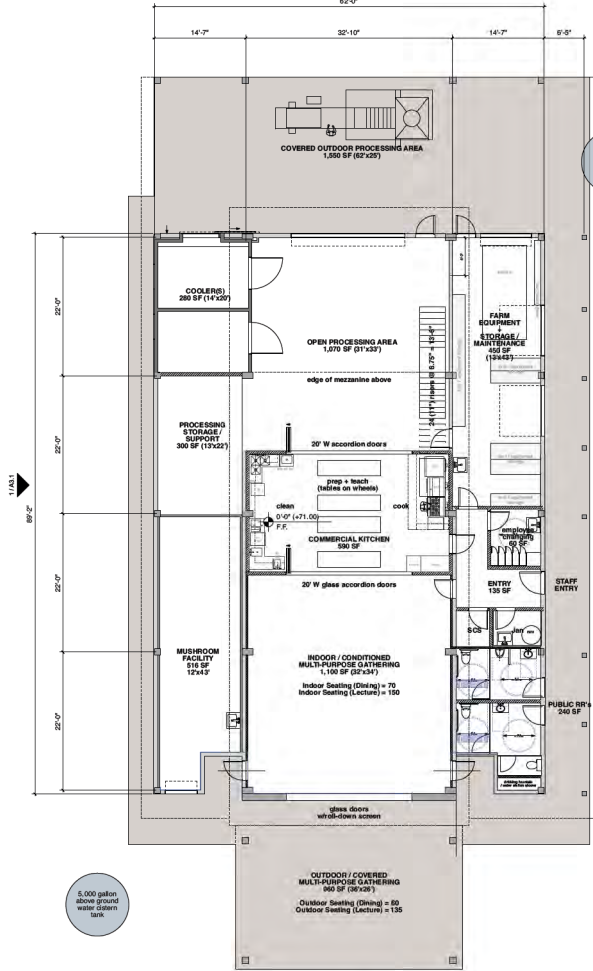
- movable furniture
- feature below
- feature above
- column (see Structural)
- downspout

WALL TYPE LEGEND: FLOOR PLAN

- 4" metal stud wall
- 6" metal stud wall
- 4" EPS panel wall
- 6.5" EPS panel wall
- glt with insulation, finishes per elevations A3.X, thickness per plan

LEGEND: FLOOR PLAN

- movable furniture
- feature below
- feature above
- built-in cabinetry, full height, coordinate w/ interior elevations
- built-in cabinetry, low height, coordinate w/ interior elevations
- column (see Structural)



Multi-Functional Service Barn Floor Plan 1

Service Barn Area Gross Area (excluding exterior wall)

5,290 SF = Conditioned 1st Floor Area

970 SF = Mezzanine

6,260 SF = Total Building Area

Covered Outdoor Use Areas:

1,550 SF = Covered Outdoor Processing Area

960 SF = Multi-Purpose Gathering Space

2,510 SF = Total Covered Outdoor Use Area

Center for Urban Agriculture at Fairview Gardens

588 N. Fairview Ave.
Goleta, CA 93117

APN # 069-000-052

Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copy is prohibited without written permission of Blackbird Architects, Inc.

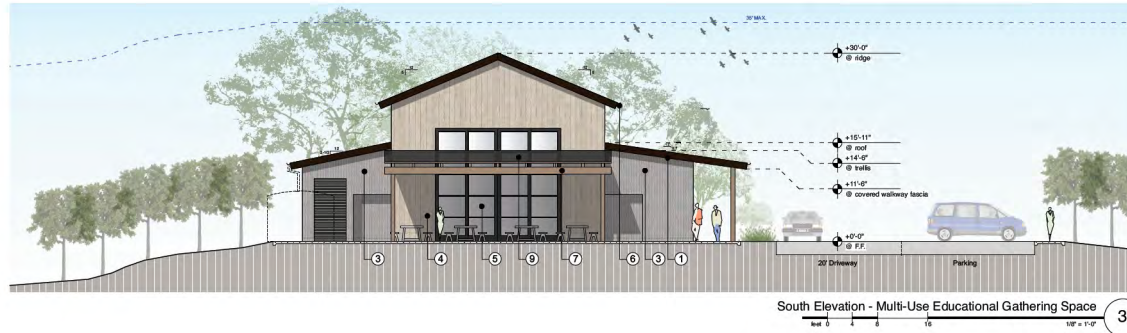
NOT FOR CONSTRUCTION

Barn First Floor & Roof Plan

A2.1
CUP Submittal 12.16.24



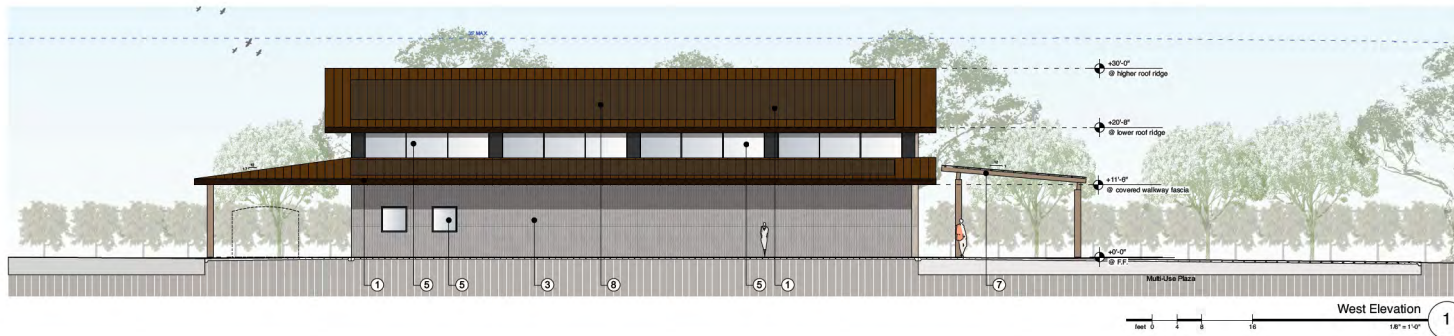
North Elevation - Packing, Processing, & Distribution 4



South Elevation - Multi-Use Educational Gathering Space 3



East Elevation 2



West Elevation 1

EXTERIOR FINISH SCHEDULE

- 1 Roofing / Fascia
standing seam metal roof (steel). A gtrition resistant weathered steel dark brown color, metal fascia to match roof color
- 2 Pleaser Wall
smooth plaster, integral color
- 3 Galvanized Corrugated Metal Siding
- 4 Wood Siding
reclaimed barn wood
- 5 Windows and Doors
clear a notched aluminum frame, ultra-clear insulated glazing
- 6 Gutters & Downspouts
painted steel metal gutter / downspouts (match roofing color)
- 7 Steel Trills
painted, dark brown color
- 8 Future Solar Panels
roof-mounted
- 9 Future Bifacial Solar Panels
balls-mounted, low slope, weather bearing
- 10 Wood Trills
stained aka skars yellow cedar, dark brown color to match steel trills

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Gardena, CA 90247
069-090-062

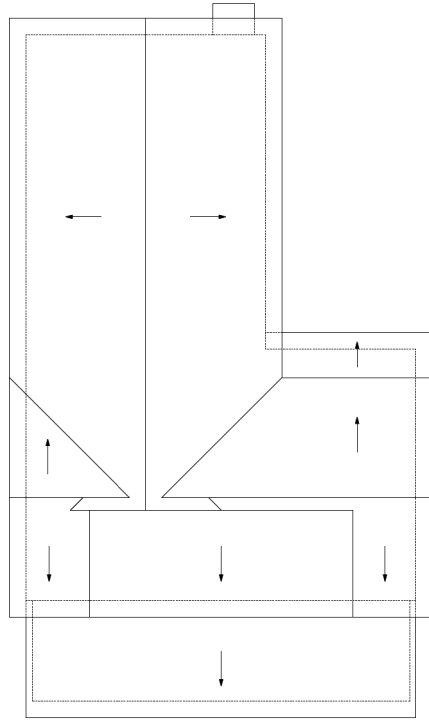
Revisions

© 2023 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copy is prohibited by contract only. The use or reproduction of these ideas or plans is prohibited without the written permission of Blackbird Architects, Inc.

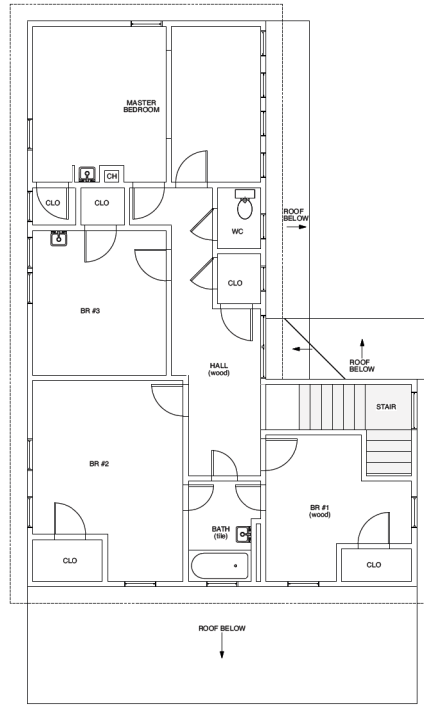
NOT FOR
CONSTRUCTION

Service Barn
Elevations

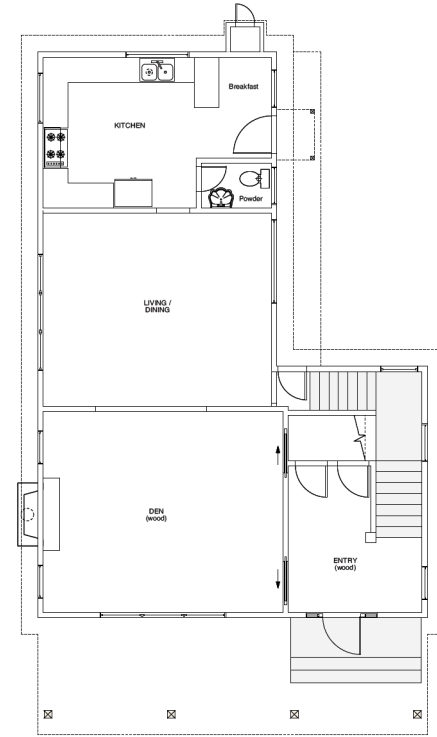
A2.2
CUP_Submittal 12.16.2024



Existing Farm House Roof Plan 3
1/4" = 1'-0"



Existing Farm House Plan 2
1/4" = 1'-0"



Existing Farm House Plan 1
1/4" = 1'-0"

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work, for Mechanical, Plumbing, and Electrical applicable notes, equipment and vents.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.O.
2) all F.O. Roof elevations are to top of corrugated metal panel, U.N.O.
3) refer to Section for Top Plate and Beam heights.
- E. Roof pitch for roof covering per 2002 CBC Chapter 19.
- F. Provide minimum slope of 1/4" per 1'-0" for all crickets.
- G. F.F. drain floor refers to top-of-finish-floor or top-of-finish-Deck U.N.O.
- H. Valley flashings are to conform to CRC R937.5.3.
- I. Roof gutters are to conform to CRC R937.5.4.
- J. Installation of metal roof panels shall comply with CRC R996.10.
- K. Installation of single ply roofing shall comply with CRC R996.
- L. Enclosed roof eaves and roof eave soffits are to comply with CRC R957.7a.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for hardware, landscape materials, and features.
- G. Local moisture resistant (L.M.R.) on all walls in bathrooms, and rooms subject to wet conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete wall or Cast U.N.O.
2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
3) doors at corners, switches, controls, and outlets:
1) Refer to Scope of Work
2) Switches shall be placed centered at 50" AFF and 48" from jamb to corner U.N.O.
3) Conventional receptacles shall be placed centered at 12" AFF or 2" above countertop U.N.O.
4) F.F. (Finish floor) refers to top-of-finish-floor or top-of-finish-Deck U.N.O.
- J. See Scope of Work for Window and Door Types and Schedules.

**Center for Urban
Agriculture at
Fairview
Gardens**

598 N. Fairview Ave.
Goleta, CA 93117
APN # 069-000-052

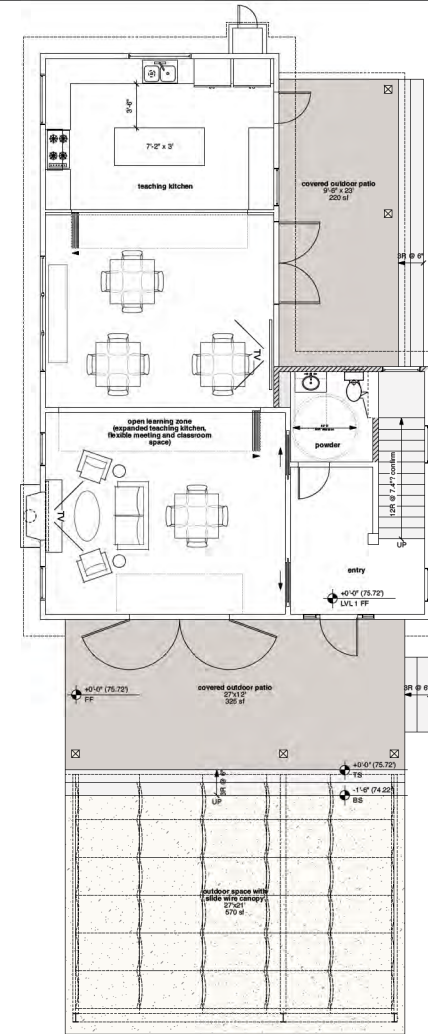
Revisions

© 2014 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use of copies is prohibited by contract only. The use of materials on these plans is planned without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

**Farmhouse Existing
Plans**

A2.3
CUP Submittal 12.16.24



Proposed Farm House Plan 1
1/4" = 1'-0" 1

WALL TYPE LEGEND: FLOOR PLAN

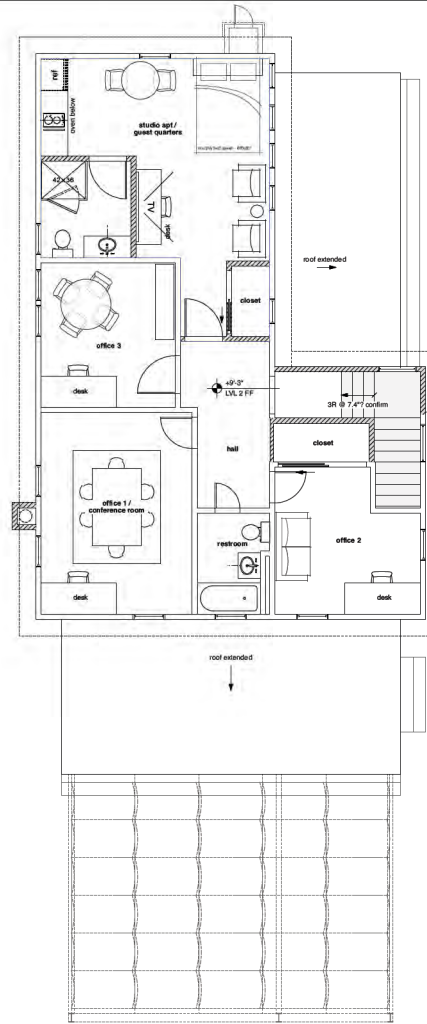
- (E) wall
- (N) wood stud wall

LEGEND: FLOOR PLAN

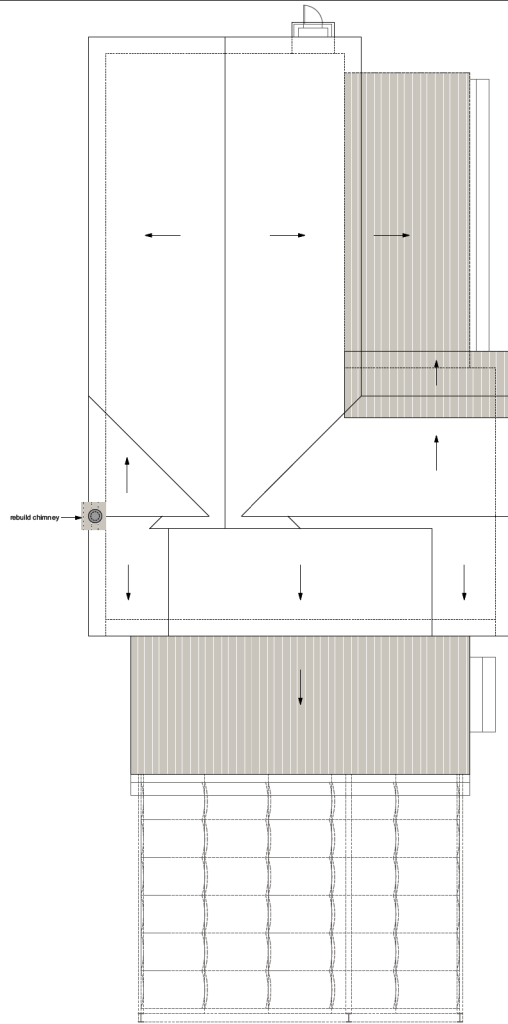
- movable furniture
- feature below
- feature above
- built-in cabinetry, full height, coordinate w/ interior elevations
- built-in cabinetry, low height, coordinate w/ interior elevations
- column (see Structural)
- rain chain, see details 4.B, 12/16.5
- downspout
- wood flooring
- site concrete
- site DG or gravel

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for landscape, landscape materials, and features.
- G. Install moisture resistant D.M.B. on all walls in bathrooms, and rooms subject to wet conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.O.
2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- I. Electrical receptacles, switches, outlets, and outlets.
1) Refer to Scope of Work
2) Switches shall be placed centered at 36" AFF and 4" from floor jamb or corner U.N.O.
3) Convenience receptacles shall be placed centered at 17" AFF or 4" above counter-top U.N.O.
- J. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
See Scope of Work for Window and Door Types and Schedules.
- K.



Proposed Farm House Plan 2
1/4" = 1'-0" 2



Proposed Farm House Roof Plan
1/4" = 1'-0" 3

LEGEND: ROOF PLAN / DECK

- feature below
- metal gutter, painted to match fascia or wall
- downspout, painted to match fascia or wall
- DS
- RC
- rain chain, see details 4.B, 12/16.5
- vent penetration through roof, see Roof Details, see Mechanical and Plumbing drawings
- existing roof to remain as is
- new roof - shingles to match existing

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing, and Electrical applicable notes, equipment and vents.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.O.
2) all T.O. Roof elevations are to top of corrugated metal panel U.N.O.
3) refer to Sections for Top Plates and Beam heights.
- E. Roof pitch for roof covering per 2022 CBC Chapter 15.
- F. Provide minimum slope of 1/4" per 1'-0" for all roof sections.
- G. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- H. Valley flashings are to conform to CRC R337.5.3.
- I. Roof gutters are to conform to CRC R337.5.4.
- J. Installation of metal roof panels shall comply with CRC R306.10.
- K. Installation of single ply roofing shall comply with CRC R306.
- L. Enclosed roof eaves and roof soffit are to comply with CRC R337.5.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.



**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Gillette, CA 93117
069-090-062

Revisions

© 2023 Blackbird Architects, Inc.
The design ideas and plans represented by these
documents are the property of Blackbird Architects,
Inc. Use or copy is prohibited by contract only. The
use of these documents in whole or in part is prohibited
without the written permission of Blackbird
Architects, Inc.

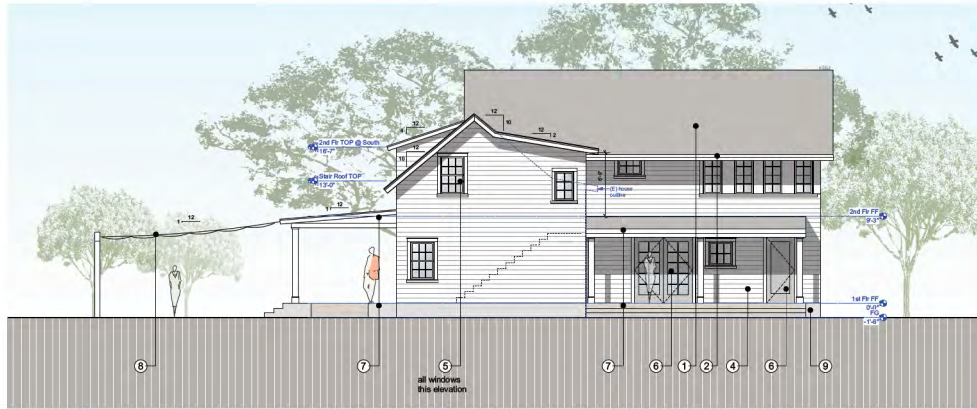
NOT FOR
CONSTRUCTION

**Farmhouse Elevations
Existing**

A2.5
CUP_Submittal 12.16.2024

EXTERIOR FINISH SCHEDULE

- 1 Roofing
new asphalt shingle roofing
- 2 Gutters & Downspouts
painted/aluminum metal gutter / downspouts
white
- 3 Chimney
replaced brick chimney
- 4 Walls - Existing Rehabilitated Wood Siding, Painted
select wood siding, repaired and/or replaced to kind
to match existing, painted
- 5 Existing Windows and Doors
maintained / restored wood windows & doors
- 6 New Windows and Doors
Kohle Heritage Series wood windows & doors
- 7 New Entry Porch & Porch Roof
new exterior front porch (existing not original)
concrete porch foundation & slab,
porch wood columns, rafters, balustrade, painted
- 8 New Slide Wire Shade Canopy
cables and slide wire canopy for shade
wood columns and beam painted
- 9 New Foundation
new concrete perimeter stemwall foundation



Proposed East Elevation 4
3/16"=1'-0"



Proposed North Elevation 3
3/16"=1'-0"



Proposed West Elevation 2
3/16"=1'-0"



Proposed South Elevation 1
3/16"=1'-0"

Center for Urban
Agriculture at
Fairview
Gardens

588 N. Fairview Ave.
Goleta, CA 93017
069-090-062

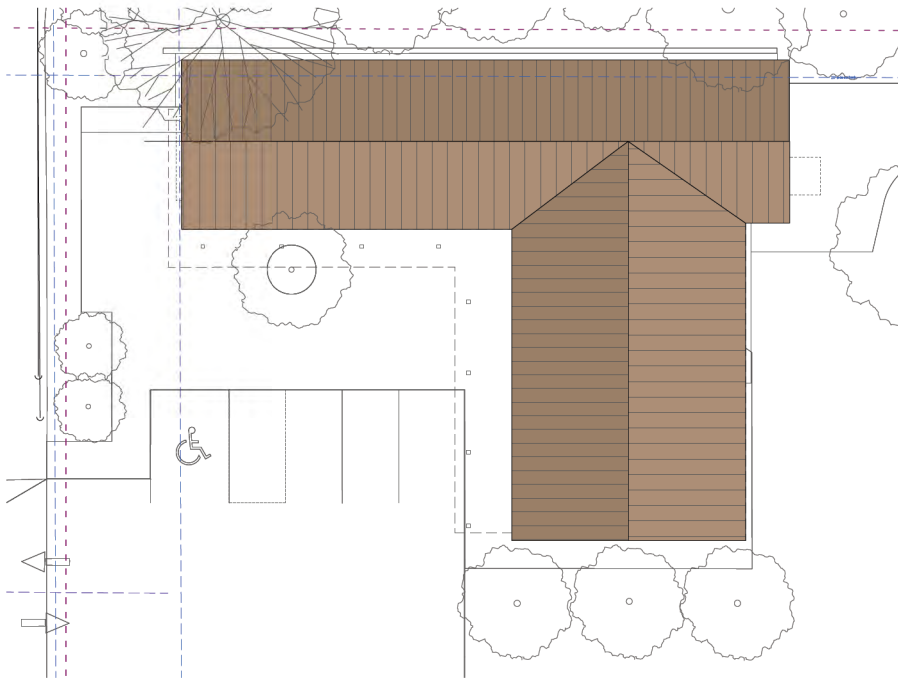
Revisions

© 2023 Blackbird Architects, Inc.
The design ideas and plans represented by these
drawings are the property of Blackbird Architects,
Inc. Use or copy is prohibited by contract only. The
use of these drawings without the express permission of Blackbird
Architects, Inc.

NOT FOR
CONSTRUCTION

Farmhouse Elevations
Proposed

A2.6
CUP Submittal 12.16.2024



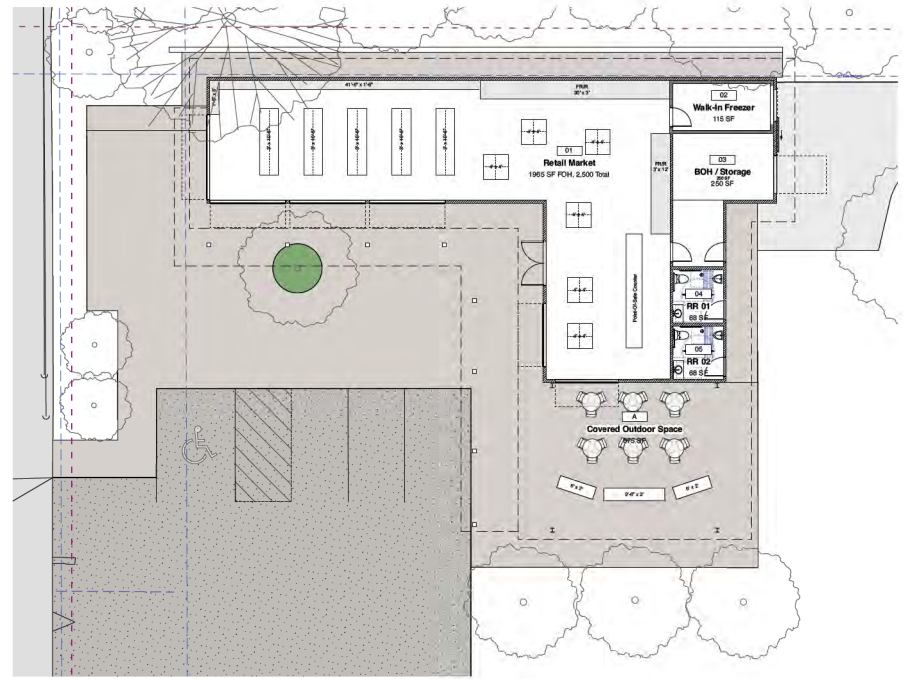
Proposed Retail Stand Roof Plan 2

LEGEND: ROOF PLAN / DECK

- feature below
- standing seam on-ten metal roof with roofing system below (Class A)
- single-ply roofing membrane, color to match door/window frames (Class A)
- corrugated weathered steel roof
- metal gutters, painted to match fascia
- downspout, painted to match fascia or wall
- skylight
- roof drain & roof drain overflow
- solar panels (39'-12" x 81'-12" @350W ea)

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing, and Electrical applicable notes, equipment and wires.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.O.
2) all T.O. Roof elevations are top of corrugated metal panel, U.N.O.
3) refer to Sections for Top Plate and Beam heights.
- E. Roof pitch for roof covering per 2022 CBC Chapter 15.
- F. Provide minimum slope of 1/4" per 1'-0" for all roof drains.
- G. F.F. (finish floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- H. Valley flashings are to conform to CRC R337.5.3.
- I. Roof gutters are to conform to CRC R337.5.4.
- J. Installation of metal roof panels shall comply with CRC R906.10.
- K. Installation of single-ply roofing shall comply with CRC R906.
- L. Embossed roof eaves and roof eaves so fits are to comply with CRC R337.7.6.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.



Proposed Retail Stand Floor Plan 1

LEGEND: FLOOR PLAN

- movable furniture
- feature below
- feature above
- built-in cabinetry, full height, coordinate w/ interior elevations
- built-in cabinetry, low height, coordinate w/ interior elevations
- column (see Structural)
- rail chain, see details 4.8, 10/A&S
- downspout
- wood boosing
- site concrete
- site DG or gravel

WALL TYPE LEGEND: RETAIL STAND

- 6.5" EPS panel wall
- 2x6 wood stud wall

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for exterior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for Finishes, landscape materials, and features.
- G. Install moisture resistant G.W.B. on all walls in conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.O.
2) doors in corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
3) Corner-castings shall be provided centered at 12" AFF or 6" above counter-top, U.N.O.
- I. Electrical receptacles, switches, controls, and outlets:
1) Refer to Scope of Work
2) switches shall be ground-faulted at 90" AFF and 4" from door jamb or corner, U.N.O.
3) Corner-castings shall be provided centered at 12" AFF or 6" above counter-top, U.N.O.
- J. F.F. (finish floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- K. See Scope of Work for Window and Door Types and Schedules.

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-000-052

Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copy is prohibited by contract only. The use of materials or these details or plans is prohibited without the written permission of Blackbird Architects, Inc.

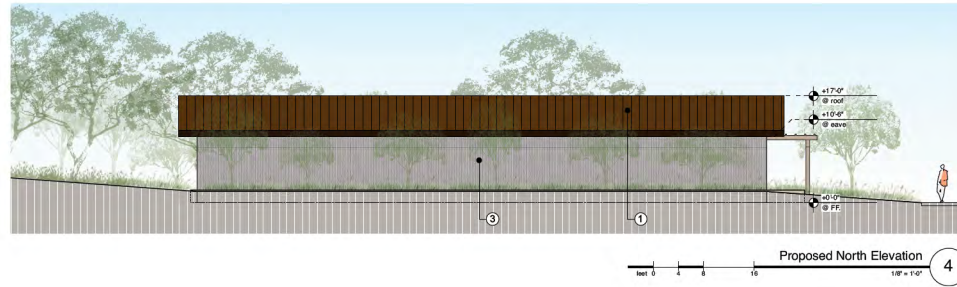
NOT FOR
CONSTRUCTION

Retail Stand Plan

A2.7
CUP Submittal 12.16.24

EXTERIOR FINISH SCHEDULE

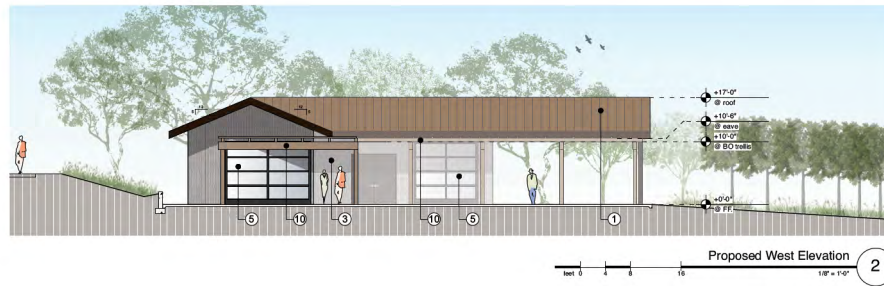
- 1 Roofing / Fascia
standing seam metal roof (less A ignition resistant)
weathered steel dark brown color, metal fascia to
match roof color
- 2 Plaster Wall
smooth plaster, integral color
- 3 Galvanized Corrugated Metal Siding
- 4 Wood Siding
reclaimed barn wood
- 5 Windows and Doors
clear anodized aluminum frame,
ultra-clear insulating glass
- 6 Gutters & Downspouts
painted steel metal gutter / downspouts
(match roofing color)
- 7 Steel Trellis
painted, dark brown color
- 8 Future Solar Panels
roof-mounted
- 9 Future Bifacial Solar Panels
trellis-mounted, low slope, weather bearing
- 10 Wood Trellis
stained alaskan yellow cedar, dark brown color to
match steel trellis



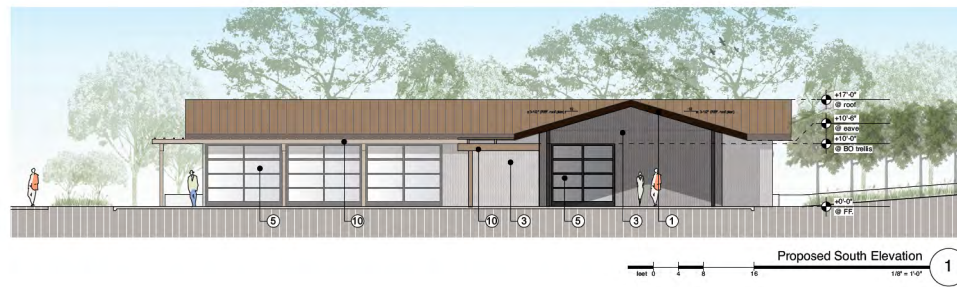
Proposed North Elevation 4



Proposed East Elevation 3



Proposed West Elevation 2



Proposed South Elevation 1

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
069-090-062

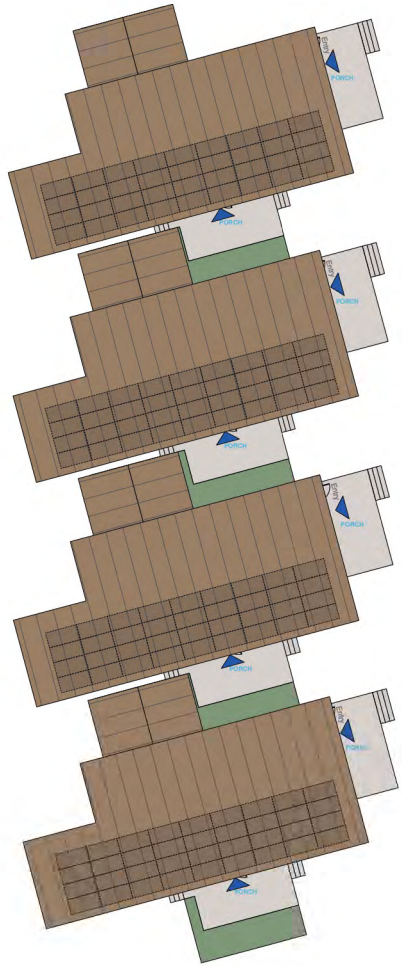
Revisions

© 2023 Blackbird Architects, Inc.
The design ideas and plans represented by these
documents are the property of Blackbird Architects,
Inc. Use or copy is prohibited by contract and law. The
use of these documents in any form or for any purpose
without the written permission of Blackbird
Architects, Inc.

NOT FOR
CONSTRUCTION

Retail Stand Elevations

A2.8
CUP_Submittal 12.16.2024



Staff Housing Proposed Roof Plans (3)

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing, and Electrical applicable notes, equipment and vents.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.D.
2) all T.O. Roof elevations are to top of corrugated metal panel U.N.D.
3) refer to sections for Top Plate and Beam heights.
- E. Roof pitch for roof covering per 2022 CBC Chapter 16.
- F. Provide minimum slope of 1/4" per 1'-0" for all roof pitches.
- G. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-brickwork U.N.D.
- H. Valley flashings are to conform to CRC R337.5.3.
- I. Roof gables are to conform to CRC R337.4.
- J. Installation of metal roof panels shall comply with CRC R603.10.
- K. Installation of single ply roofing shall comply with CRC R603.10.
- L. Enclosed roof eaves and roof eave soffits are to comply with CRC R523.7.6.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.

LEGEND: ROOF PLAN / DECK

- In Scope for RFSI Bid
- - - Out of Scope for RFSI Bid
- feature below
- standing seam con-ten metal roof, with roofing system below (Class A)
- single ply roofing membrane, color to match door/window frames (Class A)
- corrugated weathered steel roof
- metal gutter, painted to match fascia
- downspout, painted to match fascia or wall
- skylight
- roof drain & roof drain overflow
- solar panels (39'-1 1/2" x 81'-1 1/2" @ 350W ea)



EIGHT UNIT (4 Duplex) CONFIGURATION
(8) 2 Bd, 2 Ba Units

8 Total Units, 16 Bedrooms, 16 Bathrooms, 8 Kitchens

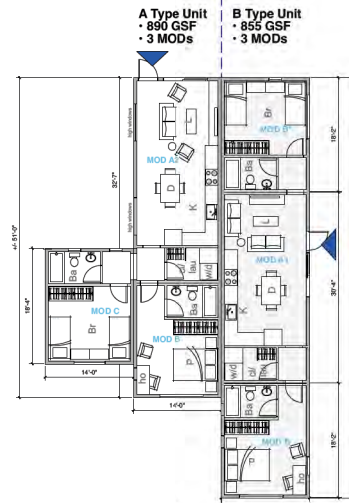
Staff Housing Proposed Plans (2)

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation A2.3 for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for landscape, landscape materials, and features.
- G. Install medium weight G.W.B. on all walls in bathrooms, and rooms subject to wet conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.D.
2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of brick U.N.D.
- I. Electrical receptacles, switches/controls, and outlets:
1) Refer to Scope of Work
2) switches shall be placed centered at 38" AFF and 18" from trim to corner U.N.D.
3) Convenience receptacles shall be placed centered at 12" AFF or 0" above counter-top, U.N.D.
- J. F.F. (Finish Floor) refers to top-of-finish-floor or top-of-brick U.N.D.
- K. See Scope of Work for Window and Door Types and Schedules.

LEGEND: FLOOR PLAN

- moveable furniture
- feature below
- built-in cabinetry, full height, coordinate w/ interior elevations
- built-in cabinetry, low height, coordinate w/ interior elevations



DUPLEX CONFIGURATION
• 1,810 GSF / Duplex
• 7,240 GSF Total
• 3 MOD Types Total for All 8 Units

Staff Housing Proposed Plans (1)

**Center for Urban
Agriculture at
Fairview
Gardens**

598 N. Fairview Ave.
Goleta, CA 93117
APN # 069-000-052

Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies of these documents is prohibited without the written permission of Blackbird Architects, Inc.

NOT FOR
CONSTRUCTION

Staff Housing Plans

A2.9
CUP Submittal 12.16.2024

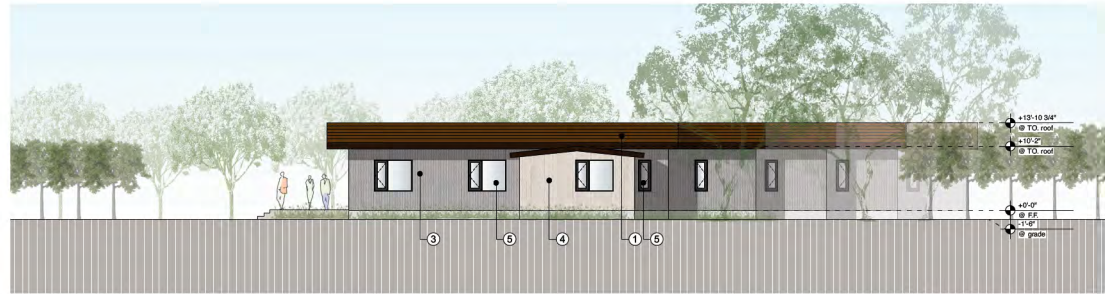
EXTERIOR FINISH SCHEDULE

- 1 Roofing / Facade
standing seam metal roof (less A ignition resistant)
weathered steel dark brown color, metal fascia to
match roof color
- 2 Plaster Wall
smooth plaster, integral color
- 3 Galvanized Corrugated Metal Siding
- 4 Wood Siding
reclaimed barn wood
- 5 Windows and Doors
clear anodized aluminum frame,
ultra-clear insulated glass
- 6 Gutters & Downspouts
prefinished steel metal gutter / downspouts
(match roofing color)
- 7 Steel Trusses
painted, dark brown color
- 8 Future Solar Panels
roof-mounted
- 9 Future Bifacial Solar Panels
trails-mounted, low slope, weather bearing
- 10 Wood Trusses
stained alaskan yellow cedar, dark brown color to
match steel truss



Proposed South Elevation

4



Proposed North Elevation

3



Proposed West Elevation

2



Proposed East Elevation

1

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Galesburg, CA 93017
069-090-062

Revisions

© 2023 Blackbird Architects, Inc.
The design ideas and plans represented by these
documents are the property of Blackbird Architects,
Inc. Use or copy is prohibited by contract only. The
use of these documents from those of Blackbird Architects,
Inc. without the written permission of Blackbird
Architects, Inc.

NOT FOR
CONSTRUCTION

Staff Housing
Elevations

A2.10
CUP_Submittal 12.16.2024



SOUTH



WEST

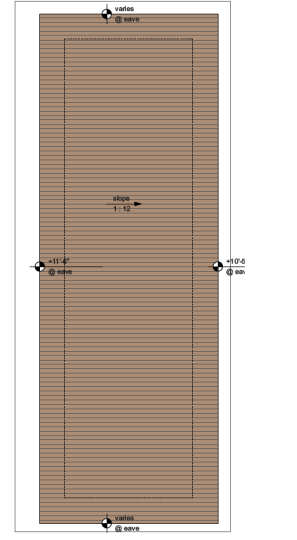


NORTH

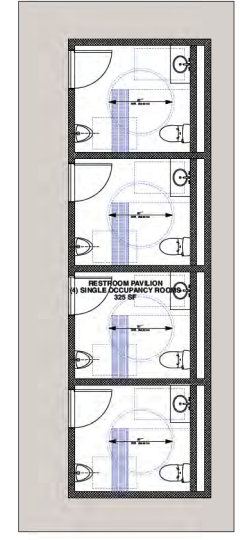


EAST

Restroom Pavilion Elevations
3/16" = 1/8" 3



Proposed Retail Stand Roof Plan
1/4" = 1'-0" 2



Proposed Restroom Pavilion Floor Plan
1/4" = 1'-0" 1

EXTERIOR FINISH SCHEDULE

- 1 Roofing / Fascia
standing seam metal roof (class A ignition resistant)
weathered steel dark brown color, metal fascia to
match roof color
- 2 Plaster Wall
smooth plaster, integral color
- 3 Galvanized Corrugated Metal Siding
- 4 Wood Siding
scalified barn wood
- 5 Windows and Doors
clear anodized aluminum frame,
attractive finished glass
- 6 Gutters & Downspouts
galvanized sheet metal gutter / downspouts
match roofing color
- 7 Steel Trellis
painted, dark brown color
- 8 Future Solar Panels
roof-mounted
- 9 Future Bifacial Solar Panels
to be mounted, low slope, weather bearing
- 10 Wood Trellis
mained alaskan yellow cedar, dark brown color to
match steel trellis

LEGEND: ROOF PLAN / DECK

- feature below
- standing seam cor-ten metal roof, with
roofing system below (Class A)
- single ply roofing membrane,
color to match door/window frames (Class
A)
- corrugated weathered steel roof
- metal gutter, painted to match fascia
color
- downspout, painted to match fascia or wall
color
- DS
- skylight
- roof drain & roof drain overflow
- solar panels (36-1/2" x 81-1/2" @350W ea)

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing,
and Electrical applicable notes, equipment and
vents.
- D. Dimensioning:
1) all dimensions are to face of stud U.N.O.
2) all T.O. Roof elevations are to top of corrugated
metal panel U.N.O.
3) refer to Sections for Top Plate and Beam heights.
- E. Roof pitch for roof covering per 2022 CBC Chapter
10.
- F. Provide minimum slope of 1/4" per 1'-0" for all roof
details.
- G. F.F. (Finish floor) refers to top-of-Finish-floor or
top-of-Finish-deck U.N.O.
- H. Valley flashings are to conform to CRC R337.5.3.
- I. Roof gutters are to conform to CRC R337.5.4.
- J. Installation of metal roof panels shall comply with
CRC R306.10.
- K. Installation of single ply roofing shall comply with
CRC R306.
- L. End-of-roof eaves and roof eave soffits are to
comply with CRC R337.5.
- M. Maximum roof panel lengths shall be provided where
possible to allow single panels to span entire roof
slope.

LEGEND: FLOOR PLAN

- movable furniture
- feature above
- feature above
- built-in cabinetry, full height,
coordinate w/ interior elevations
- built-in cabinetry, low height,
coordinate w/ interior elevations
- column (see Structural)
- rain chain, see details 4.8, 12/04.5
- wood flooring
- site concrete
- site DG or gravel

WALL TYPE LEGEND: RESTROOM PAVILION

- CMU block wall

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction
assemblies.
- D. Refer to Scope of Work for Plumbing,
Mechanical, and Electrical applicable notes and
equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for landscape,
landscape materials, and features.
- G. Install moisture resistant G.W.B. on all walls in
bathrooms, and rooms subject to wet
conditions.
- H. Dimensioning:
1) all dimensions are to face of stud, concrete
wall or CMU U.N.O.
2) doors at corners or near intersections of
perpendicular walls are located 4" from face of
stud to face of jamb U.N.O.
- I. Electrical receptacles, switches/controls, and
outlets:
1) Receptacles shall be placed centered at 36" AFF
and 4" from door jamb or corner U.N.O.
2) Conventione receptacle shall be placed
centered at 12" AFF or 6" above countertop,
U.N.O.
- J. F.F. (Finish floor) refers to top-of-Finish-floor or
top-of-Finish-deck U.N.O.
- K. See Scope of Work for Window and Door Types
and Schedules.

**Center for Urban
Agriculture at
Fairview
Gardens**

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-090-052

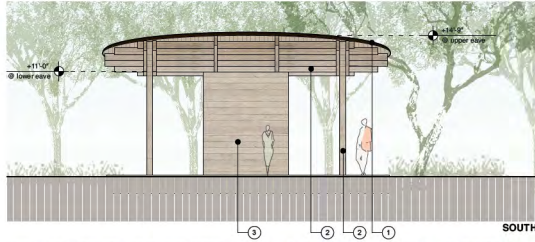
Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these
documents are the property of Blackbird Architects,
Inc. Use or copy is prohibited by contract only. The
use of materials or items shown in plans is prohibited
without the written permission of Blackbird
Architects, Inc.

NOT FOR
CONSTRUCTION

Restroom Pavilion

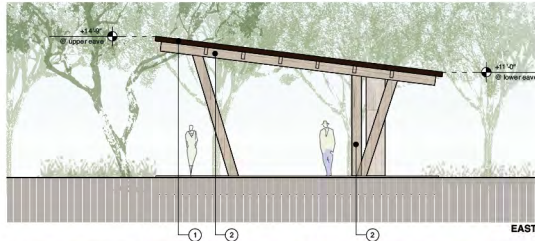
A2.11
CUP Submittal 12.16.24



SOUTH



NORTH



EAST



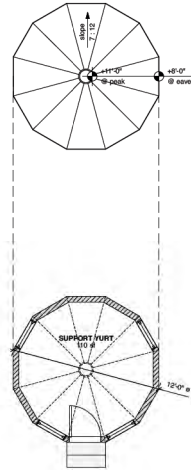
WEST

Education Pavilion Elevations

4

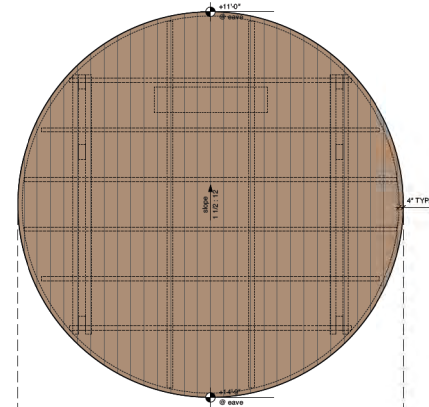
EXTERIOR FINISH SCHEDULE

- 1 Roofing / Facia standing seam metal roof (Class A lightning resistant) weathered steel dark brown color, metal fascia to match roof color
- 2 Heavy Timber Framing heavy timber to match wood siding
- 3 Wood Siding reclaimed barn wood



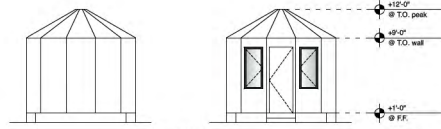
Support Yurt Plan

2



Education Pavilion

1



SIDE / BACK

FRONT

Support Yurt Elevations

3

LEGEND: ROOF PLAN / DECK

- feature below
- standing seam corrugated metal roof with roofing system below (Class A)
- single ply roofing membrane, color to match door/window frames (Class A)
- corrugated weathered steel roof
- metal gutters, painted to match fascia
- downspout, painted to match fascia or wall
- skylight
- roof drain & roof drain overflow
- solar panels (3P 12" x 81 1/2" @ 250W ea)

GENERAL NOTES: ROOF PLAN

- A. Refer to Scope of Work for construction assemblies.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for Mechanical, Plumbing, and Electrical applicable notes, equipment and vents.
- D. Dimensioning: 1) all dimensions are to face of stud U.N.O. 2) all T.O. roof reactions are to top of corrugated metal panel U.N.O. 3) refer to Section for Tie Plate and Beam heights.
- E. Rigid purlin for roof covering per 2022 CBC Chapter 15.
- F. Provide minimum slope of 1/4" per 1'-0" for all roof eaves.
- G. FF (Finish Floor) refers to top-of-finish-floor or roof-deck U.N.O.
- H. Valley flashings are to conform to CRC R207.5.5.
- I. Roof gutters are to conform to CRC R207.5.4.
- J. Installation of metal roof panels shall comply with CRC R205.10.
- K. Installation of single ply roofing shall comply with CRC R206.
- L. Enclosed roof eaves and roof eave soffits are to comply with CRC R207.5.6.
- M. Maximum roof panel lengths shall be provided where possible to allow single panels to span entire roof slope.

LEGEND: FLOOR PLAN

- movable furniture
- feature below
- feature above
- built-in cabinetry, full height, coordinate w/ interior elevations
- built-in cabinetry, low height, coordinate w/ interior elevations
- column (see Structural)
- rain chain, see details 4.8, 12/2A.5
- downspout
- wood flooring
- site concrete
- site DG or gravel

WALL TYPE LEGEND: RESTROOM PAVILION

- CMU block wall

GENERAL NOTES: FLOOR PLAN

- A. Refer to Scope of Work for interior finishes.
- B. Refer to Elevation sheets for exterior finishes.
- C. Refer to Scope of Work for construction assemblies.
- D. Refer to Scope of Work for Plumbing, Mechanical, and Electrical applicable notes and equipment.
- E. Refer to Scope of Work for Structural notes.
- F. Refer to Scope of Work for landscape, landscape materials, and features.
- G. Install moisture resistant G.W.B. on all walls in bathrooms, and rooms subject to wet conditions.
- H. Dimensioning: 1) all dimensions are to face of stud, concrete wall or CMU U.N.O. 2) doors at corner or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- I. Electrical receptacles, switches/controls, and outlets: 1) Refer to Scope of Work 2) Switches shall be placed centered at 3P AFF and 4" from door jamb or corner U.N.O. 3) Cover and/or receptacles shall be placed centered at 1/2" AFF or 6" above countertop U.N.O.
- J. FF (Finish Floor) refers to top-of-finish-floor or top-of-roof-deck U.N.O.
- K. See Scope of Work for Window and Door Types and Schedules.

Center for Urban Agriculture at Fairview Gardens

588 N. Fairview Ave.
Goleta, CA 93117
APN # 069-000-052

Revisions

© 2024 Blackbird Architects, Inc.
The design ideas and plans represented by these documents are the property of Blackbird Architects, Inc. Use or copies of these documents is prohibited without the written permission of Blackbird Architects, Inc.

NOT FOR CONSTRUCTION

Education Pavilion and Yurts

A2.12
CUP Submittal 12.16.24

PRELIMINARY SITE IMPROVEMENT PLANS

FAIRVIEW GARDENS

598 N. FAIRVIEW AVENUE

CITY OF GOLETA, CALIFORNIA



VICINITY MAP
NOT TO SCALE

SHEET INDEX	
SHEET NO.	GENERAL DESCRIPTION
1	COVER SHEET
2	PRELIMINARY DEMOLITION PLAN
3	PRELIMINARY GRADING PLAN
4	PRELIMINARY UTILITY PLAN
5	PRELIMINARY EROSION CONTROL PLAN
6	EXISTING DRAINAGE EXHIBIT
7	PRELIMINARY STORMWATER CONTROL PLAN

IMPORTANT NOTICE

ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR IS TO NOTIFY UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO STARTING ANY EXCAVATION OR RESURFACING.

CALL TOLL FREE 1-800-422-4133

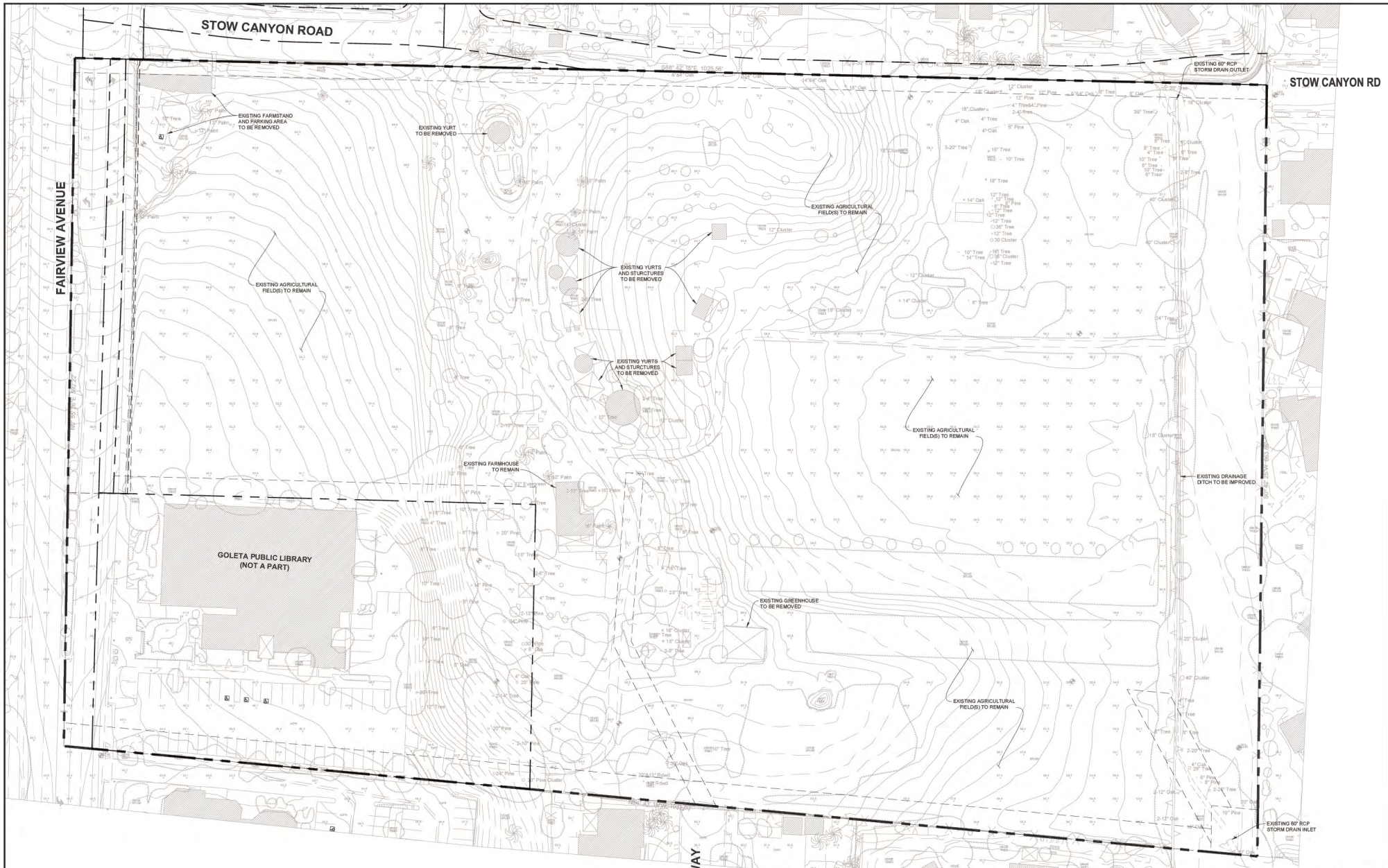
COVER SHEET
FAIRVIEW GARDENS
598 N. FAIRVIEW AVE.
CITY OF GOLETA, CALIFORNIA



FLOWERS & ASSOCIATES, INC.
 115 W. Canon Perdido Street
 Santa Barbara, CA 93101
 Telephone (805) 965-2224

PRELIMINARY
NOT FOR CONSTRUCTION DATE: _____





IMPORTANT NOTICE
 ALL UTILITY LOCATIONS ARE APPROXIMATE
 CONTRACTOR IS TO NOTIFY UNDERGROUND
 SERVICE ALERT TWO WORKING DAYS PRIOR
 TO STARTING ANY EXCAVATION OR REBUR-
 FACING.
 CALL TOLL FREE 1-800-422-4133

PRELIMINARY DEMOLITION PLAN

FAIRVIEW GARDENS
 598 N. FAIRVIEW AVE.
 CITY OF GOLETA, CALIFORNIA



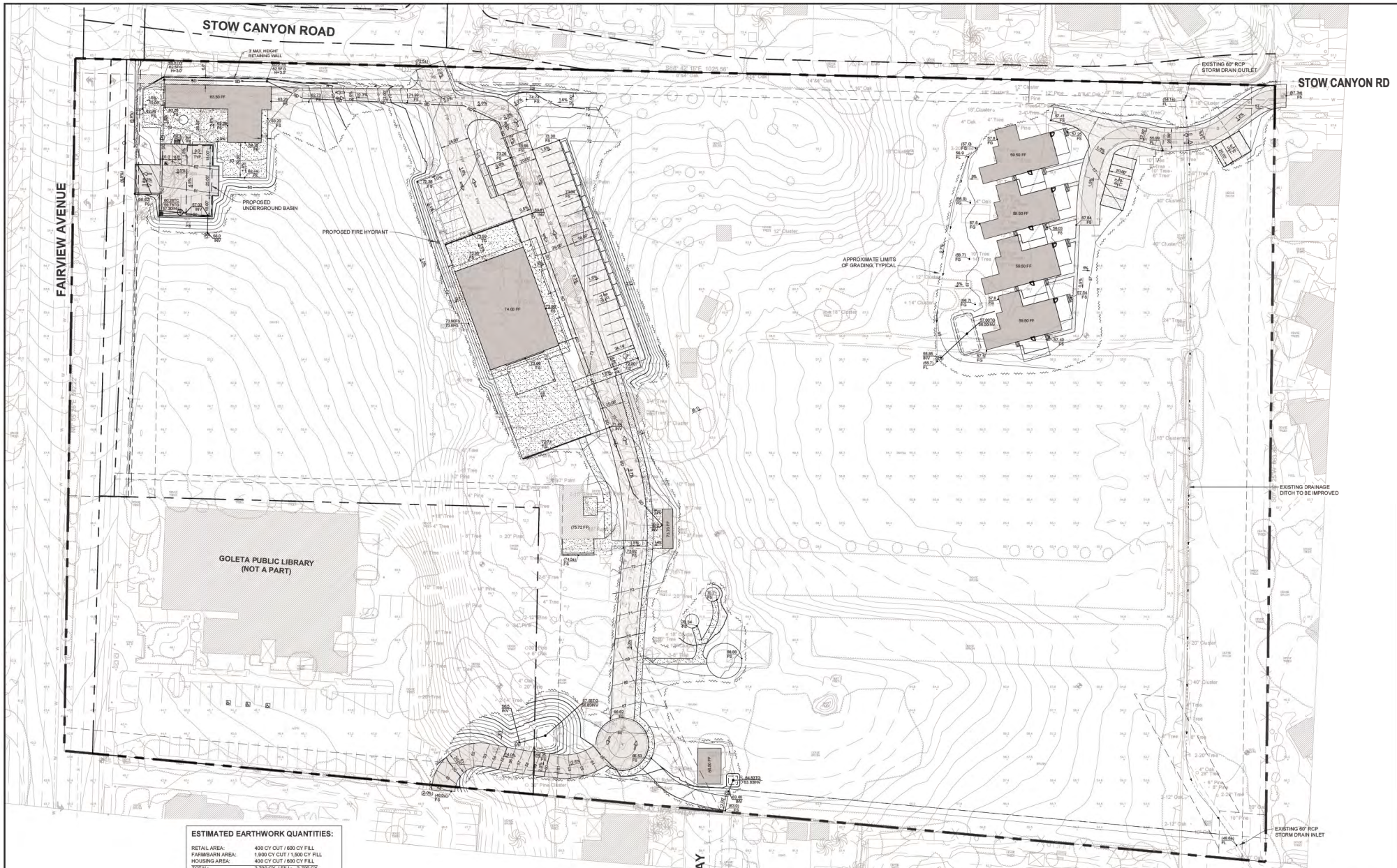
FLOWERS & ASSOCIATES, INC.
 115 W. Canon Perdido Street
 Santa Barbara, CA 93101
 Telephone (805) 968-2224



SCALE: 1"=30'
 GRAPHIC SCALE
 0 30 60 90

PRELIMINARY
 NOT FOR CONSTRUCTION DATE:

PLOTTED: Tuesday, May 20, 2025 3:30:43 PM



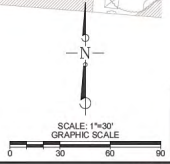
ESTIMATED EARTHWORK QUANTITIES:

RETAIL AREA: 400 CY CUT / 1600 CY FILL
 FARM/RAIN AREA: 1,900 CY CUT / 1,500 CY FILL
 HOUSING AREA: 400 CY CUT / 600 CY FILL
 TOTAL: 2,700 CY / FILL: 3,700 CY

NOTE: SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISH GRADES OR PAVEMENT SUBSURFACES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES.

CONTRACTOR SHALL ACCEPT OR CONFIRM EXISTING TOPOGRAPHIC INFORMATION, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORTS AND MAKE HIS OWN INTERPRETATIONS AND CONCLUSIONS WITH RESPECT THERETO, AND SHALL PERFORM AN INDEPENDENT EARTHWORK ESTIMATE ON WHICH TO BASE HIS BID. ONCE GRADING IS STARTED, THE TOPOGRAPHIC INFORMATION HAS BEEN ACCEPTED BY CONTRACTOR.

IMPORTANT NOTICE
 ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR IS TO NOTIFY UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO STARTING ANY EXCAVATION OR RESURFACING.
 CALL TOLL FREE 1-800-422-4133



PRELIMINARY GRADING PLAN

FAIRVIEW GARDENS
 598 N. FAIRVIEW AVE.
 CITY OF GOLETA, CALIFORNIA

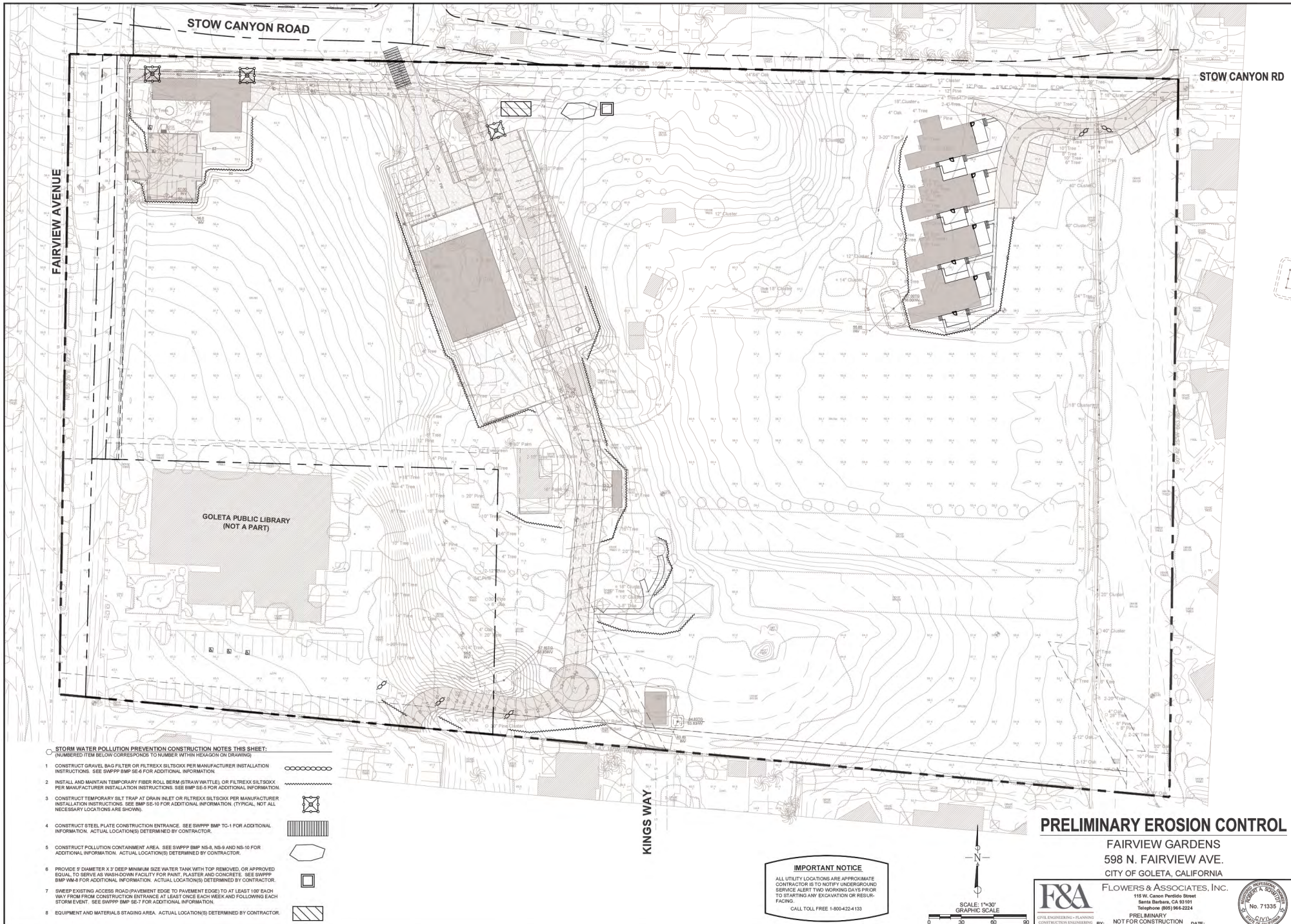
F&A FLOWERS & ASSOCIATES, INC.
 CIVIL ENGINEERING - PLANNING
 CONSTRUCTION ENGINEERING
 115 W. Canon Perdido Street
 Santa Barbara, CA 93101
 Telephone: (805) 964-2244



PRELIMINARY
 NOT FOR CONSTRUCTION DATE: _____

PLOTTED: Tuesday, May 20, 2025 3:30:46 PM

23146_01 PRELIMINARY GRADING DWG W.O. 23146

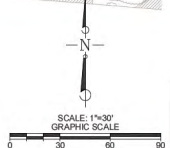


STORM WATER POLLUTION PREVENTION CONSTRUCTION NOTES THIS SHEET:

- 1. CONSTRUCT GRAVEL BAG FILTER OR FILTRIX SILTBOX PER MANUFACTURER INSTALLATION INSTRUCTIONS. SEE SWPPP BMP SE-4 FOR ADDITIONAL INFORMATION.
- 2. INSTALL AND MAINTAIN TEMPORARY FIBER ROLL BERM (STRAW MATTLE) OR FILTRIX SILTBOX PER MANUFACTURER INSTALLATION INSTRUCTIONS. SEE BMP SE-5 FOR ADDITIONAL INFORMATION.
- 3. CONSTRUCT TEMPORARY SILT TRAP AT DRAIN INLET OR FILTRIX SILTBOX PER MANUFACTURER INSTALLATION INSTRUCTIONS. SEE BMP SE-10 FOR ADDITIONAL INFORMATION. (TYPICAL, NOT ALL NECESSARY LOCATIONS ARE SHOWN).
- 4. CONSTRUCT STEEL PLATE CONSTRUCTION ENTRANCE. SEE SWPPP BMP TC-1 FOR ADDITIONAL INFORMATION. ACTUAL LOCATION(S) DETERMINED BY CONTRACTOR.
- 5. CONSTRUCT POLLUTION CONTAINMENT AREA. SEE SWPPP BMP NS-8, NS-9 AND NS-10 FOR ADDITIONAL INFORMATION. ACTUAL LOCATION(S) DETERMINED BY CONTRACTOR.
- 6. PROVIDE 5' DIAMETER X 3' DEEP MINIMUM SIZE WATER TANK (WITH TOP REMOVED, OR APPROVED EQUAL TO SERVE AS WASH-DOWN FACILITY FOR PAINT, PLASTER AND CONCRETE. SEE SWPPP BMP WM-8 FOR ADDITIONAL INFORMATION. ACTUAL LOCATION(S) DETERMINED BY CONTRACTOR.
- 7. SWEEP EXISTING ACCESS ROAD (PAVEMENT EDGE TO PAVEMENT EDGE) TO AT LEAST 100' EACH WAY FROM FROM CONSTRUCTION ENTRANCE AT LEAST ONCE EACH WEEK AND FOLLOWING EACH STORM EVENT. SEE SWPPP BMP SE-7 FOR ADDITIONAL INFORMATION.
- 8. EQUIPMENT AND MATERIALS STAGING AREA. ACTUAL LOCATION(S) DETERMINED BY CONTRACTOR.



IMPORTANT NOTICE
 ALL UTILITY LOCATIONS ARE APPROXIMATE
 CONTRACTOR IS TO NOTIFY UNDERGROUND
 SERVICE ALERT TWO WORKING DAYS PRIOR
 TO STARTING ANY EXCAVATION OR REBUR-
 FACING.
 CALL TOLL FREE 1-800-422-4133

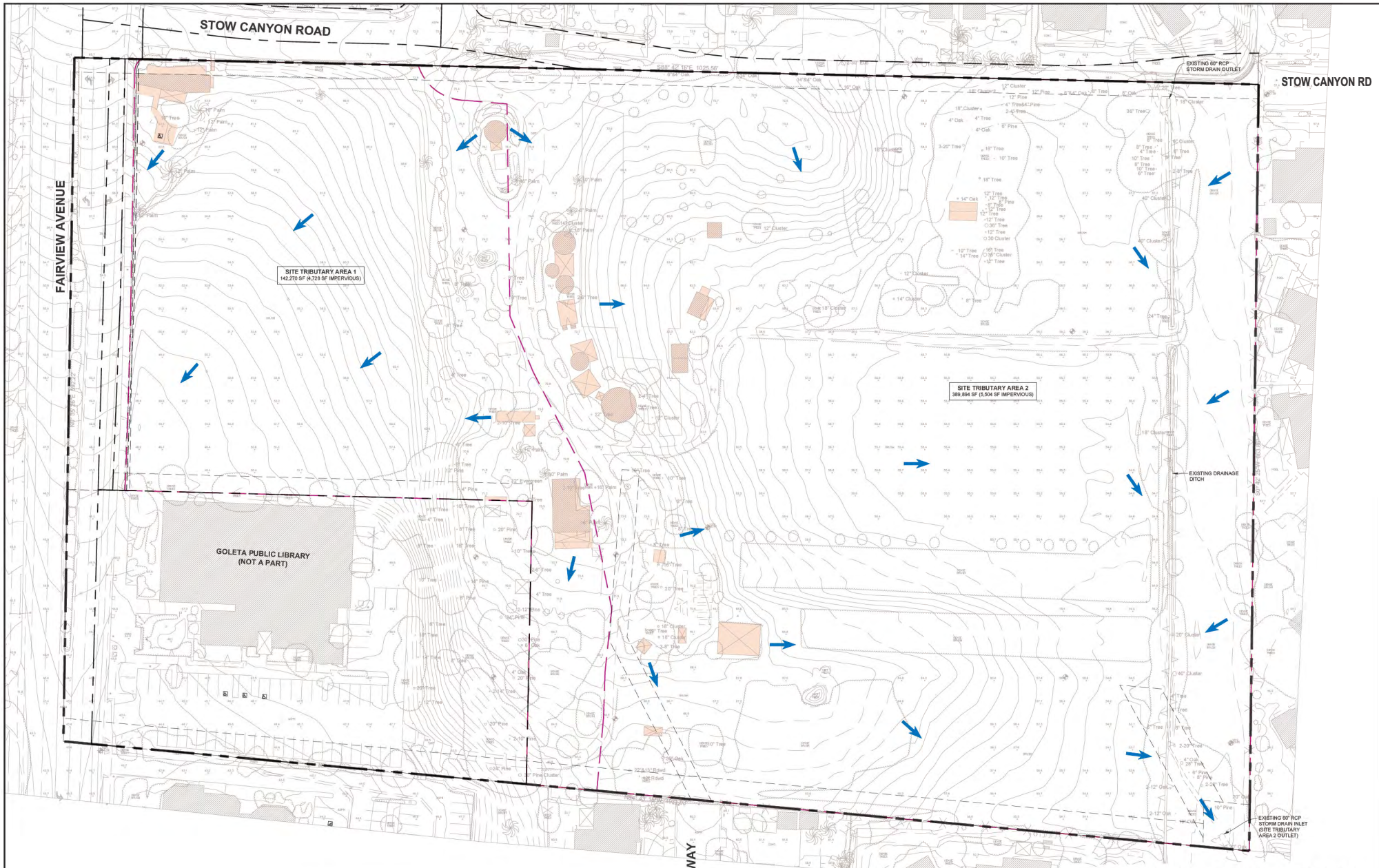


PRELIMINARY EROSION CONTROL

FAIRVIEW GARDENS
 598 N. FAIRVIEW AVE.
 CITY OF GOLETA, CALIFORNIA

F&A FLOWERS & ASSOCIATES, INC.
 CIVIL ENGINEERING - PLANNING
 CONSTRUCTION ENGINEERING
 115 W. Canon Perido Street
 Santa Barbara, CA 93101
 Telephone (805) 964-2224
 PRELIMINARY
 NOT FOR CONSTRUCTION DATE: _____





SITE TRIBUTARY AREA 1
142,270 SF (4,728 SF IMPERVIOUS)

SITE TRIBUTARY AREA 2
389,884 SF (5,504 SF IMPERVIOUS)

GOLETA PUBLIC LIBRARY
(NOT A PART)

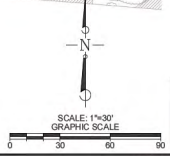
IMPORTANT NOTICE
ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR IS TO NOTIFY UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO STARTING ANY EXCAVATION OR REBURFACING.
CALL TOLL FREE 1-800-422-4133

LEGEND

	PROPERTY LINE
	DIRECTION OF FLOW FOR SURFACE RUNOFF
	SITE TRIBUTARY AREA
	EXISTING IMPERVIOUS AREA
	EXISTING PERVIOUS AREA

PROJECT PARCEL - SITE COVERAGE CALCS

EXISTING PERVIOUS AREA	521,932 SF
IMPERVIOUS AREA	10,232 SF
TOTAL SITE	532,164 SF

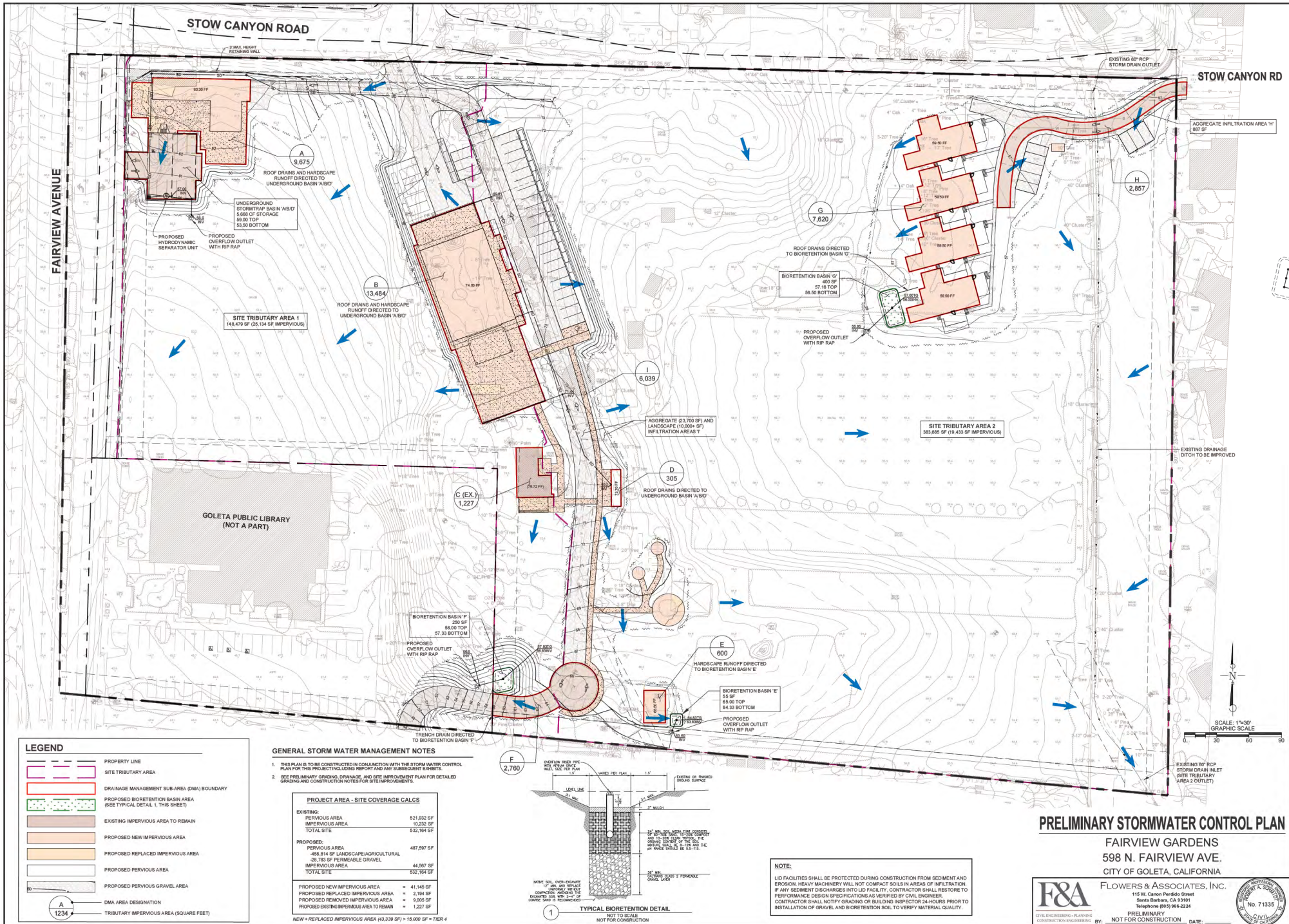


EXISTING DRAINAGE EXHIBIT

FAIRVIEW GARDENS
598 N. FAIRVIEW AVE.
CITY OF GOLETA, CALIFORNIA

F&A FLOWERS & ASSOCIATES, INC.
115 W. Canon Perdido Street
Santa Barbara, CA 93101
Telephone (805) 964-2244
PRELIMINARY NOT FOR CONSTRUCTION DATE: _____
23146-01 PLOTTED: Tuesday, May 20, 2025 3:39:53 PM





LEGEND

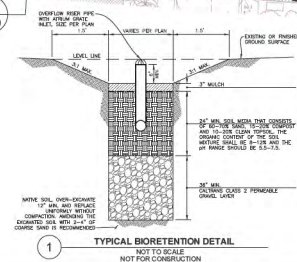
- PROPERTY LINE
- SITE TRIBUTARY AREA
- DRAINAGE MANAGEMENT SUB-AREA (DMA) BOUNDARY
- PROPOSED BIORETENTION BASIN AREA (SEE TYPICAL DETAIL 1, THIS SHEET)
- EXISTING IMPERVIOUS AREA TO REMAIN
- PROPOSED NEW IMPERVIOUS AREA
- PROPOSED REPLACED IMPERVIOUS AREA
- PROPOSED PERVIOUS AREA
- PROPOSED PERVIOUS GRAVEL AREA
- DMA AREA DESIGNATION
- TRIBUTARY IMPERVIOUS AREA (SQUARE FEET)

GENERAL STORM WATER MANAGEMENT NOTES

- THIS PLAN IS TO BE CONSTRUCTED IN CONJUNCTION WITH THE STORM WATER CONTROL PLAN FOR THIS PROJECT INCLUDING REPORT AND ANY SUBSEQUENT EXHIBITS.
- SEE PRELIMINARY GRADING, DRAINAGE, AND SITE IMPROVEMENT PLAN FOR DETAILED GRADING AND CONSTRUCTION NOTES FOR SITE IMPROVEMENTS.

PROJECT AREA - SITE COVERAGE CALCS

EXISTING:	
PERVIOUS AREA	521,932 SF
IMPERVIOUS AREA	10,232 SF
TOTAL SITE	532,164 SF
PROPOSED:	
PERVIOUS AREA	487,597 SF
458,814 SF LANDSCAPE/AGRICULTURAL	
28,783 SF PERMEABLE GRAVEL	
IMPERVIOUS AREA	44,967 SF
TOTAL SITE	532,164 SF
PROPOSED NEW IMPERVIOUS AREA	= 41,145 SF
PROPOSED REPLACED IMPERVIOUS AREA	= 2,194 SF
PROPOSED REMOVED IMPERVIOUS AREA	= 9,005 SF
PROPOSED EXISTING IMPERVIOUS AREA TO REMAIN	= 1,227 SF
NEW + REPLACED IMPERVIOUS AREA (43,339 SF) = 15,000 SF + TIER 4	



NOTE:
 LD FACILITIES SHALL BE PROTECTED DURING CONSTRUCTION FROM SEDIMENT AND EROSION. HEAVY MACHINERY WILL NOT COMPACT SOILS IN AREAS OF INFILTRATION. IF ANY SEDIMENT IS DISCHARGED INTO LD FACILITY, CONTRACTOR SHALL RESTORE TO PERFORMANCE DESIGN SPECIFICATIONS AS VIEWED BY CIVIL ENGINEER. CONTRACTOR SHALL NOTIFY GRADING OR BUILDING INSPECTOR 24-HOURS PRIOR TO INSTALLATION OF GRAVEL AND BIORETENTION SOIL TO VERIFY MATERIAL QUALITY.

PRELIMINARY STORMWATER CONTROL PLAN

FAIRVIEW GARDENS
 598 N. FAIRVIEW AVE.
 CITY OF GOLETA, CALIFORNIA

F&A FLOWERS & ASSOCIATES, INC.
 115 W. Canon Perdido Street
 Santa Barbara, CA 93101
 Telephone (805) 964-2244

PRELIMINARY
 NOT FOR CONSTRUCTION DATE: _____

