

Attachment 2

SANDPIPER GOLF COURSE RENOVATION DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT RESOLUTION

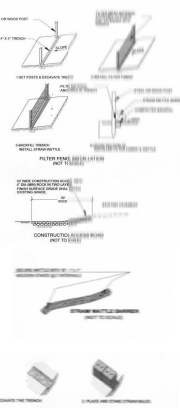
Exhibit A – Plans

7925 HOLLISTER AVE.



BMP SWMP PRACTICES (NTS)

REFER TO CIVIL DRAWINGS FOR INFORMATION



HEIGHT CALCULATIONS (A.F.G.)

BUILDING STRUCTURE	(E) MAX. H.	GRADE	(F) MAX. H.	GRADE
CLUB HOUSE TOTAL (CH)	25'-4"	111.2'	29'-4"	111.2'
COMFORT STATION TOTAL (CS)	14'-7"	84.2'	15'-4"	85.0'
BARNSDALL (B)	45'-2 1/2"	90.0'	45'-2 1/2"	90.0'
CAFE (C)	N/A	N/A	15'-4"	85.0'
MAINTENANCE (M)	12'-4 1/2"	88.959'	12'-4 1/2"	89.2'

REFER TO SHEETS

CLUB HOUSE
A_C14000S FOR (E) ELEVATIONS, A_C14000S FOR (F) ELEVATIONS

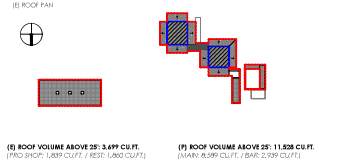
COMFORT STATION
A_C5400S FOR (E) ELEVATIONS, A_C5400S FOR (F) ELEVATIONS

BARNSDALL / NO GRANDE CAFE
A_B100S FOR (E) ELEVATIONS, A_B100S FOR (F) ELEVATIONS

MAINTENANCE
A_M400S FOR (E) ELEVATIONS, A_M400S FOR (F) ELEVATIONS

HEIGHT DIAGRAMS

MAX. HEIGHT PER CODE: 25'-4"



LOT COVERAGE CALCULATIONS

EXISTING CONDITIONS	AREA SF
(E) CLUB HOUSE TOTAL (CH)	4,088 SF
(F) COMFORT STATION TOTAL (CS)	326 SF
(B) BARNSDALL (B)	731 SF
(C) CAFE (C)	731 SF
(M) MAINTENANCE TOTAL (M)	2,022 SF
TOTAL EXISTING BUILDING LOT COVERAGE (CH + CS + B + M)	14,222 SF
CLUB HOUSE	517 SF

PROPOSED CONDITIONS

(P) CLUB HOUSE TOTAL (CH)

(F) COMFORT STATION TOTAL (CS)

(B) BARNSDALL (B)

(C) CAFE (C)

(M) MAINTENANCE TOTAL (M)

TOTAL PROPOSED BUILDING LOT COVERAGE (CH + CS + B + M)

SHEET INDEX

ARCHITECTURAL DRAWINGS	CIVIL DRAWINGS (CONT)
A_0100 SITE PLAN OVERALL	C11 GRADING & DRAINAGE PLANS
A_0200 SITE PLAN SERVICED DIAGRAMS	C12 GRADING & DRAINAGE PLANS
A_0300 SITE PLAN ENHANCED COMFORT STATION	C13 SECTIONS
A_0400 SITE PLAN ENHANCED BARNSDALL	C14 SECTIONS
A_0500 SITE PLAN ENHANCED MAINTENANCE	C15 SECTIONS
A_0600 SITE PLAN ENHANCED CLUB HOUSE	C16 DETAILS
A_0700 SITE PLAN ENHANCED COMFORT STATION	C17 HOOLLISTER AVE. STREET IMPROVEMENTS PLAN
A_0800 SITE PLAN ENHANCED BARNSDALL	C18 PROPOSED UTILITY PLAN
A_0900 SITE PLAN OVERALL	C19 VEHICULAR ACCESS PLAN
A_1000 SITE PLAN SERVICED DIAGRAMS	C20 LANDSCAPE DRAWINGS
A_1100 SITE PLAN ENHANCED COMFORT STATION	E1 EXISTING CONDITIONS AND TREE LAYOUT MAP
A_1200 SITE PLAN ENHANCED BARNSDALL	L1-1 TREE PRESERVATION OVERLAY PLAN
A_1300 SITE PLAN ENHANCED CLUB HOUSE	L1-2 TREE PRESERVATION PLAN-NW SECTION
A_1400 SITE PLAN ENHANCED COMFORT STATION	L1-3 TREE PRESERVATION PLAN-NE SECTION
A_1500 SITE PLAN ENHANCED BARNSDALL	L1-4 TREE INVENTORY AND NOTES
A_1600 SITE PLAN OVERALL	L2-1 PERIMETER OVERLAY SITE LANDSCAPE PLAN
A_1700 SITE PLAN SERVICED DIAGRAMS	L2-2 EXISTING, PROPOSED GOLF COURSE PLANNING AREA COMPARISON W/SSHA BOUNDARIES
A_1800 SITE PLAN ENHANCED COMFORT STATION	L3-1 PERIMETER FULL SITE LANDSCAPE LAYOUT
A_1900 SITE PLAN ENHANCED BARNSDALL	L3-2 PERIMETER LANDSCAPE LAYOUT
A_2000 SITE PLAN ENHANCED CLUB HOUSE	L3-3 PERIMETER LANDSCAPE LAYOUT
A_2100 SITE PLAN ENHANCED COMFORT STATION	L3-4 PERIMETER LANDSCAPE LAYOUT
A_2200 SITE PLAN ENHANCED BARNSDALL	L3-5 PERIMETER LANDSCAPE LAYOUT
A_2300 SITE PLAN ENHANCED CLUB HOUSE	L3-6 PERIMETER LANDSCAPE LAYOUT
A_2400 SITE PLAN ENHANCED COMFORT STATION	L3-7 PERIMETER LANDSCAPE LAYOUT
A_2500 SITE PLAN ENHANCED BARNSDALL	L3-8 PERIMETER LANDSCAPE LAYOUT
A_2600 SITE PLAN ENHANCED CLUB HOUSE	L3-9 PERIMETER LANDSCAPE LAYOUT
A_2700 SITE PLAN ENHANCED COMFORT STATION	L3-10 PERIMETER LANDSCAPE LAYOUT
A_2800 SITE PLAN ENHANCED BARNSDALL	L3-11 PERIMETER WEST PARKING LOT PLANNING PLAN
A_2900 SITE PLAN ENHANCED CLUB HOUSE	L3-12 PERIMETER WEST PARKING LOT PLANNING PLAN
A_3000 SITE PLAN ENHANCED COMFORT STATION	L3-13 PERIMETER MAINTENANCE YARD PLANNING PLAN
A_3100 SITE PLAN ENHANCED BARNSDALL	L3-14 PERIMETER HOOLLISTER AVE. FRONTAGE PLANNING PLAN
A_3200 SITE PLAN ENHANCED CLUB HOUSE	L3-15 PERIMETER COMFORT STATION PLANNING PLAN
A_3300 SITE PLAN ENHANCED COMFORT STATION	L4-1 PERIMETER OVERLAY SITE LANDSCAPE PLAN
A_3400 SITE PLAN ENHANCED BARNSDALL	L4-2 EXISTING, PROPOSED GOLF COURSE PLANNING AREA COMPARISON W/SSHA BOUNDARIES
A_3500 SITE PLAN ENHANCED CLUB HOUSE	L4-3 PERIMETER FULL SITE LANDSCAPE LAYOUT
A_3600 SITE PLAN ENHANCED COMFORT STATION	L4-4 PERIMETER LANDSCAPE LAYOUT
A_3700 SITE PLAN ENHANCED BARNSDALL	L4-5 PERIMETER LANDSCAPE LAYOUT
A_3800 SITE PLAN ENHANCED CLUB HOUSE	L4-6 PERIMETER LANDSCAPE LAYOUT
A_3900 SITE PLAN ENHANCED COMFORT STATION	L4-7 PERIMETER LANDSCAPE LAYOUT
A_4000 SITE PLAN ENHANCED BARNSDALL	L4-8 PERIMETER LANDSCAPE LAYOUT
A_4100 SITE PLAN ENHANCED CLUB HOUSE	L4-9 PERIMETER LANDSCAPE LAYOUT
A_4200 SITE PLAN ENHANCED COMFORT STATION	L4-10 PERIMETER LANDSCAPE LAYOUT
A_4300 SITE PLAN ENHANCED BARNSDALL	L4-11 PERIMETER WEST PARKING LOT PLANNING PLAN
A_4400 SITE PLAN ENHANCED CLUB HOUSE	L4-12 PERIMETER WEST PARKING LOT PLANNING PLAN
A_4500 SITE PLAN ENHANCED COMFORT STATION	L4-13 PERIMETER MAINTENANCE YARD PLANNING PLAN
A_4600 SITE PLAN ENHANCED BARNSDALL	L4-14 PERIMETER HOOLLISTER AVE. FRONTAGE PLANNING PLAN
A_4700 SITE PLAN ENHANCED CLUB HOUSE	L4-15 PERIMETER COMFORT STATION PLANNING PLAN
A_4800 SITE PLAN ENHANCED COMFORT STATION	L5-1 PERIMETER OVERLAY SITE LANDSCAPE PLAN
A_4900 SITE PLAN ENHANCED BARNSDALL	L5-2 EXISTING, PROPOSED GOLF COURSE PLANNING AREA COMPARISON W/SSHA BOUNDARIES
A_5000 SITE PLAN ENHANCED CLUB HOUSE	L5-3 PERIMETER FULL SITE LANDSCAPE LAYOUT
A_5100 SITE PLAN ENHANCED COMFORT STATION	L5-4 PERIMETER LANDSCAPE LAYOUT
A_5200 SITE PLAN ENHANCED BARNSDALL	L5-5 PERIMETER LANDSCAPE LAYOUT
A_5300 SITE PLAN ENHANCED CLUB HOUSE	L5-6 PERIMETER LANDSCAPE LAYOUT
A_5400 SITE PLAN ENHANCED COMFORT STATION	L5-7 PERIMETER LANDSCAPE LAYOUT
A_5500 SITE PLAN ENHANCED BARNSDALL	L5-8 PERIMETER LANDSCAPE LAYOUT
A_5600 SITE PLAN ENHANCED CLUB HOUSE	L5-9 PERIMETER LANDSCAPE LAYOUT
A_5700 SITE PLAN ENHANCED COMFORT STATION	L5-10 PERIMETER LANDSCAPE LAYOUT
A_5800 SITE PLAN ENHANCED BARNSDALL	L5-11 PERIMETER WEST PARKING LOT PLANNING PLAN
A_5900 SITE PLAN ENHANCED CLUB HOUSE	L5-12 PERIMETER WEST PARKING LOT PLANNING PLAN
A_6000 SITE PLAN ENHANCED COMFORT STATION	L5-13 PERIMETER MAINTENANCE YARD PLANNING PLAN
A_6100 SITE PLAN ENHANCED BARNSDALL	L5-14 PERIMETER HOOLLISTER AVE. FRONTAGE PLANNING PLAN
A_6200 SITE PLAN ENHANCED CLUB HOUSE	L5-15 PERIMETER COMFORT STATION PLANNING PLAN
A_6300 SITE PLAN ENHANCED COMFORT STATION	L6-1 TITLE SHEET
A_6400 SITE PLAN ENHANCED BARNSDALL	L6-2 PERIMETER GOLF COURSE BOUNDARIES
A_6500 SITE PLAN ENHANCED CLUB HOUSE	L6-3 PERIMETER LANDSCAPE BOUNDARIES
A_6600 SITE PLAN ENHANCED COMFORT STATION	L6-4 BOUNDARY DETAILS
A_6700 SITE PLAN ENHANCED BARNSDALL	L6-5 BOUNDARY DETAILS
A_6800 SITE PLAN ENHANCED CLUB HOUSE	L6-6 BOUNDARY DETAILS
A_6900 SITE PLAN ENHANCED COMFORT STATION	L6-7 BOUNDARY DETAILS
A_7000 SITE PLAN ENHANCED BARNSDALL	L6-8 BOUNDARY DETAILS
A_7100 SITE PLAN ENHANCED CLUB HOUSE	L6-9 BOUNDARY DETAILS
A_7200 SITE PLAN ENHANCED COMFORT STATION	L6-10 BOUNDARY DETAILS
A_7300 SITE PLAN ENHANCED BARNSDALL	L6-11 BOUNDARY DETAILS
A_7400 SITE PLAN ENHANCED CLUB HOUSE	L6-12 BOUNDARY DETAILS
A_7500 SITE PLAN ENHANCED COMFORT STATION	L6-13 BOUNDARY DETAILS
A_7600 SITE PLAN ENHANCED BARNSDALL	L6-14 BOUNDARY DETAILS
A_7700 SITE PLAN ENHANCED CLUB HOUSE	L6-15 BOUNDARY DETAILS
A_7800 SITE PLAN ENHANCED COMFORT STATION	L6-16 BOUNDARY DETAILS
A_7900 SITE PLAN ENHANCED BARNSDALL	L6-17 BOUNDARY DETAILS
A_8000 SITE PLAN ENHANCED CLUB HOUSE	L6-18 BOUNDARY DETAILS
A_8100 SITE PLAN ENHANCED COMFORT STATION	L6-19 BOUNDARY DETAILS
A_8200 SITE PLAN ENHANCED BARNSDALL	L6-20 BOUNDARY DETAILS
A_8300 SITE PLAN ENHANCED CLUB HOUSE	L6-21 BOUNDARY DETAILS
A_8400 SITE PLAN ENHANCED COMFORT STATION	L6-22 BOUNDARY DETAILS
A_8500 SITE PLAN ENHANCED BARNSDALL	L6-23 BOUNDARY DETAILS
A_8600 SITE PLAN ENHANCED CLUB HOUSE	L6-24 BOUNDARY DETAILS
A_8700 SITE PLAN ENHANCED COMFORT STATION	L6-25 BOUNDARY DETAILS
A_8800 SITE PLAN ENHANCED BARNSDALL	L6-26 BOUNDARY DETAILS
A_8900 SITE PLAN ENHANCED CLUB HOUSE	L6-27 BOUNDARY DETAILS
A_9000 SITE PLAN ENHANCED COMFORT STATION	L6-28 BOUNDARY DETAILS
A_9100 SITE PLAN ENHANCED BARNSDALL	L6-29 BOUNDARY DETAILS
A_9200 SITE PLAN ENHANCED CLUB HOUSE	L6-30 BOUNDARY DETAILS
A_9300 SITE PLAN ENHANCED COMFORT STATION	L6-31 BOUNDARY DETAILS
A_9400 SITE PLAN ENHANCED BARNSDALL	L6-32 BOUNDARY DETAILS
A_9500 SITE PLAN ENHANCED CLUB HOUSE	L6-33 BOUNDARY DETAILS
A_9600 SITE PLAN ENHANCED COMFORT STATION	L6-34 BOUNDARY DETAILS
A_9700 SITE PLAN ENHANCED BARNSDALL	L6-35 BOUNDARY DETAILS
A_9800 SITE PLAN ENHANCED CLUB HOUSE	L6-36 BOUNDARY DETAILS
A_9900 SITE PLAN ENHANCED COMFORT STATION	L6-37 BOUNDARY DETAILS
A_10000 SITE PLAN ENHANCED BARNSDALL	L6-38 BOUNDARY DETAILS
A_10100 SITE PLAN ENHANCED CLUB HOUSE	L6-39 BOUNDARY DETAILS
A_10200 SITE PLAN ENHANCED COMFORT STATION	L6-40 BOUNDARY DETAILS
A_10300 SITE PLAN ENHANCED BARNSDALL	L6-41 BOUNDARY DETAILS
A_10400 SITE PLAN ENHANCED CLUB HOUSE	L6-42 BOUNDARY DETAILS
A_10500 SITE PLAN ENHANCED COMFORT STATION	L6-43 BOUNDARY DETAILS
A_10600 SITE PLAN ENHANCED BARNSDALL	L6-44 BOUNDARY DETAILS
A_10700 SITE PLAN ENHANCED CLUB HOUSE	L6-45 BOUNDARY DETAILS
A_10800 SITE PLAN ENHANCED COMFORT STATION	L6-46 BOUNDARY DETAILS
A_10900 SITE PLAN ENHANCED BARNSDALL	L6-47 BOUNDARY DETAILS
A_11000 SITE PLAN ENHANCED CLUB HOUSE	L6-48 BOUNDARY DETAILS
A_11100 SITE PLAN ENHANCED COMFORT STATION	L6-49 BOUNDARY DETAILS
A_11200 SITE PLAN ENHANCED BARNSDALL	L6-50 BOUNDARY DETAILS
A_11300 SITE PLAN ENHANCED CLUB HOUSE	L6-51 BOUNDARY DETAILS
A_11400 SITE PLAN ENHANCED COMFORT STATION	L6-52 BOUNDARY DETAILS
A_11500 SITE PLAN ENHANCED BARNSDALL	L6-53 BOUNDARY DETAILS
A_11600 SITE PLAN ENHANCED CLUB HOUSE	L6-54 BOUNDARY DETAILS
A_11700 SITE PLAN ENHANCED COMFORT STATION	L6-55 BOUNDARY DETAILS
A_11800 SITE PLAN ENHANCED BARNSDALL	L6-56 BOUNDARY DETAILS
A_11900 SITE PLAN ENHANCED CLUB HOUSE	L6-57 BOUNDARY DETAILS
A_12000 SITE PLAN ENHANCED COMFORT STATION	L6-58 BOUNDARY DETAILS
A_12100 SITE PLAN ENHANCED BARNSDALL	L6-59 BOUNDARY DETAILS
A_12200 SITE PLAN ENHANCED CLUB HOUSE	L6-60 BOUNDARY DETAILS
A_12300 SITE PLAN ENHANCED COMFORT STATION	L6-61 BOUNDARY DETAILS
A_12400 SITE PLAN ENHANCED BARNSDALL	L6-62 BOUNDARY DETAILS
A_12500 SITE PLAN ENHANCED CLUB HOUSE	L6-63 BOUNDARY DETAILS
A_12600 SITE PLAN ENHANCED COMFORT STATION	L6-64 BOUNDARY DETAILS
A_12700 SITE PLAN ENHANCED BARNSDALL	L6-65 BOUNDARY DETAILS
A_12800 SITE PLAN ENHANCED CLUB HOUSE	L6-66 BOUNDARY DETAILS
A_12900 SITE PLAN ENHANCED COMFORT STATION	L6-67 BOUNDARY DETAILS
A_13000 SITE PLAN ENHANCED BARNSDALL	L6-68 BOUNDARY DETAILS
A_13100 SITE PLAN ENHANCED CLUB HOUSE	L6-69 BOUNDARY DETAILS
A_13200 SITE PLAN ENHANCED COMFORT STATION	L6-70 BOUNDARY DETAILS
A_13300 SITE PLAN ENHANCED BARNSDALL	L6-71 BOUNDARY DETAILS
A_13400 SITE PLAN ENHANCED CLUB HOUSE	L6-72 BOUNDARY DETAILS
A_13500 SITE PLAN ENHANCED COMFORT STATION	L6-73 BOUNDARY DETAILS
A_13600 SITE PLAN ENHANCED BARNSDALL	L6-74 BOUNDARY DETAILS
A_13700 SITE PLAN ENHANCED CLUB HOUSE	L6-75 BOUNDARY DETAILS
A_13800 SITE PLAN ENHANCED COMFORT STATION	L6-76 BOUNDARY DETAILS
A_13900 SITE PLAN ENHANCED BARNSDALL	L6-77 BOUNDARY DETAILS
A_14000 SITE PLAN ENHANCED CLUB HOUSE	L6-78 BOUNDARY DETAILS
A_14100 SITE PLAN ENHANCED COMFORT STATION	L6-79 BOUNDARY DETAILS
A_14200 SITE PLAN ENHANCED BARNSDALL	L6-80 BOUNDARY DETAILS
A_14300 SITE PLAN ENHANCED CLUB HOUSE	L6-81 BOUNDARY DETAILS
A_14400 SITE PLAN ENHANCED COMFORT STATION	L6-82 BOUNDARY DETAILS
A_14500 SITE PLAN ENHANCED BARNSDALL	L6-83 BOUNDARY DETAILS
A_14600 SITE PLAN ENHANCED CLUB HOUSE	L6-84 BOUNDARY DETAILS
A_14700 SITE PLAN ENHANCED COMFORT STATION	L6-85 BOUNDARY DETAILS
A_14800 SITE PLAN ENHANCED BARNSDALL	L6-86 BOUNDARY DETAILS
A_14900 SITE PLAN ENHANCED CLUB HOUSE	L6-87 BOUNDARY DETAILS
A_15000 SITE PLAN ENHANCED COMFORT STATION	L6-88 BOUNDARY DETAILS
A_15100 SITE PLAN ENHANCED BARNSDALL	L6-89 BOUNDARY DETAILS
A_15200 SITE PLAN ENHANCED CLUB HOUSE	L6-90 BOUNDARY DETAILS
A_15300 SITE PLAN ENHANCED COMFORT STATION	L6-91 BOUNDARY DETAILS
A_15400 SITE PLAN ENHANCED BARNSDALL	L6-92 BOUNDARY DETAILS
A_15500 SITE PLAN ENHANCED CLUB HOUSE	L6-93 BOUNDARY DETAILS
A_15600 SITE PLAN ENHANCED COMFORT STATION	L6-94 BOUNDARY DETAILS
A_15700 SITE PLAN ENHANCED BARNSDALL	L6-95 BOUNDARY DETAILS
A_15800 SITE PLAN ENHANCED CLUB HOUSE	L6-96 BOUNDARY DETAILS
A_15900 SITE PLAN ENHANCED COMFORT STATION	L6-97 BOUNDARY DETAILS
A_16000 SITE PLAN ENHANCED BARNSDALL	L6-98 BOUNDARY DETAILS
A_16100 SITE PLAN ENHANCED CLUB HOUSE	L6-99 BOUNDARY DETAILS
A_16200 SITE PLAN ENHANCED COMFORT STATION	L6-100 BOUNDARY DETAILS

EARTHWORK

PRELIMINARY EARTHWORK ESTIMATES (ALL VOLUMES ARE CUBE YARDS)
REFER TO SHEET C1

	CLUBHOUSE	BARNSDALL	MAINT	GOLF	TOTALS
RAW CUT	24,300	500	3,000	54,000	83,800
FIN FILL	0	0	0	36,000	36,000
OVERLAP/CAVITIES	18,300	1,500	6,300	0	26,100
SHRINKAGE & LOSSES	4,000	500	1,500	24,300	30,300
BEFORE	0	0	0	24,300	0
AFTER	22,300	0	1,500	0	0

ROOF HEIGHT CALCULATION

ROOF	TOTAL SF	(425X7' H. SF)
(E) PRO SHOP / REST / BATHS	3,938 SF	1,299 SF
(F) OUTDOORBAR	370 SF	0 SF
(C) CAFE (CA)	2,356 SF	0 SF
(F) TOTAL:	4,664 SF	1,299 SF
(P) PRO SHOP	2,801 SF	0 SF
(F) MAINT	7,983 SF	3,066 SF
(F) BAR	4,703 SF	791 SF
(F) TOTAL:	15,487 SF	4,857 SF
(E) PRO SHOP / REST / BATHS	3,938 SF	1,299 SF
(F) OUTDOORBAR	370 SF	0 SF
(C) CAFE (CA)	2,356 SF	0 SF
(F) TOTAL:	4,664 SF	1,299 SF
(P) PRO SHOP	2,801 SF	0 SF
(F) MAINT	7,983 SF	3,066 SF
(F) BAR	4,703 SF	791 SF
(F) TOTAL:	15,487 SF	4,857 SF

FLOOR AREA CALCULATIONS

EXISTING CONDITIONS	FLOOR AREA SF
(E) CLUB HOUSE	4,088 SF
(F) BASEMENT	3,230 SF
(F) FIRST FLOOR	3,792 SF
(F) CAFE BARN	2,353 SF
(F) CLUB HOUSE TOTAL (CH)	7,205 SF
(E) COMFORT STATION TOTAL (CS)	326 SF
(B) BARNSDALL (B)	731 SF
(M) MAINTENANCE	2,022 SF
(F) STORAGE BUILDING	4,000 SF
(F) SHEDS AND BARRIROOM	2,000 SF
(M) MAINTENANCE TOTAL (M)	7,025 SF

TOTAL EXISTING SQUARE FOOTAGE (CH + CS + B + M)

PROPOSED CONDITIONS

PROPOSED CONDITIONS	FLOOR AREA SF
(P) CLUB HOUSE	517 SF
(F) BASEMENT	21,160 SF
(F) FIRST FLOOR	2,353 SF
(F) CLUB HOUSE TOTAL (CH)	21,677 SF
(F) COMFORT STATION	121 SF
(F) LATHING	9 SF
(F) SNACK COUNTER / STORAGE	9,421 SF
(F) COMFORT STATION TOTAL (CS)	130 SF
(F) BARNSDALL	349 SF
(F) BARNSDALL RESTORATION	0 SF
(F) STORAGE BUILDING	4,000 SF
(F) BARNSDALL TOTAL (B)	349 SF
(F) MAINTENANCE	4,116 SF
(F) STAFF BOX / SMALL STORAGE	3,160 SF
(F) MAINTENANCE TOTAL (M)	7,276 SF
TOTAL PROPOSED SQUARE FOOTAGE (CH + CS + B + M)	48,028 SF

HABITABLE (H) AREA CALCULATIONS

EXISTING CONDITIONS	H. AREA SF	N/H. AREA SF
(E) CLUB HOUSE	0 SF	3,230 SF
(F) BASEMENT	2,441 SF	1,639 SF
(F) FIRST FLOOR	0 SF	2,353 SF
(F) CLUB HOUSE TOTAL (CH)	2,441 SF	4,583 SF
(E) COMFORT STATION TOTAL (CS)	0 SF	390 SF
(B) BARNSDALL (B)	200 SF	149 SF
(M) MAINTENANCE	203 SF	3,712 SF
(F) STORAGE BUILDING	0 SF	2,000 SF
(F) SHEDS AND BARRIROOM	20 SF	818 SF
(M) MAINTENANCE TOTAL (M)	470 SF	6,533 SF

PROPOSED CONDITIONS

PROPOSED CONDITIONS	H. AREA SF	N/H. AREA SF
(P) CLUB HOUSE	0 SF	29,318 SF
(F) BASEMENT	3,510 SF	4,111 SF
(F) FIRST FLOOR	4,205 SF	2,152 SF
(F) CLUB HOUSE TOTAL (CH)	10,415 SF	26,581 SF
(F) COMFORT STATION TOTAL (CS)	97 SF	332 SF
(F) BARNSDALL	200 SF	149 SF
(F) BARNSDALL RESTORATION	0 SF	0 SF
(F) BARNSDALL TOTAL (B)	200 SF	149 SF
(F) MAINTENANCE	771 SF	3,355 SF
(F) STAFF BOX / SMALL STORAGE	0 SF	3,160 SF
(F) MAINTENANCE TOTAL (M)	771 SF	6,515 SF



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03/04/03



6 CLUB HOUSE NORTH VIEW



5 CLUB HOUSE NORTH-EAST VIEW



4 CLUB HOUSE SOUTH-EAST VIEW



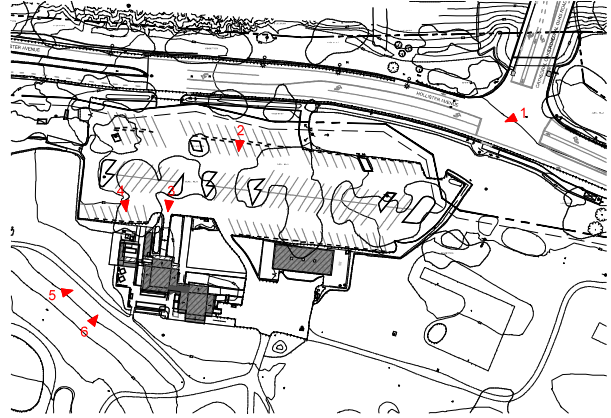
2 PARKING LOT SOUTH VIEW



3 CLUB HOUSE SOUTH VIEW



1 SITE SOUTH-WEST VIEW



A CLUB HOUSE IMAGE KEY PLAN

PROJECT NO. 33033
N.T.S.

NO.	REVISION	DATE
1	CONCEPTUAL DESIGN	7/20/03
2	CONCEPTUAL DESIGN	10/20/03
3	CONCEPTUAL DESIGN	10/20/03
4	CONCEPTUAL DESIGN	10/20/03
5	CONCEPTUAL DESIGN	10/20/03
6	CONCEPTUAL DESIGN	10/20/03

**SANDPIPER
GOLF CLUB**

7925 HOLLETER AVE.
GOLETA, CA. 93117

PROJECT NO. 33033

SCALE DATE DRAWN BY

AS NOTED 11 OCT 2003 CW

**EXISTING
CLUB HOUSE
CONTEXT PHOTOS**

ISSUED NO.



6 CLUB HOUSE BASEMENT NORTH ENTRANCE



5 CART STORAGE WEST VIEW



3 CLUB HOUSE BASEMENT EAST ENTRANCE



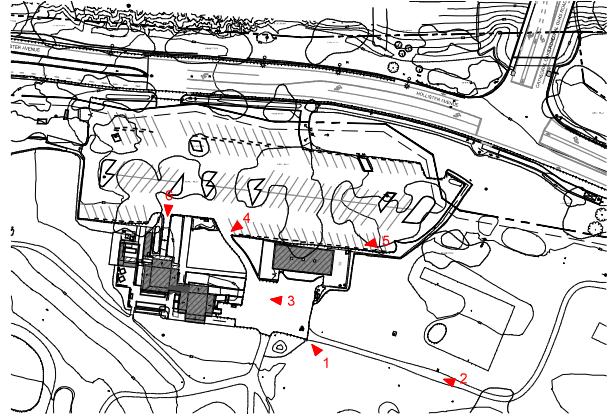
4 CLUB HOUSE WEST VIEW



2 WEST VIEW



1 CLUB HOUSE NORTH-EAST VIEW



A CLUB HOUSE IMAGE KEY PLAN

PROJECT NO.
N.T.S.



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CONTRACT

NO.	DATE	DESCRIPTION	BY
1	10/10/2023	CONCEPT DEVELOPMENT	WINICK
2	10/10/2023	ARCHITECTURAL DEVELOPMENT	WINICK
3	10/10/2023	ARCHITECTURAL DEVELOPMENT	WINICK
4	10/10/2023	ARCHITECTURAL DEVELOPMENT	WINICK

PROJECT NO.: 33003

SCALE: DATE: DRAWN BY:

AS NOTED: 11 OCT 2023: CW

PROJECT NO.



CONTRACT



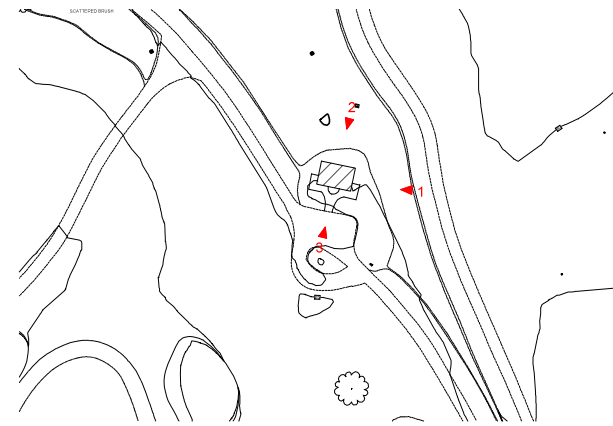
3 COMFORT STATION NORTH VIEW



2 COMFORT STATION SOUTH VIEW



1 COMFORT STATION WEST VIEW (EAST VIEW SIMILAR)



A COMFORT STATION IMAGE KEY PLAN



NO.	REVISION	DATE
1	CONCEPT DESIGN	7/26/2023
2	CONCEPT DESIGN	10/26/2023
3	PRELIMINARY CONCEPT	10/27/2023
4	PRELIMINARY CONCEPT	10/28/2023
5	CONCEPT	10/28/2023

**SANDPIPER
GOLF CLUB**

7925 HOLLETER AVE.
GOLETA, CA. 93117

PROJECT NO: 33003

SCALE DATE DRAWN BY

AS SHOWN 11 OCT 2023 CW

**EXISTING
COMFORT STATION
CONTEXT PHOTOS**

ISSUED NO:



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CONTEXT



8 BARNSDALL NORTH VIEW (FROM GOLF COURSE)



7 BARNSDALL EAST SIGNAGE POST



6 BARNSDALL WEST SIGNAGE POST



5 BARNSDALL NORTH-WEST VIEW



4 BARNSDALL WEST VIEW



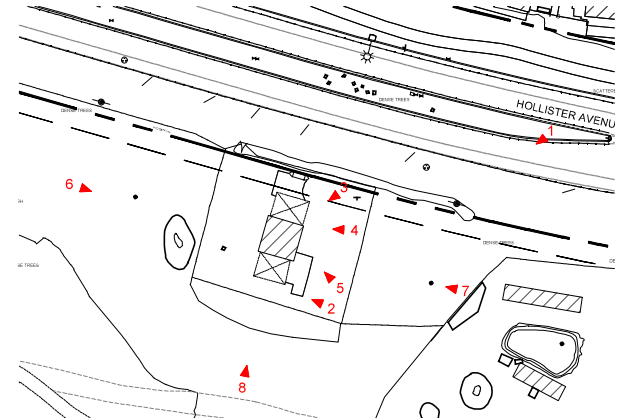
3 BARNSDALL SOUTH-WEST VIEW



2 BARNSDALL (REAR) WEST VIEW



1 BARNSDALL SOUTH-WEST VIEW



A BARNSDALL IMAGE KEY PLAN



NO.	REVISION	DATE
1	CONCEPT DESIGN	10.01.2020
2	CONCEPT DESIGN	10.01.2020
3	CONCEPT DESIGN	10.01.2020
4	CONCEPT DESIGN	10.01.2020

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA. 93117

PROJECT NO: 33003
SCALE: DATE: DRAWN BY: CUL

**EXISTING
BARNSDALL
CONTEXT PHOTOS**

ISSUED NO:



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CONTRACT



6 SMALL STORAGE / STAFF WEST VIEW



5 SMALL STORAGE / STAFF SOUTH-WEST VIEW



4 SMALL STORAGE / STAFF NORTH-WEST VIEW



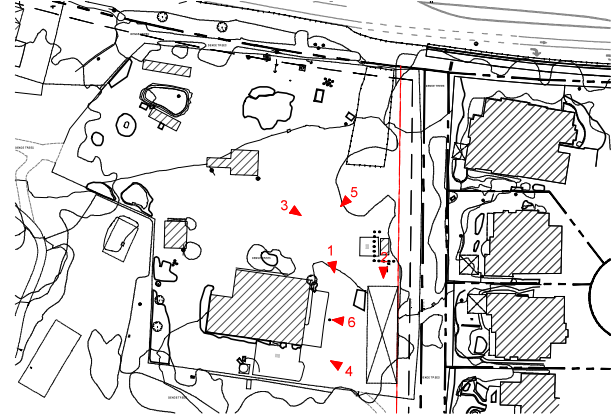
3 FUEL STATION EAST VIEW



2 LARGE STORAGE SOUTH VIEW



1 LARGE STORAGE SOUTH-EAST VIEW



A MAINTENANCE YARD IMAGE KEY PLAN



NO.	REVISION	DATE
1	CONCEPT DESIGN	10.01.2023
2	CONCEPT DESIGN	10.01.2023
3	CONCEPT DESIGN	10.01.2023
4	CONCEPT DESIGN	10.01.2023

**SANDPIPER
GOLF CLUB**

7925 HOLLETER AVE.
GOLETA, CA. 93117

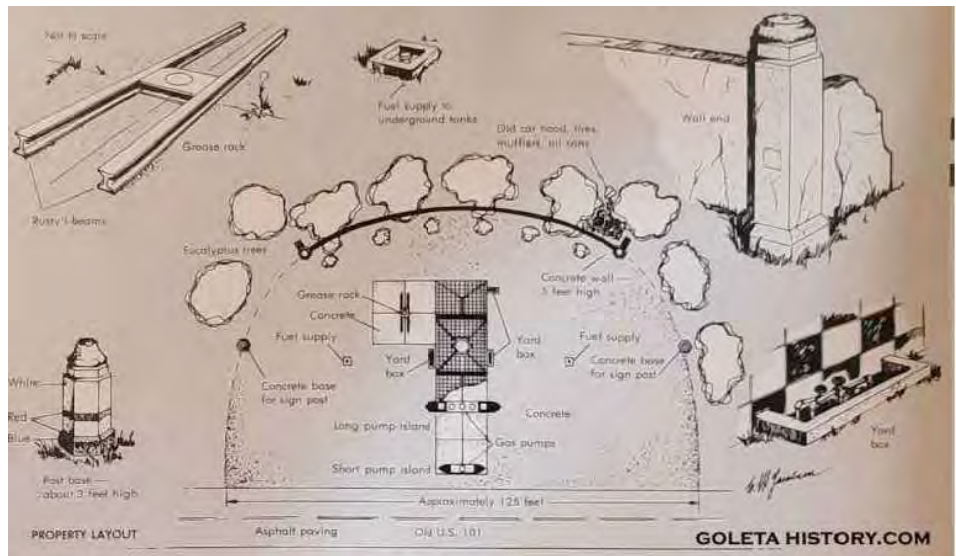
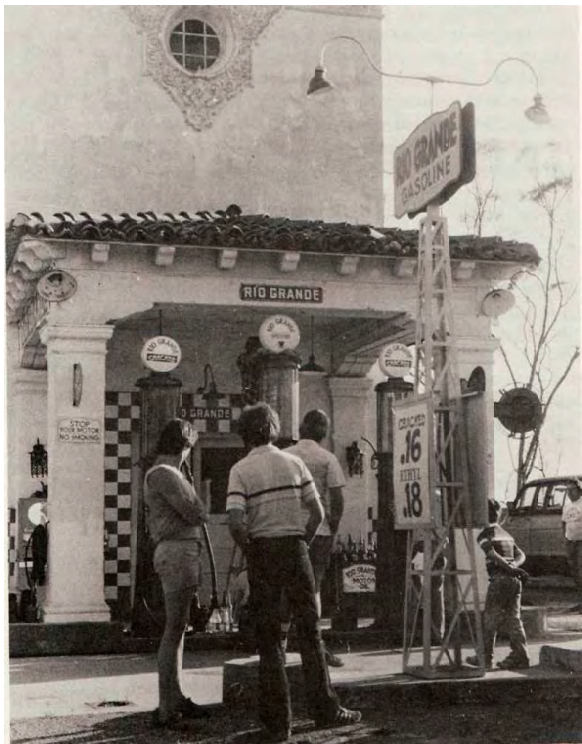
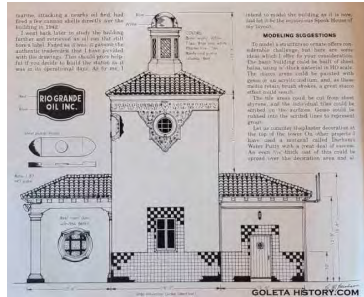
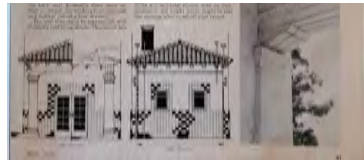
PROJECT NO: 33003

SCALE DATE DRAWN BY

AS NOTED 11 OCT 2023 CW

**EXISTING
MAINTENANCE YARD
CONTEXT PHOTOS**

ISSUED NO:



NO.	DATE	DESCRIPTION	BY
1	10/20/03	CONCEPT ARCHITECTURE	WINICK
2	02/20/04	PRELIMINARY CONCEPTS	WINICK
3	03/20/04	FINAL CONCEPTS	WINICK

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

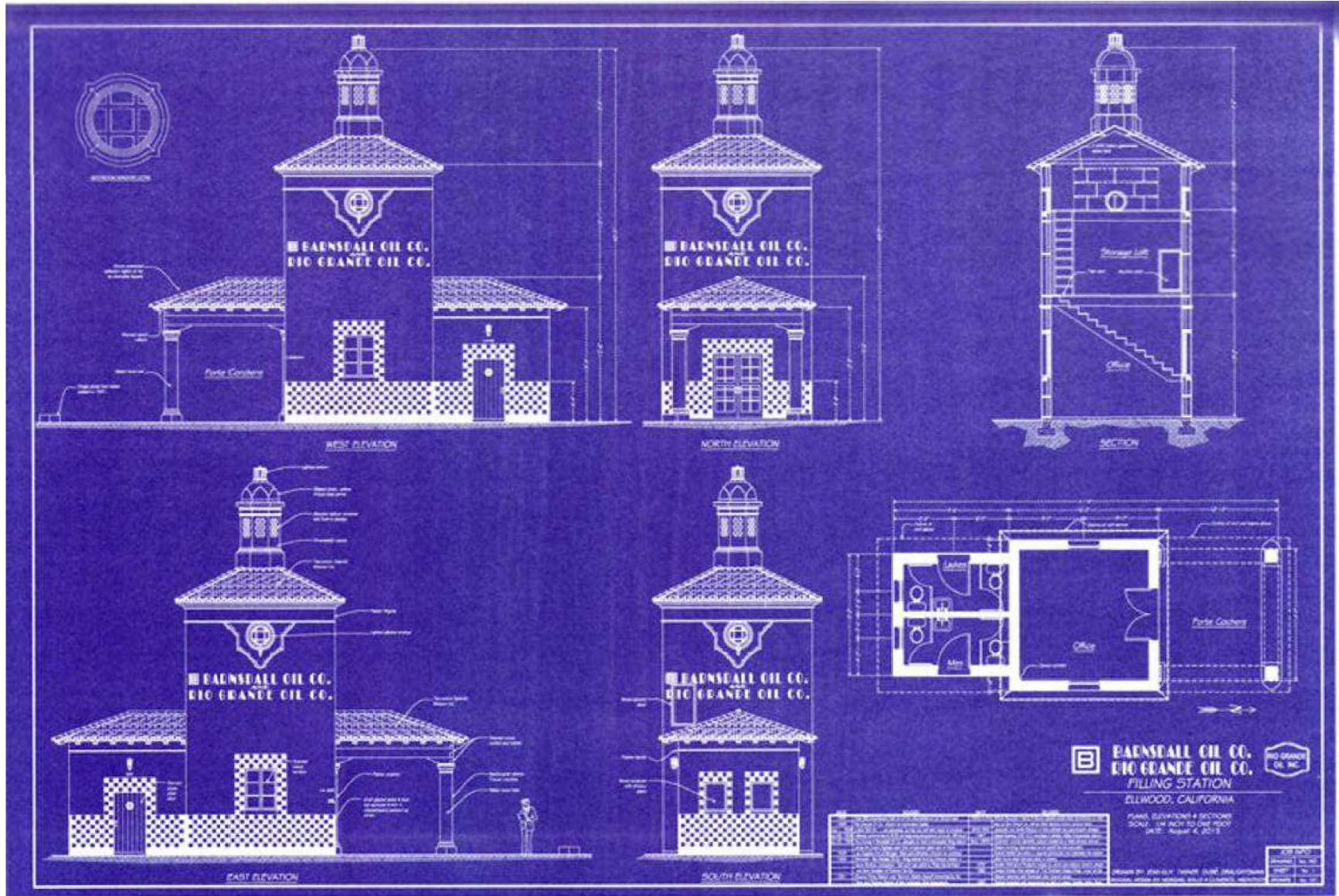
PROJECT NO.	DATE	DRAWN BY
33003	10/20/03	WINICK
AS NOTED	10/20/03	WINICK

BARNSDALL HISTORICAL REFERENCE

PROJECT NO.



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NO.	DATE	DESCRIPTION	BY
1	10/20/13	CONCEPTUAL DESIGN	WJ
2	10/20/13	CONCEPTUAL DESIGN	WJ
3	10/20/13	CONCEPTUAL DESIGN	WJ
4	10/20/13	CONCEPTUAL DESIGN	WJ

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA 93117

PROJECT NO: 3303

**BARNSDALL
HISTORICAL REFERENCE**

PROJECT NO:

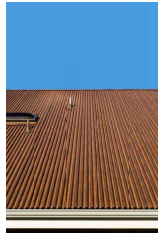


8-4 LIGHTING - AIRFIT LED
 18" H x 4" DIA. x 4" DIA. LED
 150-200 WATTED
 120V LINE VOLTAGE
 3000K COLOR TEMPERATURE
 18" BLACK FINNISH



P-100 GLACIER WHITE
 Base 100

GLACIER WHITE EXTERIOR STUCCO



CORRUGATED COPPER STEEL ROOF



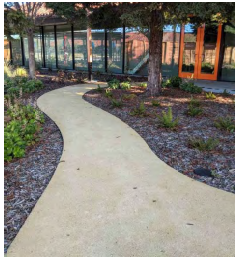
BLACK ALUMINUM DOOR AND WINDOW FRAMES

8 MAINT. ARCHITECTURAL LIGHTING
 REFER TO SHEETS A_M-101 / A_M-200'S
 FOR WALL SCONCE LOCATIONS

SCALE: N.T.S.

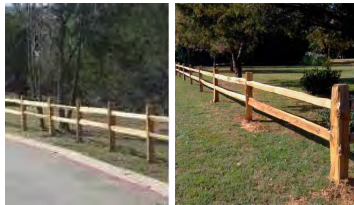
7 MAINT. YARD MATERIALS

SCALE: N.T.S.



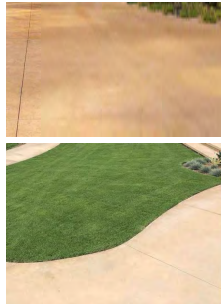
6 GRANITECRETE FINISHED SURFACE

SCALE: N.T.S.



5 CEDAR SPLIT RAIL FENCE

SCALE: N.T.S.



4 SAND FINISHED COLORED CONCRETE

SCALE: N.T.S.



VERTICAL GRAIN DOUGLAS FIR (VGFDF)
 LIGHT GRAY STAIN REFERENCE

VERTICAL GRAIN DOUGLAS FIR (VGFDF)
 TRELLIS STRUCTURE (BEAMS, RAFTER
 TAILS AND CORBELS) TO MATCH
 BARNSDALL EXISTING W/ LIGHT GRAY
 STAIN.

STUCCO TO MATCH BARNSDALL

DECORATIVE COLORED PLASTER
 TO MATCH BARNSDALL DECORATIVE
 PLASTER FRIEZE



VERTICAL GRAIN DOUGLAS FIR (VGFDF)
 NEW TRELLIS WOOD LIGHT GREY PAINTED
 COLUMN. SEE AND DETAILS TO MATCH
 BARNSDALL EXISTING PLASTER COLUMNS.

NEW ALUMINUM WINDOWS TO MATCH
 BARNSDALL EXISTING WINDOWS AND
 DOORS. (COLORS TO MATCH)

2 RIO GRANDE CAFE MATERIALS

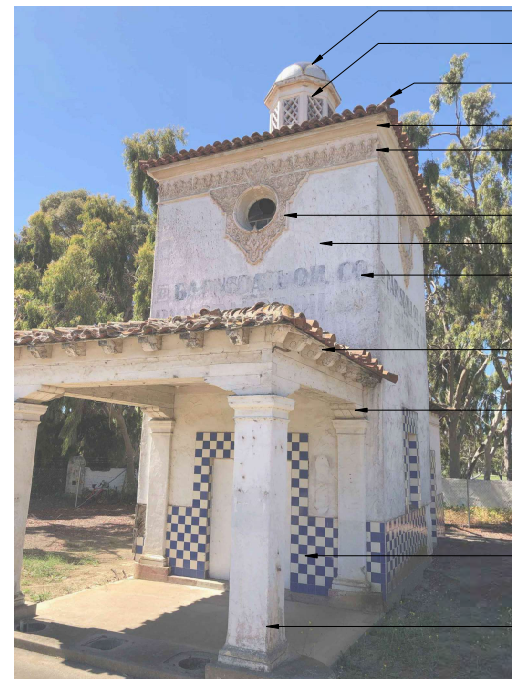
SCALE: N.T.S.



THOMAS O'BRIEN ACADEMY
 18" LAMP ARMS W/ 16" TILTED SHADE W/ ALL SCIENCE
 LOW VIBRATION DESIGN
 3000K COLOR TEMPERATURE
 18" FINNISH BLACK

3 BARNSDALL ARCHITECTURAL LIGHTING
 REFER TO SHEET A_B-101 BARNSDALL / CAFE FIRST FLOOR
 FOR ARCHITECTURAL LIGHTING
 REFER TO SHEET L-2 FOR SITE AND LANDSCAPE LIGHTING

SCALE: N.T.S.



MOSAIC TILE
 (WHITE, "GOLD" AND BLUE)

WOOD / PLASTER GRILL
 (TO BE DETERMINED)

SPANISH CLAY ROOF TILE

MOLDINGS

DECORATIVE PLASTER FRIEZE

DECORATIVE PLASTER DETAILS

STUCCO

WALL SIGNAGE

PAINTED WOOD TIMBERS
 AND RAFTER TAILS

PAINTED WOOD CORBELS

EXTERIOR WHITE AND BLUE TILE

STUCCO COLUMNS AND DETAILS

1 BARNSDALL (RESTORATION) MATERIALS

SCALE: N.T.S.

BARNSDALL MATERIALS NOTE

ALL EXTERIOR MATERIAL SELECTIONS SHALL BE MADE PER HISTORIC PRESERVATIONET RECOMMENDATION TO REPLACE ORIGINAL MATERIALS, SUCH AS: STUCCO, WOOD, ROOF TILE, DECORATIVE TILES, MOSAIC TILES, PAINT, DECORATIVE PLASTER, DETAILS, MOLDINGS, ETC.

RIO GRANDE CAFE / TRELLIS MATERIALS NOTE

ALL EXTERIOR MATERIAL SELECTIONS TO MATCH BARNSDALL HISTORIC PRESERVATIONET RECOMMENDATION TO REPLACE ORIGINAL MATERIALS



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NO.	REVISION	DATE
1	CONCEPT DESIGN	7/24/2014
2	CONCEPT DESIGN	10/24/2014
3	PRELIMINARY CONCEPT	10/24/2014
4	CONCEPT	07/08/2015

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	DRAWN BY
AS 140310	13.APR.2014	CU

BARNSDALL AND MAINTENANCE YARD MATERIALS / LIGHTING

10/04/15



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CONTRACT



AURO-RABBIT - TELESIDE
 8" WALL LIGHT - DOUBLE END
 5" W. LIGHT
 LOW LUMEN OUTPUT
 2700K COLOR TEMPERATURE
 FINISH: NATURAL BRASS



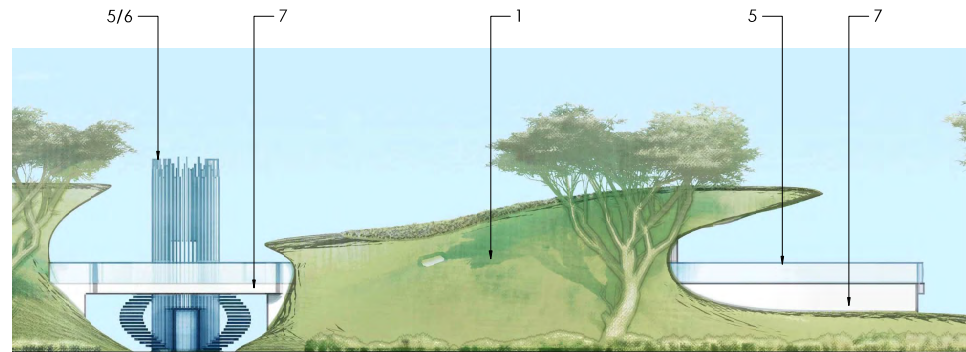
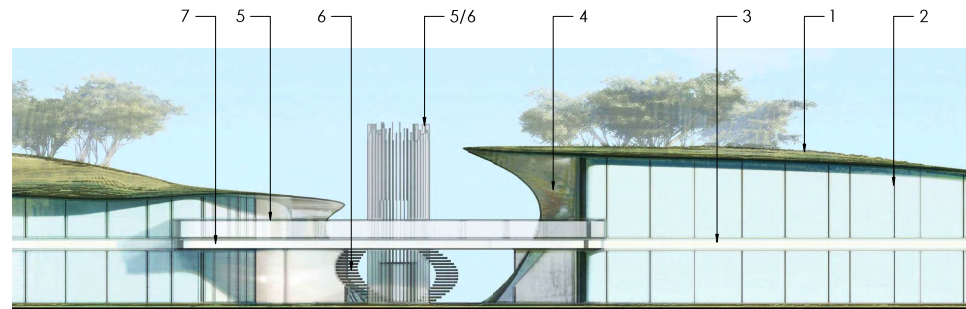
AURO-RABBIT - MIDSPAN
 2" STEP LIGHT - ROUND FACEPLATE
 5" W. LIGHT
 LOW LUMEN OUTPUT
 2700K COLOR TEMPERATURE
 FINISH: NATURAL BRASS



AURO-RABBIT - MIDSPAN
 2" STEP LIGHT - ROUND FACEPLATE
 5" W. LIGHT
 LOW LUMEN OUTPUT
 2700K COLOR TEMPERATURE
 FINISH: NATURAL BRASS

2 CLUB HOUSE ARCHITECTURAL LIGHTING

SCALE: N.T.S.



NO.	REVISION	DATE
1	CONCEPT DEVELOPMENT	7/24/2014
2	CONCEPT DEVELOPMENT	10/24/2014
3	ARCHITECTURAL CONCEPT	10/24/2014
4	CONCEPT DEVELOPMENT	11/24/2014

5 - LOW IRON GLASS (WINDOWS / DOORS, GUARDS / ELEVATOR ENCL.)



6 - STAINLESS STEEL



7 - FINE TROWELED EXTERIOR STUCCO (WHITE)



1 - GRASS ROOF



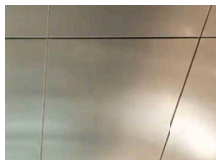
2 - BLACK STEEL FRAMES / OR DARK ALUMINUM



3 - BACK-PAINTED (WHITE) / OR FROSTED SPANDREL GLASS



4 - (TEXTURED) STAINLESS STEEL PANEL CEILING / UNDER-ROOF



1 CLUB HOUSE MATERIALS

SCALE: N.T.S.

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO: 33003

SCALE: DATE: DRAWN BY:

AS NOTED: 13. APR. 2014: CU

CLUB HOUSE / COMFORT STATION MATERIALS / LIGHTING

PROJECT NO:



DATE: 11/15/2023
 DRAWN BY: J. GARDNER
 CHECKED BY: J. GARDNER
 PROJECT NO: 23-0003
 SHEET NO: 01

LEGEND

	GOLF COURSE		RESTAURANT		LOUNGE / TERRACE
	PRO SHOP		RESTAURANT STORAGE / B.O.D.		CONFERENCE
	PRO SHOP STORAGE		GRAB N GO		CIRCULATION
	OFFICE		NOT INCLUDED / NOT APPLICABLE		

	PARKING TYPE	CLUB HOUSE	BARNSDALL	MAINTENANCE	SUBTOTAL PER TYPE	COMMENTS
VEHICLE	VEHICLE ADA / HANDICAP PARKING	0	1	1	0	3 ADA parking here (EV Charging Station @ Club House and 1 @ Barnsdall)
	VEHICLE ELECTRIC CHARGING PARKING	10	3	-	10	
	VEHICLE COMPACT SPACE PARKING	-	4	-	4	
	VEHICLE REGULAR PARKING	117	6	9	132	
	SUBTOTAL PER BUILDING	130	14	10	162	
BICYCLE	BICYCLE ELECTRIC CHARGING PARKING	0	7	-	13	
	BICYCLE ENCLOSED SPACE PARKING	-	7	-	7	
	BICYCLE REGULAR PARKING	0	16	10	32	
	SUBTOTAL PER BUILDING	12	30	10	52	

3 SANDPIPER PARKING BREAKDOWNS

SCALE: N.T.S.

	LAND USE	PARKING REQUIRED (COMBINED AREAS)	(E) PARKING SUPPLY	(P) PARKING SUPPLY	COMMENTS
SANDPIPER	CLUB HOUSE TOTAL	-	124	138	
	BARNSDALL TOTAL	-	5	14	
	MAINTENANCE TOTAL	-	10	10	
	SANDPIPER GRAND TOTAL	148	139	162	
	PARKING SURPLUS TOTAL (FROM REQ)	-	-17	+16	

NO.	REV.	DATE	BY
1	01	11/15/2023	JG
2	02	11/15/2023	JG
3	03	11/15/2023	JG

2 SANDPIPER PARKING TOTALS

SCALE: N.T.S.

	LAND USE	AMNT. SF	1ST. FLR. SF	2ND. FLR. SF	AMNT. SF	BARNSDALL SF	SF TOTALS	PKG. RATE	PKG. REQ.	COMMENTS	
CLUB HOUSE - BARNSDALL - MAINTENANCE AREA	GOLF COURSE (M)	-	18 HOLES	-	-	-	18 HOLES	N/A	70		
	GOLF COURSE STORAGE	703.0	-	-	-	-	703.0	1.1/1,000 SF	1	0.7 Required spaces (+1)	
	GOLF COURSE TERRACES	-	6,417.0	-	-	-	6,417.0	N/A	-	-	
	GRAB N GO INDOOR	-	760.0	-	-	-	760.0	N/A	-	-	
	GRAB N GO OUTDOOR	-	1,141.0	-	-	-	1,141.0	N/A	-	-	
	PRO SHOP	-	1,180.0	-	-	-	1,180.0	1.1/200 SF	3	2.3 Required spaces (+1)	
	PRO SHOP STORAGE	592.0	-	-	-	-	592.0	1.1/1,000 SF	1		
	GOLF MAINT. STORAGE	-	-	-	5,703.0	-	5,703.0	N/A	-	-	
	RESTAURANT	-	1,341.0	2,890.0	-	710.0	4,941.0	1.1/200 SF	20	19.3 Required spaces (+1)	
	RESTAURANT STORAGE / B.O.D.	2,601.0	1,811.0	1,834.0	-	306.0	6,552.0	N/A	-	-	
	LOUNGE / TERRACE	-	1,065.0	5,486.0	-	881.0	7,442.0	1.1/200 SF	30	29.7 Required spaces (+1)	
	OFFICE	1,980.0	86.0	-	3,390.0	-	5,456.0	1.1/300 SF	12	11.0 Required spaces (+1)	
	CIRCULATION	2,940.0	2,777.0	1,216.0	-	814.0	7,406.0	N/A	-	-	
	CONFERENCE ROOM	-	-	1,320.0	-	-	1,320.0	N/A	-	-	
	TOTAL PARKING REQUIRED									146	

(M) No city code for golf course available. Requirement based on survey at (E). Includes during peak activity on Friday, Saturday, and Sunday.

1 PROPOSED SANDPIPER PARKING CODE REQUIREMENTS PER AREAS

SCALE: N.T.S.

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO:	33003
SCALE:	AS SHOWN
DATE:	8/01/2023
DRAWN BY:	JG

PARKING CODE REQUIREMENTS

PROJECT NO:



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DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

SCALE: 1/8" = 1'-0"

DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

SCALE: 1/8" = 1'-0"

DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

SCALE: 1/8" = 1'-0"

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PROJECT: SANDPIPER GOLF CLUB

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PROJECT: SANDPIPER GOLF CLUB

SCALE: 1/8" = 1'-0"

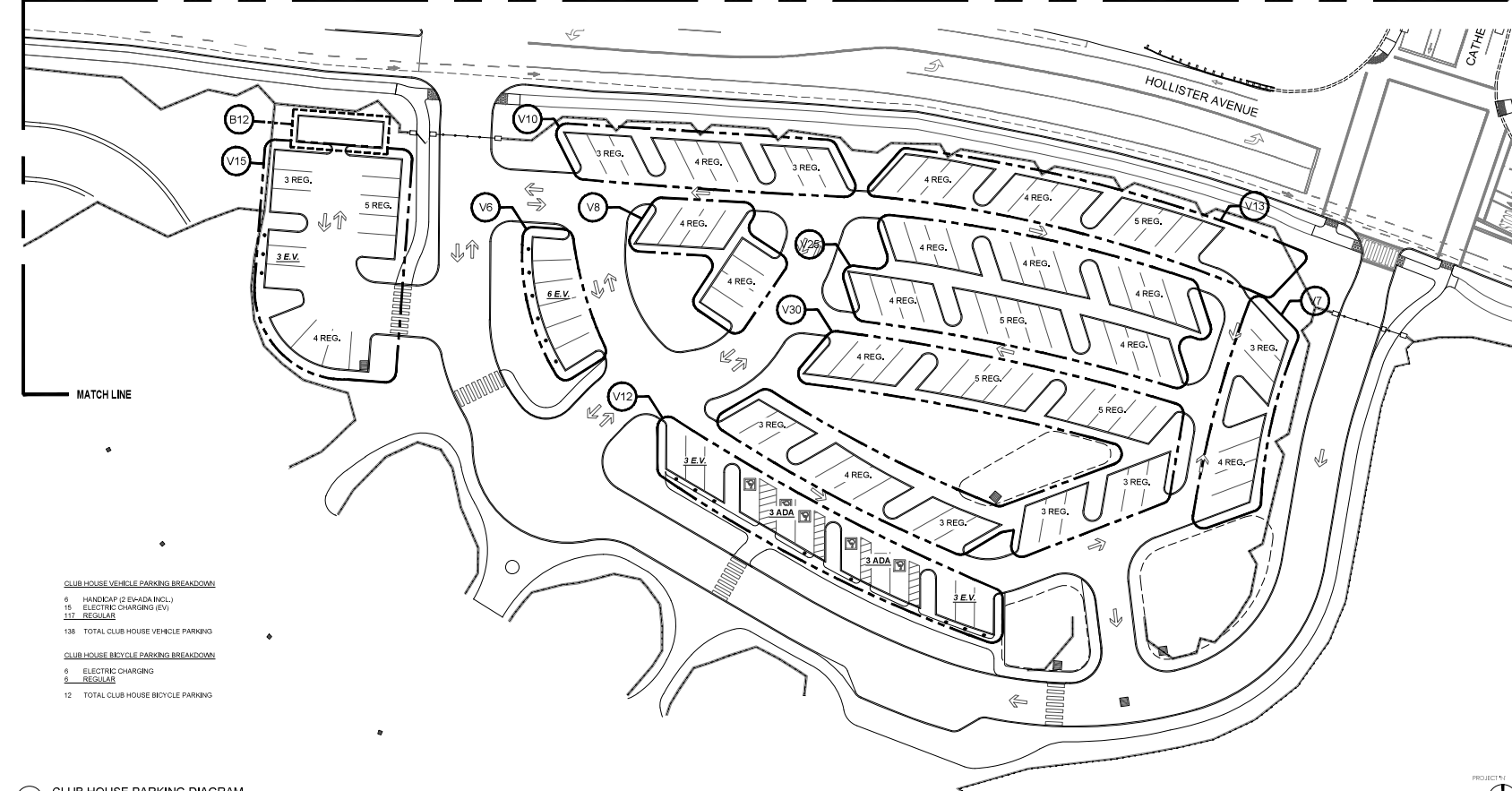
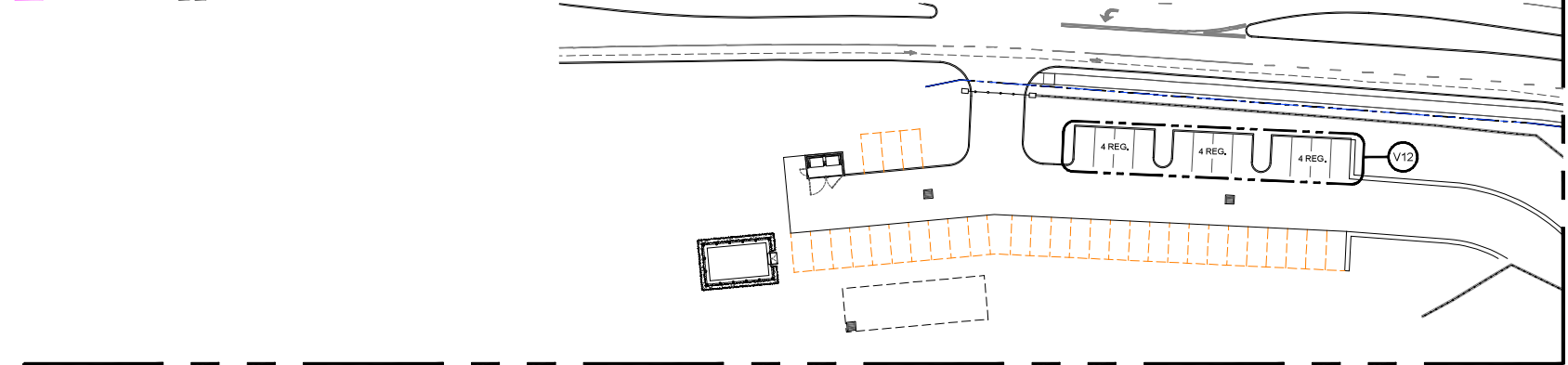
DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

LEGEND

	GOLF COURSE		RESTAURANT		LOUNGE / TERRACE
	PRO SHOP		RESTAURANT STORAGE / B.O.H.		COFFERED
	PRO SHOP STORAGE		GRASS / CO.		CLERICAL
	OFFICE		NOT INCLUDED / NOT APPLICABLE		

MATCH LINE



CLUB HOUSE VEHICLE PARKING BREAKDOWN

- 6 HANDICAP (2 EV+ADA INCL.)
- 15 ELECTRIC CHARGING (EV)
- 117 REGULAR

138 TOTAL CLUB HOUSE VEHICLE PARKING

CLUB HOUSE BICYCLE PARKING BREAKDOWN

- 6 ELECTRIC CHARGING
- 6 REGULAR

12 TOTAL CLUB HOUSE BICYCLE PARKING

1 CLUB HOUSE PARKING DIAGRAM

PROJECT: SANDPIPER GOLF CLUB
 SCALE: 3/8" = 1'-0"

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

PROJECT NO: 33003

SCALE: 3/8" = 1'-0"

DATE: 10/20/2013

BY: [Signature]

DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

SCALE: 3/8" = 1'-0"

DATE: 10/20/2013

BY: [Signature]

DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

SCALE: 3/8" = 1'-0"

DATE: 10/20/2013

BY: [Signature]

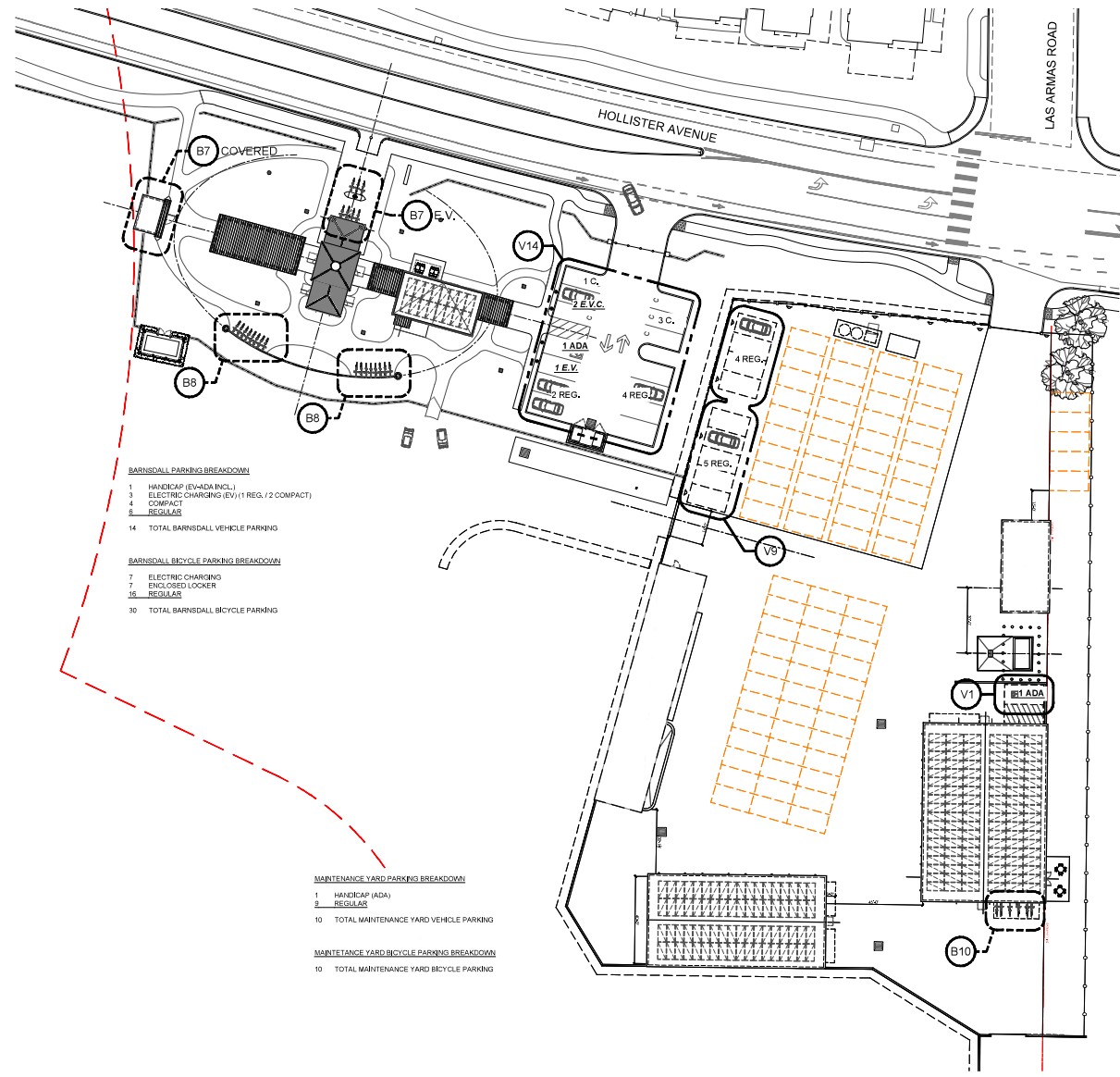
DATE: 10/20/2013

PROJECT: SANDPIPER GOLF CLUB

T-012



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- BARNSDALL PARKING BREAKDOWN**
- 1 HANDICAP (EV-ADA INCL.)
 - 3 ELECTRIC CHARGING (EV) (1 REG./2 COMPACT)
 - 4 COMPACT
 - 2 REGULAR
 - 14 TOTAL BARNSDALL VEHICLE PARKING

- BARNSDALL BICYCLE PARKING BREAKDOWN**
- 7 ELECTRIC CHARGING
 - 7 ENCLOSED LOCKER
 - 16 REGULAR
 - 30 TOTAL BARNSDALL BICYCLE PARKING

- MAINTENANCE YARD PARKING BREAKDOWN**
- 1 HANDICAP (ADA)
 - 9 REGULAR
 - 10 TOTAL MAINTENANCE YARD VEHICLE PARKING

- MAINTENANCE YARD BICYCLE PARKING BREAKDOWN**
- 10 TOTAL MAINTENANCE YARD BICYCLE PARKING

NO.	REVISION	DATE
1	CONCEPT DESIGN	7/24/2012
2	CONCEPT DESIGN	10/24/2012
3	PRELIMINARY DESIGN	02/07/2013
4	PRELIMINARY DESIGN	03/20/2013
5	PRELIMINARY DESIGN	07/24/2013

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	33003	
SCALE	DATE	DRAWN BY
AS NOTED	8/10/2012	CU

BARNSDALL / MAINT. PARKING DIAGRAMS

PROJECT NO.

1 BARNSDALL / MAINTENANCE YARD PARKING DIAGRAM

PROJECT NO. SCALE: 3/8" = 1'-0"



- NOTES**
1. REFER TO CHL DRAWINGS FOR GRADING PLANS
 2. REFER TO LANDSCAPE DRAWINGS FOR ALL TREE AND LANDSCAPE PLANTING, COFFERS, AND PERMITS.
 3. REFER TO CHL DRAWINGS FOR HOLLERER / CATHEDRAL OAKS TRAFFIC FOR PARKER / AND ADJUSTMENTS.
 4. REFER TO LANDSCAPE DRAWING FOR GOLF COURSE PLANS
 5. ROOF / POWER / RIS. AND RIS. SEE HOLLERER TO BE RELOCATED (SEE ENGINEERING REFERS TO CHL SP # 003)
 6. REFER TO CHL DRAWINGS FOR UTILITIES
- LEGEND**
- AREA OF WORK

WINICK ARCHITECTS

404 Garden Street
 Santa Barbara CA 93101
 Tel: 805.739.2400
 Fax: 805.484.1400
 www.winickarchitects.com

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CLUB HOUSE
 REFER TO SHEET A_SP-002

BARNSDALL / MAINTENANCE
 REFER TO SHEET A_SP-004

COMFORT STATION
 REFER TO SHEET A_SP-003

1 EXISTING OVERALL SITE PLAN

PROJECT # 7
 SCALE: 1" = 150'-0"

NO.	REVISION	DATE
1	CONCEPT DESIGN	10/01/03
2	CONCEPT DESIGN	10/01/03
3	CONCEPT DESIGN	10/01/03
4	CONCEPT DESIGN	10/01/03

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA. 93117

PROJECT NO. 33031
 DATE 11/01/2003
 DRAWN BY [signature]

EXISTING OVERALL SITE PLAN
 11/01/2003

A_SP-001.0



- NOTES**
1. REFER TO CHL DRAWINGS FOR GRADING PLANS
 2. REFER TO LANDSCAPE DRAWINGS FOR ALL TREE AND LANDSCAPE PLANTING SPECIES AND PERMITS
 3. REFER TO CHL DRAWINGS FOR HOLLISTER/CATHEDRAL OAKS TRAFFIC FORMATION AND ADJUSTMENTS
 4. REFER TO LANDSCAPE DRAWING FOR GOLF ROUTING PLANS
 5. HOIST/POWER LINES AND LIGHTS ARE HOLLISTER TO BE RELOCATED (SEE EXISTENTIAL REFERENCE TO CHL DRAWINGS)
 6. REFER TO CHL DRAWINGS FOR UTILITIES
- LEGEND**
- AREA OF WORK



NO.	REVISION	DATE
1	CONCEPTUAL DESIGN	7/24/2023
2	CONCEPTUAL DESIGN	10/24/2023
3	CONCEPTUAL DESIGN	10/24/2023
4	CONCEPTUAL DESIGN	10/24/2023

SANDPIPER GOLF CLUB
 7925 HOLLISTER AVE.
 GOLETA, CA. 93117
 PROJECT NO: 33003
 SCALE: AS SHOWN
 DATE: 11 OCT 2023
 DRAWN BY: CWT

EXISTING SITE PLAN SETBACK DIAGRAM
 004493.DWG

1 EXISTING SITE PLAN SETBACK DIAGRAM
 PROJECT 117
 SCALE: 1" = 150'-0"

KEYNOTES

- | | | | | |
|--|---|--|---|---|
| 1 (E) BUILDING TO BE REMOVED | 4 (E) PARKING LOT TO BE REMOVED | 7 (E) FENCE TO REMAIN | 10 (E) WATER FEATURE TO REMAIN AND TO BE PROTECTED | 13 (E) BUILDING TO BE RE-BUILT |
| 2 (E) RIGHT OF WAY (R.O.W.) - REFER TO CIVIL DWGS. | 5 (E) BUS STOP TO BE RELOCATED - REFER TO CIVIL DWGS. | 8 (E) FENCE TO BE REMOVED | 11 (E) CART PATHS - REFER TO CIVIL / LANDSCAPE DRAWINGS | 14 (E) SEWER EASEMENT - REFER TO CIVIL DRAWINGS |
| 3 (E) ENTRANCE TO REMAIN - REFER TO CIVIL DWGS. | 6 (E) BUILDING / WALL TO BE RESTORED | 9 (E) GOLF COURSE - REFER TO LANDSCAPE DWGS. | 12 (E) FUEL STATION TO REMAIN | |

NOTES

- REFER TO CIVIL DRAWINGS FOR GRADING PLANS.
- REFER TO LANDSCAPE DRAWINGS FOR ALL TREE AND LANDSCAPE EXISTING CONDITIONS AND REMOVALS.
- REFER TO CIVIL DRAWINGS FOR HOLLISTER / CATHEDRAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS.
- REFER TO LANDSCAPE DRAWING FOR GOLF ROUTING PLANS.
- POST / POWER LINES ALONG SIDE HOLLISTER TO BE RELOCATED UNDERGROUND. REFER TO CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR UTILITIES.

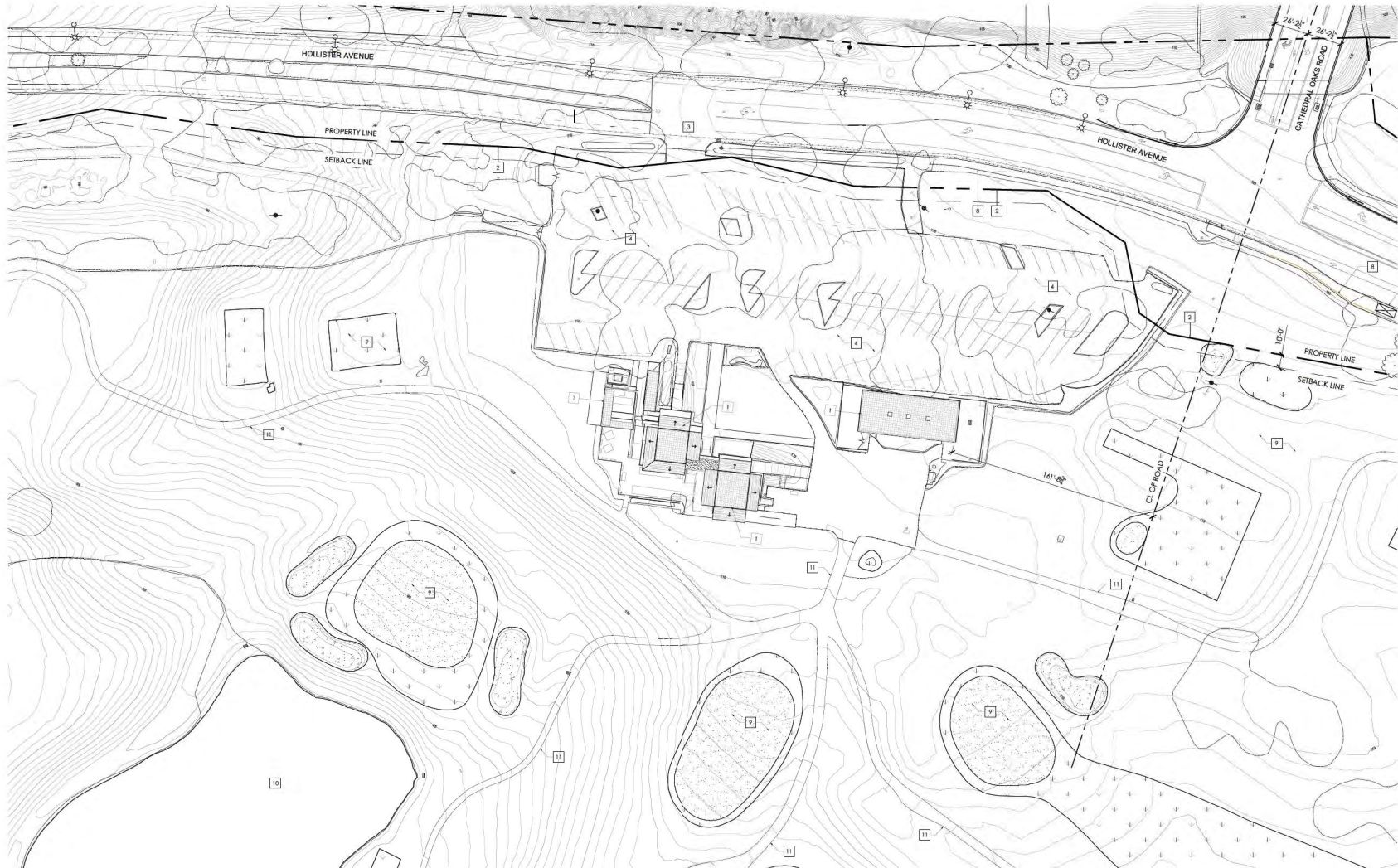
LEGEND

- AREA OF WORK



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DATE: 10/20/22



NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL REVISIONS	7/20/2022
2	CONCEPTUAL REVISIONS	10/10/2022
3	FINAL REVISIONS	10/20/2022
4	FINAL REVISIONS	10/20/2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	CREATED BY
3008	10/20/22	CL

EXISTING ENLARGED SITE PLAN CLUB HOUSE

DRAWING NO.

KEYNOTES

- | | | | | |
|--|---|--|---|---|
| 1 (E) BUILDING TO BE REMOVED | 4 (E) PARKING LOT TO BE REMOVED | 7 (E) FENCE TO REMAIN | 10 (E) WATER FEATURE TO REMAIN AND TO BE PROTECTED | 13 (E) BUILDING TO BE RE-BUILT |
| 2 (E) RIGHT OF WAY (R.O.W.) - REFER TO CIVIL DWGS. | 5 (E) BUS STOP TO BE RELOCATED - REFER TO CIVIL DWGS. | 8 (E) FENCE TO BE REMOVED | 11 (E) CART PATHS - REFER TO CIVIL / LANDSCAPE DRAWINGS | 14 (E) SEWER EASEMENT - REFER TO CIVIL DRAWINGS |
| 3 (E) ENTRANCE TO REMAIN - REFER TO CIVIL DWGS. | 6 (E) BUILDING / WALL TO BE RESTORED | 9 (E) GOLF COURSE - REFER TO LANDSCAPE DWGS. | 12 (E) FUEL STATION TO REMAIN | |

NOTES

- REFER TO CIVIL DRAWINGS FOR GRADING PLANS.
- REFER TO LANDSCAPE DRAWINGS FOR ALL TREE AND LANDSCAPE EXISTING CONDITIONS AND REMOVALS.
- REFER TO CIVIL DRAWINGS FOR HOLLISTER / CATHEDRAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS.
- REFER TO LANDSCAPE DRAWING FOR GOLF ROUTING PLANS.
- POST / POWER LINES ALONG SIDE HOLLISTER TO BE RELOCATED UNDERGROUND. REFER TO CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR UTILITIES.

LEGEND

- AREA OF WORK



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NO.	REVISION	DATE
1	CONCEPTUAL SKETCHES	7 FEB 2022
2	CONCEPTUAL SKETCHES	19 JUL 2022
3	PRELIMINARY SKETCHES	16 NOV 2022
4	PRELIMINARY SKETCHES	18 JAN 2023
5	PRELIMINARY SKETCHES	07 APR 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	DRAWN BY
3008	1 OCT 2022	CL

EXISTING ENLARGED SITE PLAN COMFORT ST.

(DRAWING NO.)

KEYNOTES

- | | | | | |
|--|---|--|---|---|
| 1 (E) BUILDING TO BE REMOVED | 4 (E) PARKING LOT TO BE REMOVED | 7 (E) FENCE TO REMAIN | 10 (E) WATER FEATURE TO REMAIN AND TO BE PROTECTED | 13 (E) BUILDING TO BE RE-BUILT |
| 2 (E) RIGHT OF WAY (R.O.W.) - REFER TO CIVIL DWGS. | 5 (E) BUS STOP TO BE RELOCATED - REFER TO CIVIL DWGS. | 8 (E) FENCE TO BE REMOVED | 11 (E) CART PATHS - REFER TO CIVIL / LANDSCAPE DRAWINGS | 14 (E) SEWER EASEMENT - REFER TO CIVIL DRAWINGS |
| 3 (E) ENTRANCE TO REMAIN - REFER TO CIVIL DWGS. | 6 (E) BUILDING / WALL TO BE RESTORED | 9 (E) GOLF COURSE - REFER TO LANDSCAPE DWGS. | 12 (E) FUEL STATION TO REMAIN | |

NOTES

- REFER TO CIVIL DRAWINGS FOR GRADING PLANS.
- REFER TO LANDSCAPE DRAWINGS FOR ALL TREE AND LANDSCAPE EXISTING CONDITIONS AND REMOVALS.
- REFER TO CIVIL DRAWINGS FOR HOLLISTER / CATHEDRAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS.
- REFER TO LANDSCAPE DRAWING FOR GOLF ROUTING PLANS.
- POST / POWER LINES ALONG SIDE HOLLISTER TO BE RELOCATED UNDERGROUND. REFER TO CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR UTILITIES.

LEGEND

- AREA OF WORK



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NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL REVISIONS	7/20/2022
2	CONCEPTUAL REVISIONS	10/10/2022
3	PRELIMINARY REVISIONS	10/20/2022
4	PRELIMINARY REVISIONS	10/24/2022
5	PRELIMINARY REVISIONS	10/24/2022
6	PRELIMINARY REVISIONS	10/24/2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

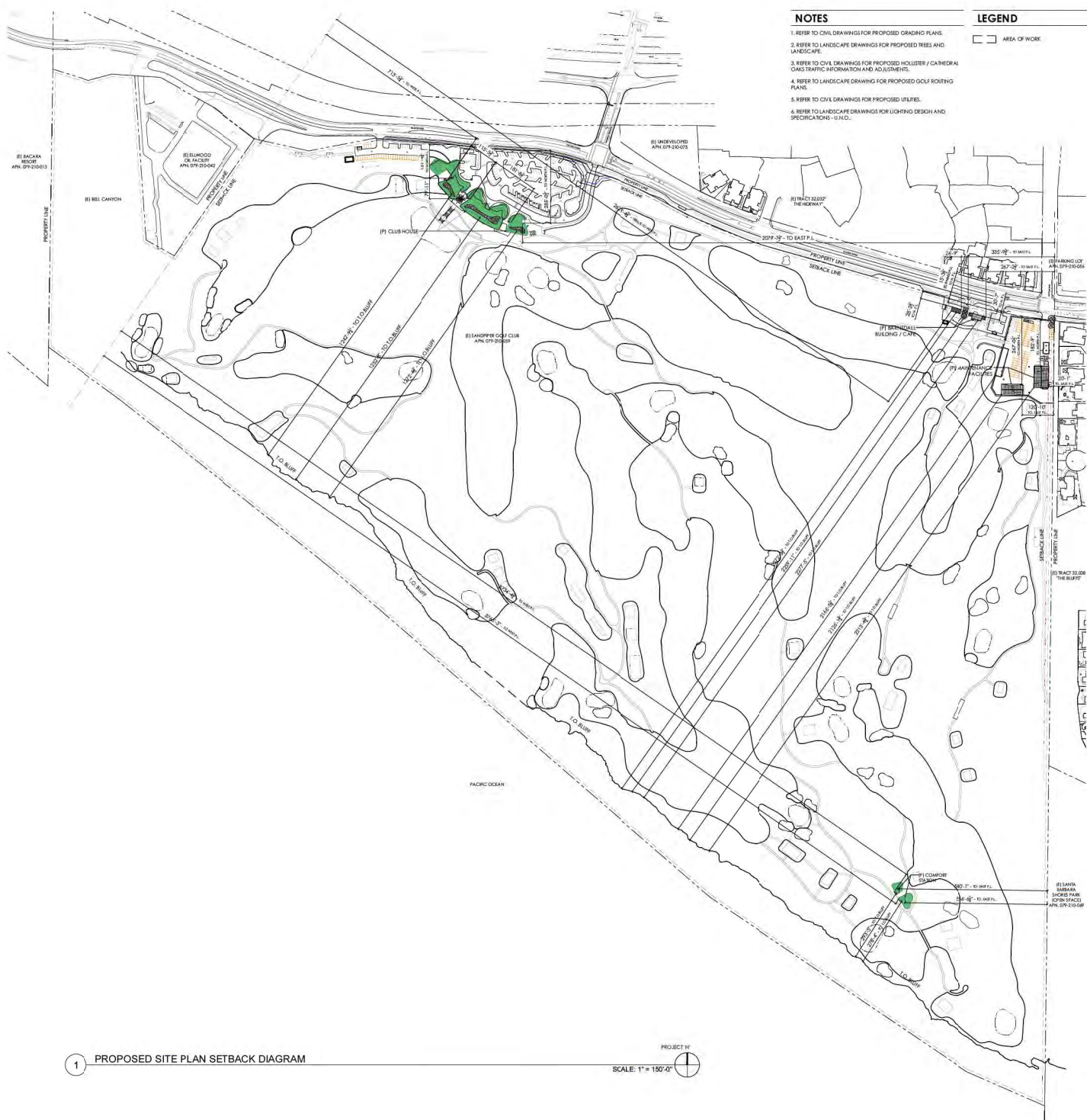
PROJECT NO: 30008
 DATE: 1 OCT 2022
 DRAWN BY: CL

EXISTING ENLARGED SITE PLAN BARNSDALL / MAINTENANCE YARD

DRAWING NO.

1 EXISTING ENLARGED SITE PLAN BARNSDALL / MAINTENANCE YARD

PROJECT NO: 30008
 SCALE: 1/32" = 1'-0"



- NOTES**
1. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING PLANS.
 2. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND LANDSCAPE.
 3. REFER TO CIVIL DRAWINGS FOR PROPOSED HOLLISTER / CARNEVAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS.
 4. REFER TO LANDSCAPE DRAWING FOR PROPOSED GOLF ROUTING PLANS.
 5. REFER TO CIVIL DRAWINGS FOR PROPOSED UTILITIES.
 6. REFER TO LANDSCAPE DRAWINGS FOR LIGHTING DESIGN AND SPECIFICATIONS - U.N.O..
- LEGEND**
- AREA OF WORK

WINICK ARCHITECTS

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Santa Barbara CA 93101
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www.winickarchitects.com

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NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7/20/2014
2	CONCEPTUAL DEVELOPMENT	10/10/2014
3	PRELIMINARY DEVELOPMENT	10/20/2014
4	PRELIMINARY DEVELOPMENT	10/20/2014
5	PRELIMINARY DEVELOPMENT	10/20/2014

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
GOLETA, CA. 93117

PROJECT NO: 3008

DATE: 1 OCT 2022

AS NOTED

PROPOSED SITE PLAN SETBACK DIAGRAM

DRAWING NO.

A_SP-090.1

1 PROPOSED SITE PLAN SETBACK DIAGRAM

PROJECT NO: 3008

SCALE: 1" = 150'-0"



NO. 12583 - SANTA BARBARA, CALIF. ARCHITECTS REGISTER
COURTESY OF THE CITY OF SANTA BARBARA



NO.	DESCRIPTION	DATE
1	CONCEPT DESIGN	10/20/2022
2	CONCEPT DESIGN	10/20/2022
3	PRELIMINARY DESIGN	10/20/2022
4	PRELIMINARY DESIGN	10/20/2022
5	PRELIMINARY DESIGN	10/20/2022

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA. 93117

PROJECT NO.	DATE	DESIGN BY
30308	1 OCT 2022	GLF

**PROPOSED ENLARGED
SITE PLAN CLUB HOUSE**

(DRAWING NO.)

1 PROPOSED ENLARGED SITE PLAN CLUB HOUSE

PROJECT NO. 30308
SCALE: 1/32" = 1'-0"



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NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SCHEMATIC	7/20/2022
2	CONCEPTUAL SITE PLAN	10/20/2022
3	PRELIMINARY SCHEMATIC	10/20/2022
4	PRELIMINARY SCHEMATIC	11/04/2022
5	PRELIMINARY SCHEMATIC	11/04/2022

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA. 93117

PROJECT NO.	DATE	DESIGN BY
53038	1 OCT 2022	GSJ

**PROPOSED ENLARGED
SITE PLAN COMFORT ST.**

(DRAWING NO.)

1 PROPOSED ENLARGED SITE PLAN COMFORT STATION

PROJECT NO. 53038
SCALE: 1/32" = 1'-0"

A_SP-092



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NO.	ISSUE / REVISION	DATE
1	CONCEPT DESIGN	17 JUL 2022
2	CONCEPT AS SHOWN	19 JUL 2022
3	PRELIMINARY DESIGN	19 JUL 2022
4	FINAL PRELIMINARY DESIGN	13 JAN 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.: 53035

DATE: 1 OCT 2023

PROPOSED ENLARGED SITE PLAN BARNSDALL MAINTENANCE YARD

DRAWING NO.: A_SP-093

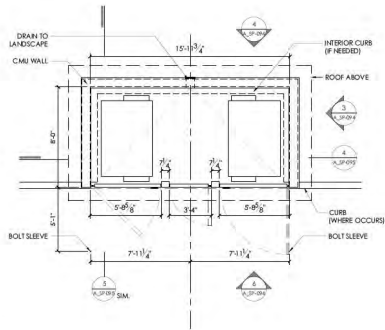
1 PROPOSED ENLARGED SITE PLAN BARNSDALL / MAINTENANCE YARD

PROJECT NO. SCALE: 1/32" = 1'-0"

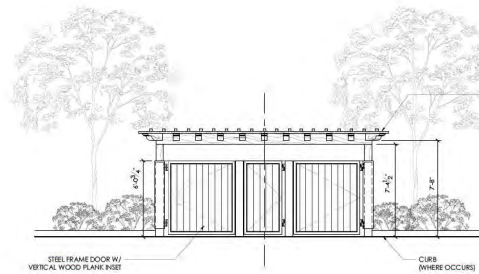


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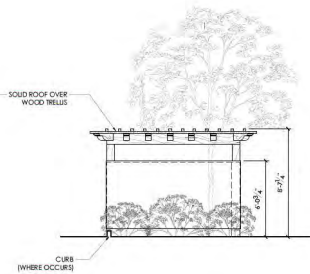
DATE: 01/10/2022



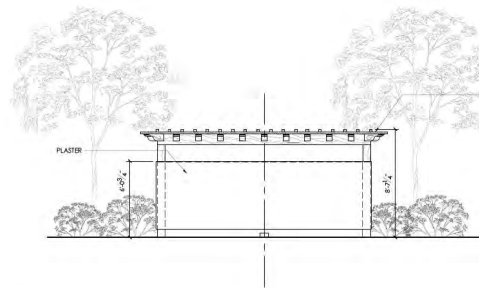
B PROPOSED TRASH ENCLOSURE TYPE B - FLOOR PLAN
 SCALE: 1/4" = 1'-0" PROJECT N



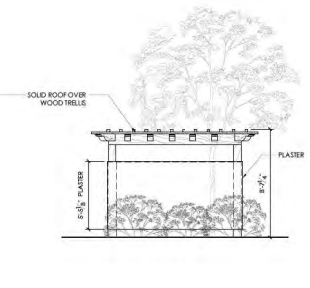
6 TRASH ENCL. FRONT ELEVATION - TYPE B
 SCALE: 1/4" = 1'-0"



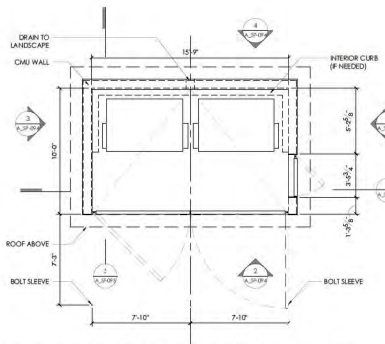
5 TRASH ENCL. SIDE ELEVATION - TYPE B
 SCALE: 1/4" = 1'-0"



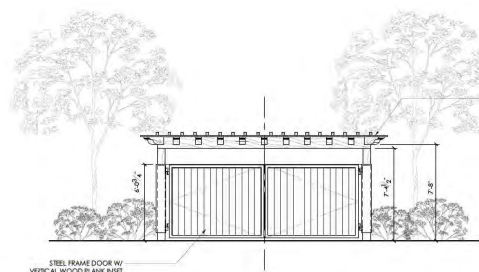
4 TRASH ENCL. REAR ELEVATION - TYPE A
 SCALE: 1/4" = 1'-0"



3 TRASH ENCL. SIDE ELEVATION - TYPE A
 SCALE: 1/4" = 1'-0"



A PROPOSED TRASH ENCLOSURE TYPE A - FLOOR PLAN
 SCALE: 1/4" = 1'-0" PROJECT N



2 TRASH ENCL. FRONT ELEVATION - TYPE A
 SCALE: 1/4" = 1'-0"



1 TRASH ENCL. SIDE ELEVATION - TYPE A
 SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7/20/2021
2	CONCEPTUAL DEVELOPMENT	12/22/2021
3	PER SAN MATEO COUNTY	12/22/2021
4	PER SAN MATEO COUNTY	12/22/2021
5	PER SAN MATEO COUNTY	01/10/2022

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
30008	1 OCT 2022	CL

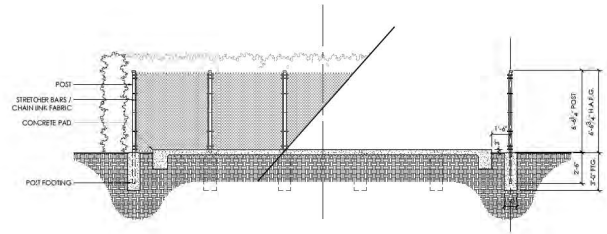
SITE ENCLOSURES PROPOSED TRASH PLAN AND ELEVATIONS

DRAWING NO.

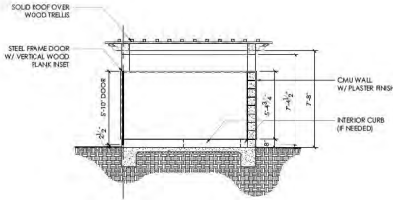


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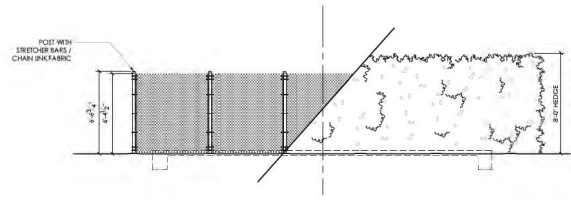
DATE: 10/20/22



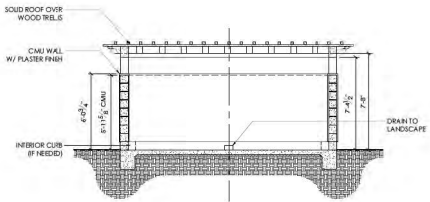
2 UTILITY ENCL. SIDE ELEVATION SCALE: 1/4" = 1'-0"



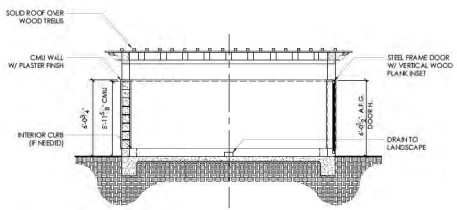
5 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"



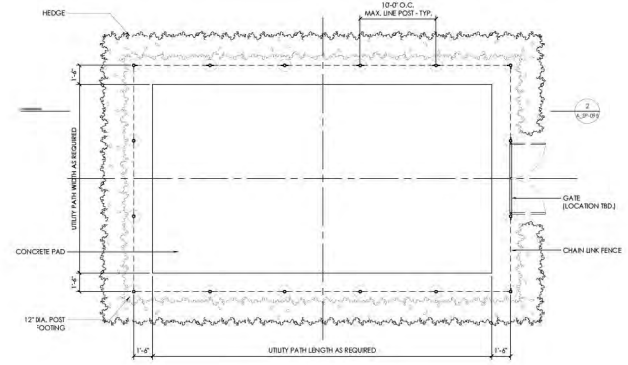
1 UTILITY ENCL. ELEVATION SCALE: 1/4" = 1'-0"



4 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"



3 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"



A PROPOSED UTILITY ENCLOSURE - FLOOR PLAN SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 NOV 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	PRELIMINARY DEVELOPMENT	14 OCT 2022
4	PRELIMINARY DEVELOPMENT	13 JUL 2022
5	PRELIMINARY DEVELOPMENT	07 APR 2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO: 3008
 DATE: 1 OCT 2022
 DRAWN BY: CL

SITE ENCLOSURE PROPOSED UTILITY PLAN AND ELEVATIONS

KEYNOTES

- | | | | | |
|--|--|--|---|----|
| 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED | 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED | 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CHG. SHEETS | 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED | 13 |
| 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED | 5 (E) CONCRETE PAD TO REMAIN / RESTORED | 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED | 11 (E) OPENING TO BE REMOVED AND STORED FOR FUTURE USE | 14 |
| 3 (E) CONCRETE BASE FOR SIGN POST (7' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A_B-101 | 6 (E) PLASTER COLUMN, WOOD BEAM AND CORBELS TO REMAIN / RESTORED | 9 (E) ROOF CURFLA TO REMAIN / RESTORED | 12 (E) MOLDINGS TO REMAIN / RESTORE | 15 |

DEMO NOTES

- EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- EXISTING OPENINGS TO REMAIN / RESTORED (S.H.O.)

NOTES

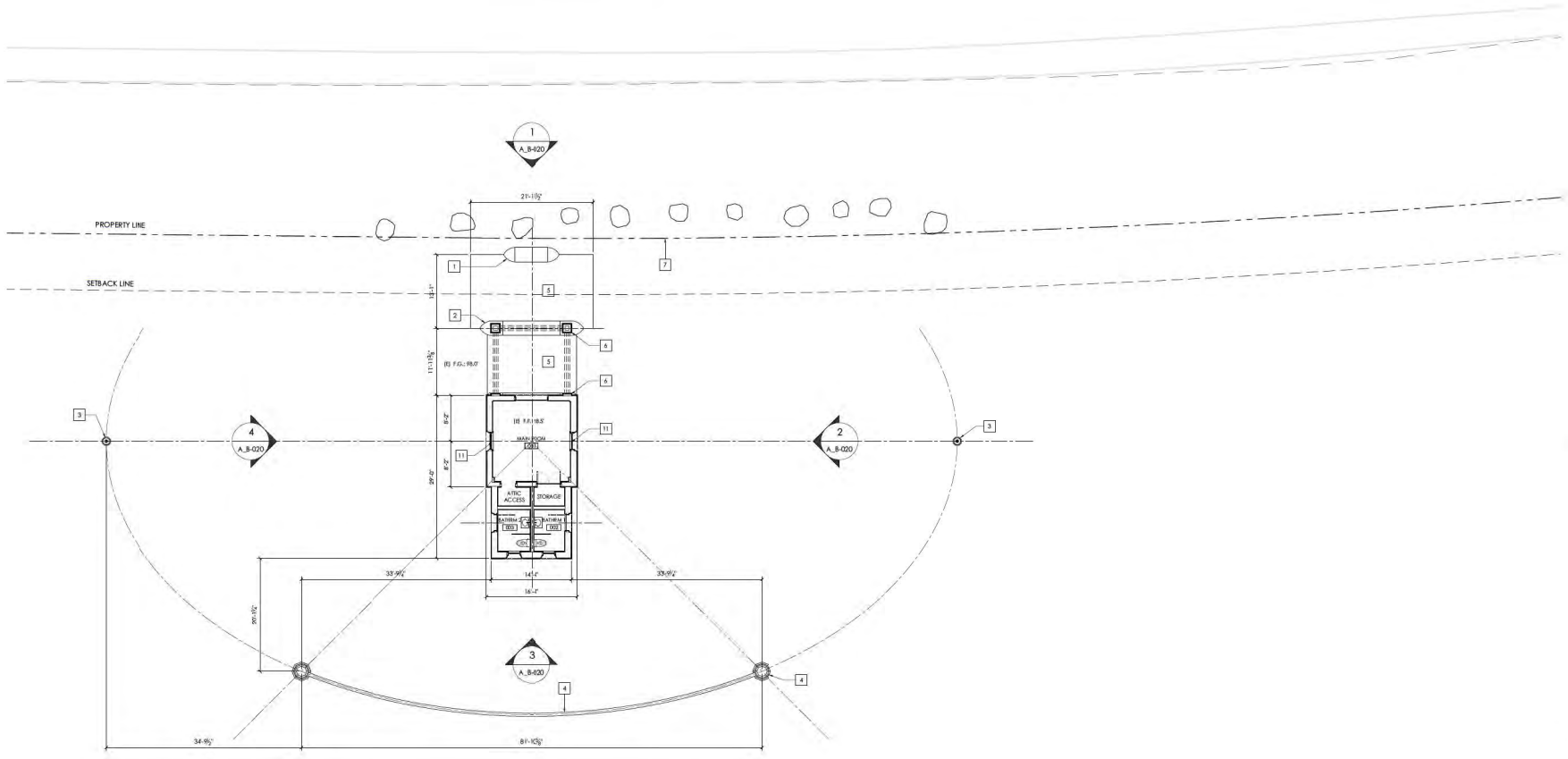
- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL REVISIONS	7 MAR 2022
2	CONCEPTUAL REVISIONS	19 JUL 2022
3	REV. FOR PERMITS REVISIONS	16 SEP 2022
4	REV. FOR PERMITS REVISIONS	18 JAN 2023
5	REVISIONS	07 APR 2023

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA. 93117

PROJECT NO.	3008
DATE	1 OCT 2022
SCALE	AS NOTED
DRAWN BY	CL

EXISTING BARNSDALL FLOOR PLAN

DRAWING NO.

1 EXISTING BARNSDALL FLOOR PLAN

PROJECT NO.
 SCALE: 1/8" = 1'-0"

KEYNOTES

- | | | | | |
|--|--|--|---|----|
| 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED | 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED | 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CIVIL DWGS. | 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED | 13 |
| 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED | 5 (E) CONCRETE PAD TO REMAIN / RESTORED | 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED | 11 (E) OPENING TO BE REMOVED AND STORED FOR FUTURE USE | 14 |
| 3 (E) CONCRETE BASE FOR SIGN POST (7' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A_B-101 | 6 (E) PLASTER COLUMN, WOOD BEAM AND CORBELS TO REMAIN / RESTORED | 9 (E) ROOF CURFLA TO REMAIN / RESTORED | 12 (E) MOLDINGS TO REMAIN / RESTORE | 15 |

DEMO NOTES

- EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- EXISTING OPENINGS TO REMAIN / RESTORED (S.H.O.)

NOTES

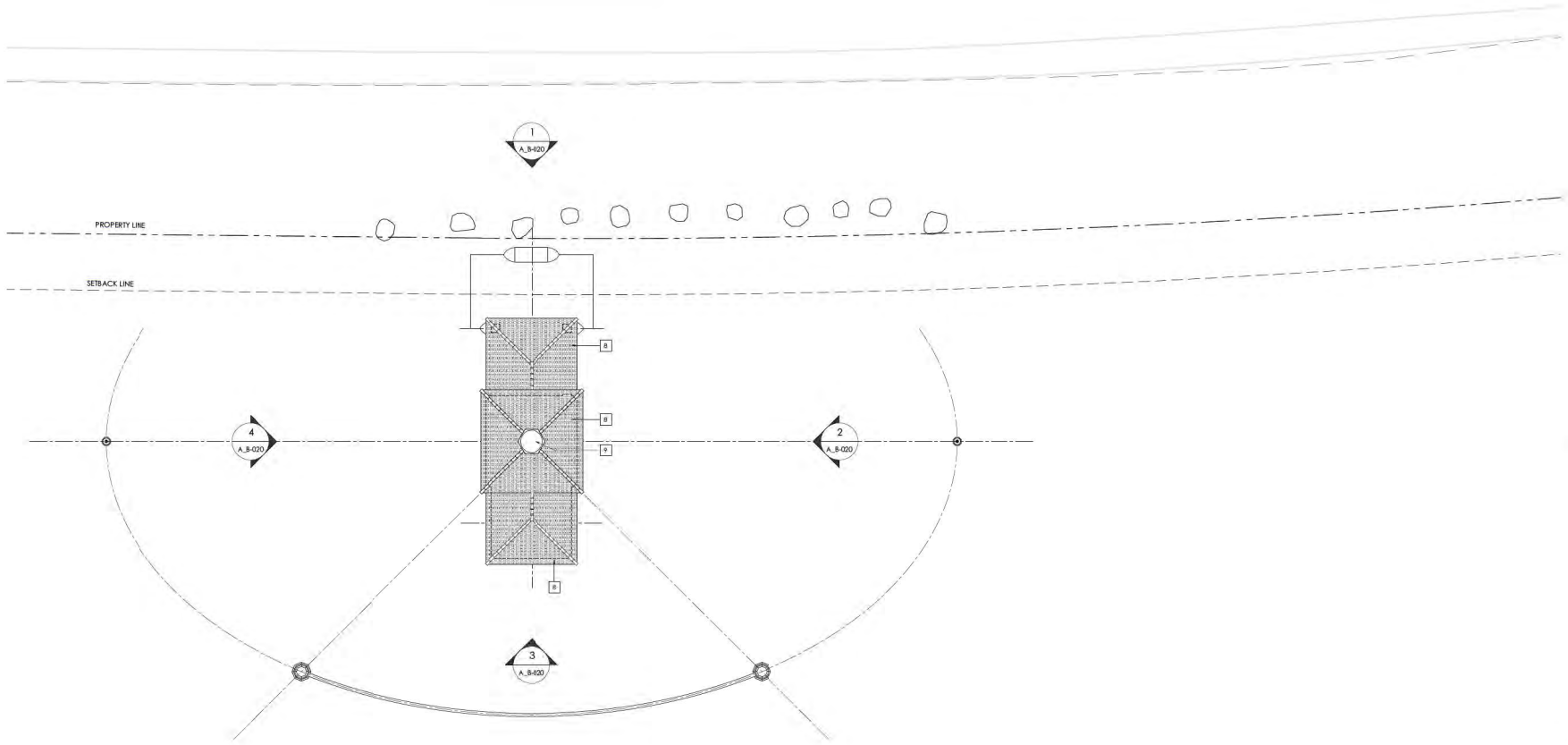
- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 MAR 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	DEVELOPMENTAL	18 OCT 2022
4	DEVELOPMENTAL	18 OCT 2022
5	DEVELOPMENTAL	18 OCT 2022

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA. 93117

PROJECT NO.	30008
SCALE	DATE
AS NOTED	1 OCT 2022
DATE	02

EXISTING BARNSDALL ROOF PLAN

DRAWING NO.

1 EXISTING BARNSDALL ROOF PLAN

PROJECT NO. 30008
 SCALE 1/8" = 1'-0"

KEYNOTES

- | | | | | |
|---|---|---|---|----|
| 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED | 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED | 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CHG. DWGS. | 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED | 13 |
| 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED | 5 (E) CONCRETE PAD TO REMAIN / RESTORED | 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED | 11 (E) OPENING TO BE REMOVED AND STORED FOR FUTURE USE | 14 |
| 3 (E) CONCRETE BASE FOR SIGN POST (7' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A, B-101 | 6 (E) PLASTER COLUMNS, WOOD BEAM AND CORBELS TO REMAIN / RESTORED | 9 (E) ROOF CURILA TO REMAIN / RESTORED | 12 (E) MOLDINGS TO REMAIN / RESTORED | 15 |

DEMO NOTES

- EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- EXISTING OPENINGS TO REMAIN / RESTORED (S.H.O.)

NOTES

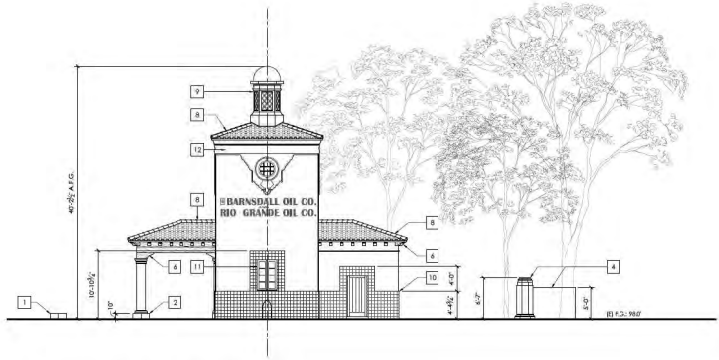
- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMEWORK.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

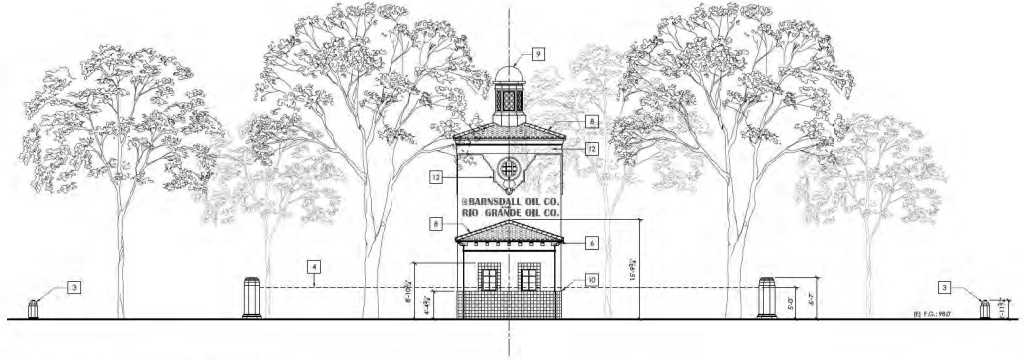
- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL



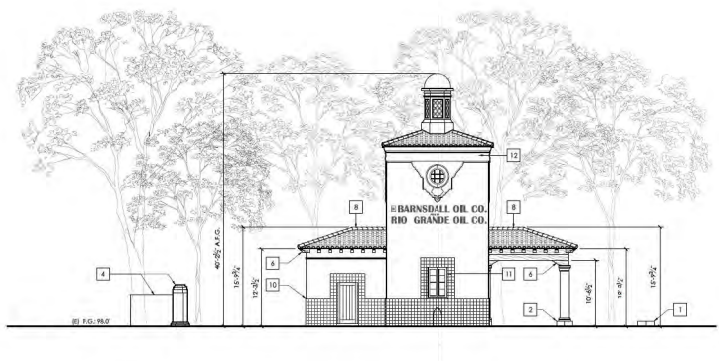
© 2022 WINICK ARCHITECTS, ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF WINICK ARCHITECTS.



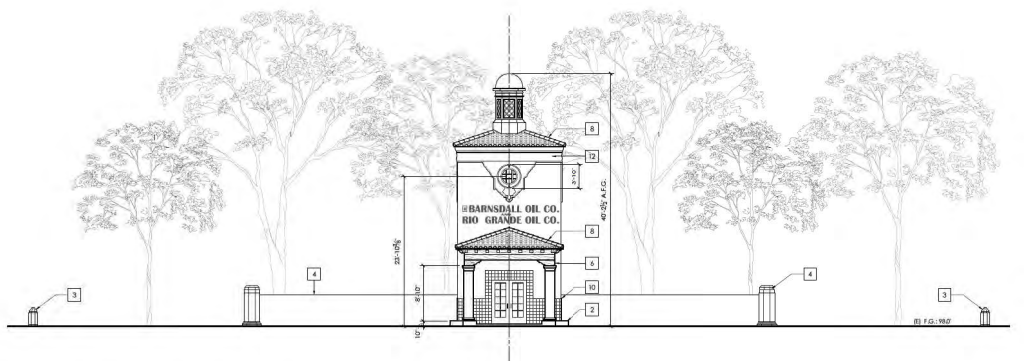
4 EXISTING BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



3 EXISTING BARNSDALL SOUTH ELEVATION SCALE 1/8" = 1'-0"



2 EXISTING BARNSDALL EAST ELEVATION SCALE 1/8" = 1'-0"



1 EXISTING BARNSDALL NORTH ELEVATION SCALE 1/8" = 1'-0"

NO.	DATE / REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 FEB 2022
2	CONCEPTUAL DEVELOPMENT	12 JUL 2022
3	PRELIMINARY DEVELOPMENT	14 SEP 2022
4	PRELIMINARY DEVELOPMENT	18 JAN 2023
5	PRELIMINARY DEVELOPMENT	27 APR 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
GOLETA, CA 93117

PROJECT NO: 30008
SCALE: AS NOTED
DATE: 1 OCT 2022
DRAWN BY: CL

EXISTING BARNSDALL EXTERIOR ELEVATIONS

DRAWING NO.



BY: WINICK ARCHITECTS, INC. THESE DOCUMENTS REPRESENT OUR BEST AND MOST COMPLETE DESIGN AND CONSTRUCTION DOCUMENTS.
 CONTRACT NO. WAC 17-17-0000-0001
 DATE: 07/20/2022

KEYNOTES

- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (2' H. APPROX.) TO BE RESTORED
- 4 (E) PLASTER / 2' H. SIDE WALL
- 5 (N) VINTAGE GAS PUMPS BENCH FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CDP STANDARDS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN LANSKAP FOR HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD, REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (N) FENCE (W/ HOSE W/WHY HOTTER) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE-OUT WINDOW
- 18 (N) HARDSCAPE

- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32' (APPROX. 512 SF))
- 24 (E) CERAMIC TILES TO BE RESTORED
- 25 (E) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 26 (N) PLASTER PARAPET
- 27 (E) CONCRETE PAD TO BE RESTORED
- 28 (E) ROOF TILES TO BE RESTORED
- 29 (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 30 (E) ROOF CURPALLA TO BE RESTORED
- 31 (N) HOLDINGS TO MATCH EXISTING
- 32 (E) OPENINGS TO MATCH EXISTING

- 33 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 34 (N) BICYCLE ENCLOSURE: FENCED, COVERED AND LOCKED
- 35 (E) WALL TO REPAIR
- 36 (N) WALL

NOTES

1. DIMENSIONS ARE GIVEN TO GROUNDS WHEREVER POSSIBLE.
2. GROUNDS AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF RAILING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL
- (E) WALL TO REPAIR
- (N) WALL



NO.	DESCRIPTION	DATE
1	CONCEPTUAL SCHEMATIC	7/20/2022
2	CONCEPTUAL SCHEMATIC	08/01/2022
3	PRELIMINARY SCHEMATIC	09/08/2022
4	PRELIMINARY SCHEMATIC	01/04/2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

SCALE	DATE	DRAWN BY
AS NOTED	7/24/2022	CSJ

PROPOSED BARNSDALL (N) RIO GRANDE CAFE FLOOR PLAN

DATE: 07/20/2022

1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE FLOOR PLAN

PROJECT NO. 33038
 SCALE 1/8" = 1'-0"

KEYNOTES

- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (5' H. APPROX.) TO BE RESTORED
- 4 (E) PLASTER / S/H. SFE WALL
- 5 (N) VINAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CIVIL DRAWINGS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN STRACK FOR HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD, REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (N) FENCE (W/ HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (S) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE OUT WINDOW
- 18 (N) HARDSCAPE

- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32' (APPROX. 512 SF) (E) CERAMIC TILES TO BE RESTORED (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 24 (N) BIKE PATH
- 25 (N) PLASTER PARAPET
- 26 (E) CONCRETE PAD TO BE RESTORED
- 27 (E) ROOF FILES TO BE RESTORED (N) ROOF FILES TO MATCH EXISTING WHEN NECESSARY
- 28 (E) ROOF CUPOLA TO BE RESTORED
- 29 (N) HOLDINGS TO MATCH EXISTING
- 30 (N) OPENINGS TO MATCH EXISTING

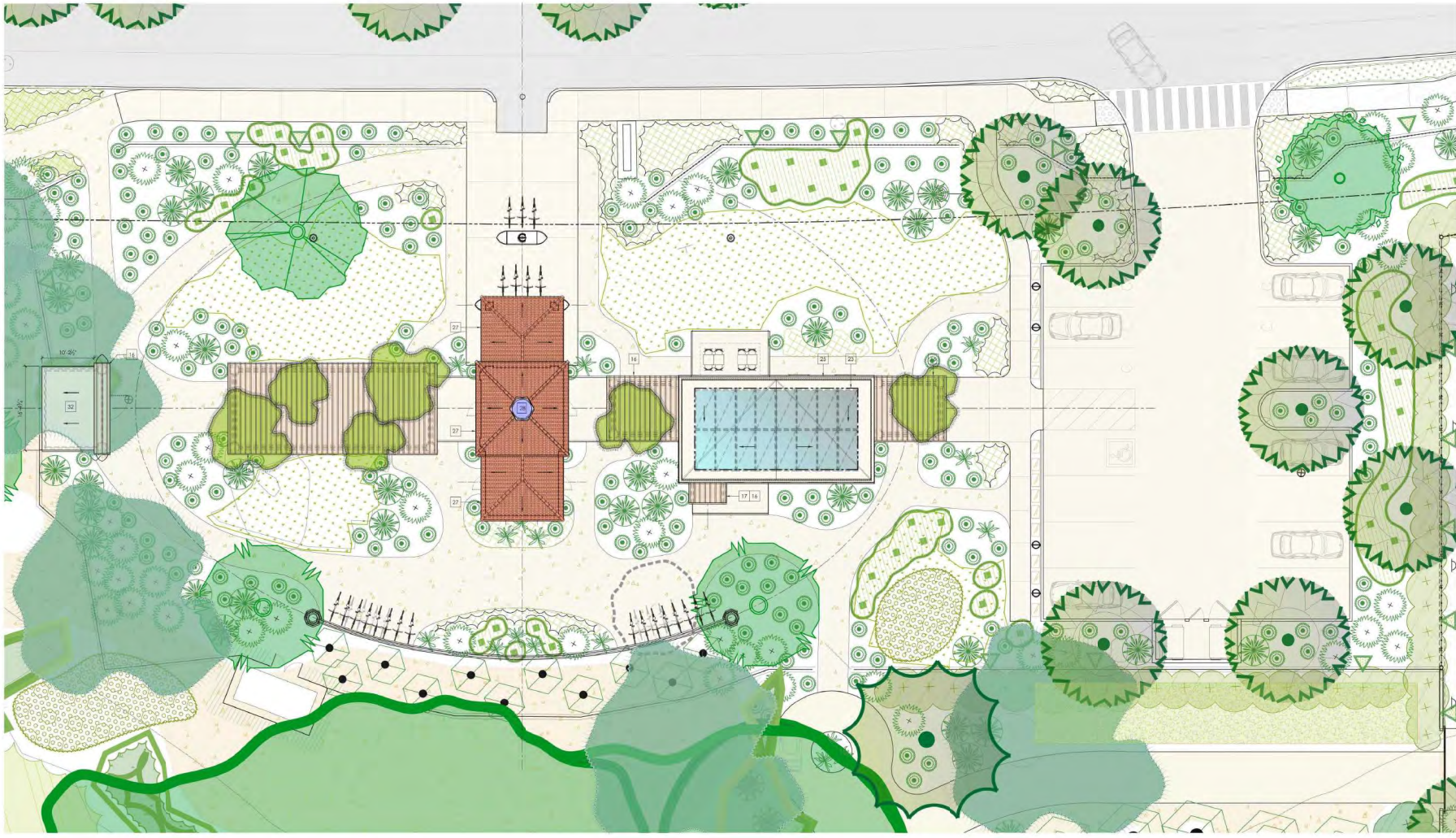
- 31 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 32 (N) BICYCLE ENCLOSURE: FENCED, COVERED AND LOCKED
- 33 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 34 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 35 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 36 (E) OPENINGS TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING

NOTES

1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FINISHING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL
- (E) WALL TO REPAIR
- (N) WALL



NO.	DATE	REVISION	BY
1	7/20/2023	CONCEPTUAL SCHEMATIC	AS
2	20/01/2023	PRELIMINARY SCHEMATIC	AS
3	11/04/2023	PRELIMINARY SCHEMATIC	AS
4	01/04/2023	PRELIMINARY SCHEMATIC	AS

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA, 93117

PROJECT NO.: 30003
 SCALE: AS SHOWN DATE: 1/04/2023 DRAWN BY: GJ

PROPOSED BARNSDALL (N) RIO GRANDE CAFE ROOF PLAN

DRAWING NO.:

1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE ROOF PLAN

PROJECT NO. 30003
 SCALE 1/8" = 1'-0"

KEYNOTES

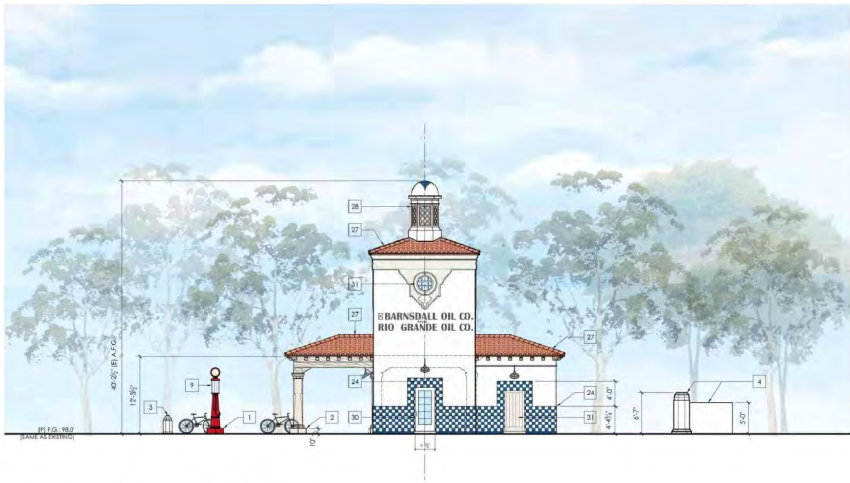
- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (IF APPLICABLE) TO BE RESTORED
- 4 (E) PLASTER / S.H. SIDE WALL
- 5 (E) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (E) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (E) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS
- 9 (E) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SETBACK PER HISTORICAL REFERENCE.
- 10 (E) NOT USED
- 11 (E) BICYCLE CURB CUT, ENTRY DRIVEWAY (W/ BOLLARD) REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (E) FENCE (W/ HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE-OUT WINDOW
- 18 (N) HARDSCAPE
- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 (N) NOT USED
- 23 (N) IN AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32' (APPROX. 512 SF))
- 24 (E) CERAMIC TILES TO BE RESTORED
- 25 (E) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 26 (E) PLASTER PARAPET
- 27 (E) CONCRETE PAD TO BE RESTORED
- 28 (E) ROOF TILES TO BE RESTORED
- 29 (E) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 30 (E) ROOF COPULA TO BE RESTORED
- 31 (E) HOLDINGS TO MATCH EXISTING
- 32 (E) OPENING TO MATCH EXISTING
- 33 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 34 (E) BICYCLE ENCLOSURE FINISHED, COVERED AND LOCKED
- 35 (E) NOT USED
- 36 (E) NOT USED
- 37 (E) NOT USED
- 38 (E) NOT USED
- 39 (E) NOT USED
- 40 (E) NOT USED

NOTES

1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (E) WALL



3 PROPOSED BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



2 PROPOSED BARNSDALL EAST ELEVATION SCALE 1/8" = 1'-0"



1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE NORTH ELEVATION SCALE 1/8" = 1'-0"

NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7/20/2022
2	CONCEPTUAL DEVELOPMENT	10/20/2022
3	PRELIMINARY DEVELOPMENT	10/20/2022
4	PRELIMINARY DEVELOPMENT	11/24/2022
5	PRELIMINARY DEVELOPMENT	01/24/2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.: 30008
 DATE: 1 OCT 2022
 DRAWN BY: GJF

PROPOSED BARNSDALL (N) RIO GRANDE CAFE ELEVATIONS

DATE: 1 OCT 2022

KEYNOTES

- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST
- 4 (E) PLASTER / S.H. SIDE WALL
- 5 (N) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SITEBACK PER HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURBS CUT, ENTRY DRIVEWAY (W/ BOLLARD, REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (E) FENCE (W/ HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD BATTERS
- 17 (N) TAKE OUT WINDOW
- 18 (N) HARDSCAPE
- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32') (APPROX. 512 SF)
- 24 (E) CERAMIC TILES TO BE RESTORED
- 25 (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 26 (N) PLASTER PARAPET
- 28 (E) CONCRETE PAD TO BE RESTORED
- 27 (E) ROOF TILES TO BE RESTORED
- 29 (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 30 (E) ROOF COPULA TO BE RESTORED
- 31 (N) MOLDINGS TO MATCH EXISTING
- 32 (N) OPENING TO MATCH EXISTING
- 31 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 32 (N) BICYCLE ENCLOSURE: FENCED, COVERED AND LOCKED
- 33 (E) ROOF TILES TO BE RESTORED
- 34 (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 35 (E) ROOF COPULA TO BE RESTORED
- 36 (N) MOLDINGS TO MATCH EXISTING
- 37 (N) OPENING TO MATCH EXISTING

NOTES

1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (E) TO BE REMOVED
- (N) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (N) WALL



3 PROPOSED BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



2 PROPOSED (N) RIO GRANDE CAFE EAST ELEVATION SCALE 1/8" = 1'-0"



1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE SOUTH ELEVATION SCALE 1/8" = 1'-0"

NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SCHEMATIC	7/20/2022
2	CONCEPTUAL SCHEMATIC	26 JUL 2022
3	SPC BARNSDALL SCHEMATIC	26 JUL 2022
4	SPC BARNSDALL SCHEMATIC	27 JUL 2022
5	SPC BARNSDALL SCHEMATIC	27 JUL 2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	DESIGN BY
30008	1 OCT 2022	CSF

PROPOSED BARNSDALL (N) RIO GRANDE CAFE ELEVATIONS

DRAWING NO.

KEYNOTES

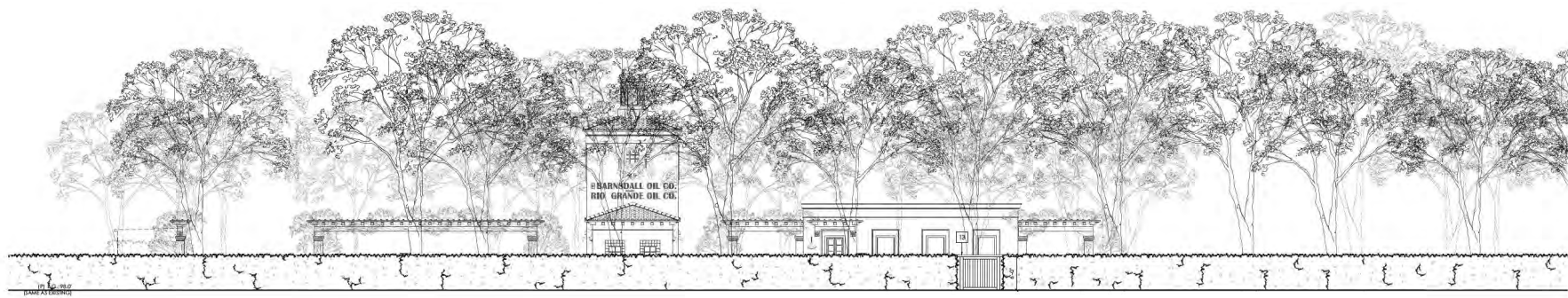
- | | | | | | |
|--|---|--|---|------------------------------------|--|
| 1 (E) SHORT PUMP ISLAND TO BE RESTORED | 7 (N) LONG PUMP ISLAND TO MATCH EXISTING | 13 (N) SECURITY GATE | 16 (N) BIKE PATH | 23 (N) PLASTER PARAPET | 31 (E) OPENING TO BE RESTORED, OR TO BE REPLACED TO MATCH EXISTING |
| 2 (E) LONG PUMP ISLAND TO BE RESTORED | 8 (E) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS | 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS | 20 (N) GOLF CART PATH | 26 (E) CONCRETE PAD TO BE RESTORED | 32 (N) BICYCLE ENCLOSURE: RENCED, COVERED AND LOCKED |
| 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (2" H APPROX) TO BE RESTORED | 9 (E) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SITEBACK PER HISTORICAL REFERENCE. | 15 (N) BIKE PARKING | 21 (N) ELECTRIC CAR CHARGING STATION | 27 (E) ROOF TILES TO BE RESTORED | 33 (E) WALL TO REMAIN |
| 4 (E) PLASTER / STUCCO WALL | 10 (E) NOT USED | 18 (N) TRUSS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS | 22 (E) NOT USED | 28 (E) ROOF CURPULA TO BE RESTORED | 34 (E) WALL |
| 5 (N) VINTAGE GAS PUMPS REFER FOR ELECTRIC BICYCLE CHARGING STATIONS | 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD, REFER TO CIVIL / LANDSCAPE DRAWINGS. | 17 (N) TAKE-OUT WINDOW | 25 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32' (APPROX. 512 SF)) | 29 (N) MOLDINGS TO MATCH EXISTING | 35 (E) OPENING TO MATCH EXISTING |
| 6 (N) WOOD COLUMN TO MATCH EXISTING | 12 (E) FENCE (IN HEDGE WHEN NOTED REFER TO LANDSCAPE DRAWINGS) | 18 (N) HARDSCAPE | 24 (E) CERAMIC TILES TO BE RESTORED | 30 (N) OPENING TO MATCH EXISTING | |

NOTES

- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMNS.

LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE DEMOLISH
- (E) WALL TO REMAIN
- (N) WALL



2 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE SOUTH ELEVATION (GOLF COURSE VIEW)

SCALE 1/8" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL ELEVATIONS	7 MAY 2022
2	CONCEPTUAL REVISIONS	19 JUL 2022
3	REV. TO MATERIAL SPECIFICATIONS	16 SEP 2022
4	REV. TO MATERIAL SPECIFICATIONS	16 JAN 2023
5	REVISIONS	07 APR 2023



1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE SOUTH ELEVATION (FENCE VIEW)

SCALE 1/8" = 1'-0"

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA. 93117

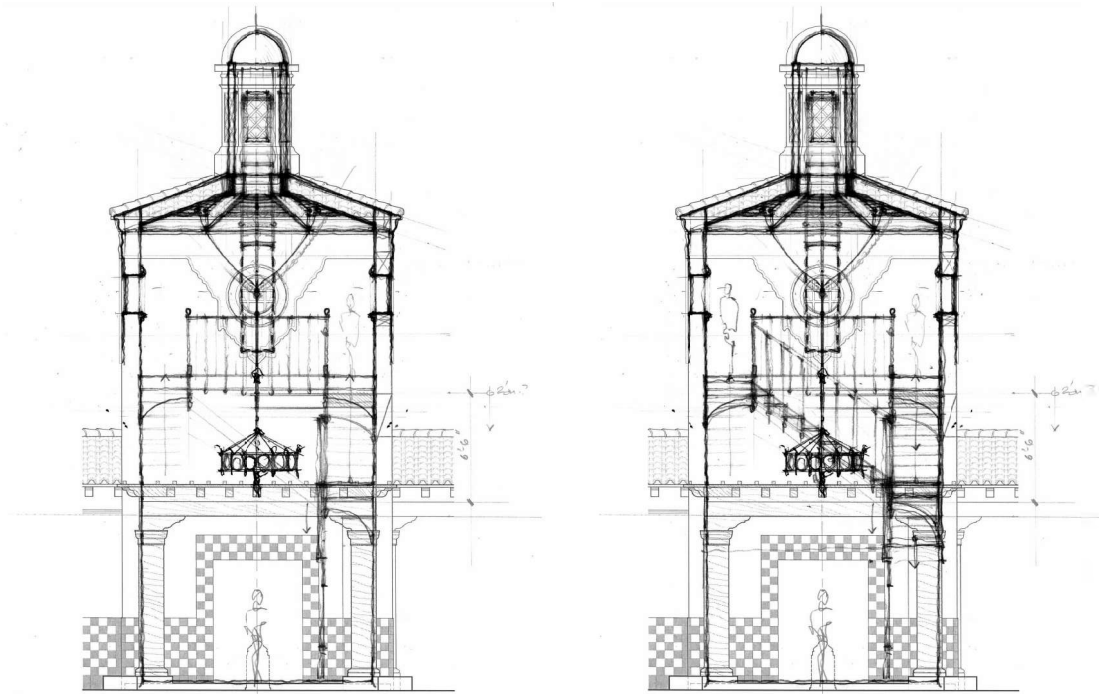
PROJECT NO: 30008
 DATE: 1 OCT 2022
 DRAWN BY: GZ

PROPOSED BARNSDALL (N) RIO GRANDE CAFE ELEVATIONS

DRAWING NO.



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 MAY 2024
2	CONCEPTUAL DEVELOPMENT	10 JUN 2024
3	REV. FOR ARCHITECTURAL	16 JUN 2024
4	REV. FOR ARCHITECTURAL	16 JUN 2024
5	REVISIONS	17 JUN 2024

SANDPIPER GOLF CLUB

7925 HOLLESTER AVE.
 GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
3008	15 APR 2024	CL

BARNSDALL CONCEPTUAL BUILDING SECTIONS

DRAWING NO.

A_B-300

DEMO NOTES

- EXISTING CLUB HOUSE, CART BARN, HARD/CAPEL TERRACES AND PAVING TO BE REMOVED

NOTES

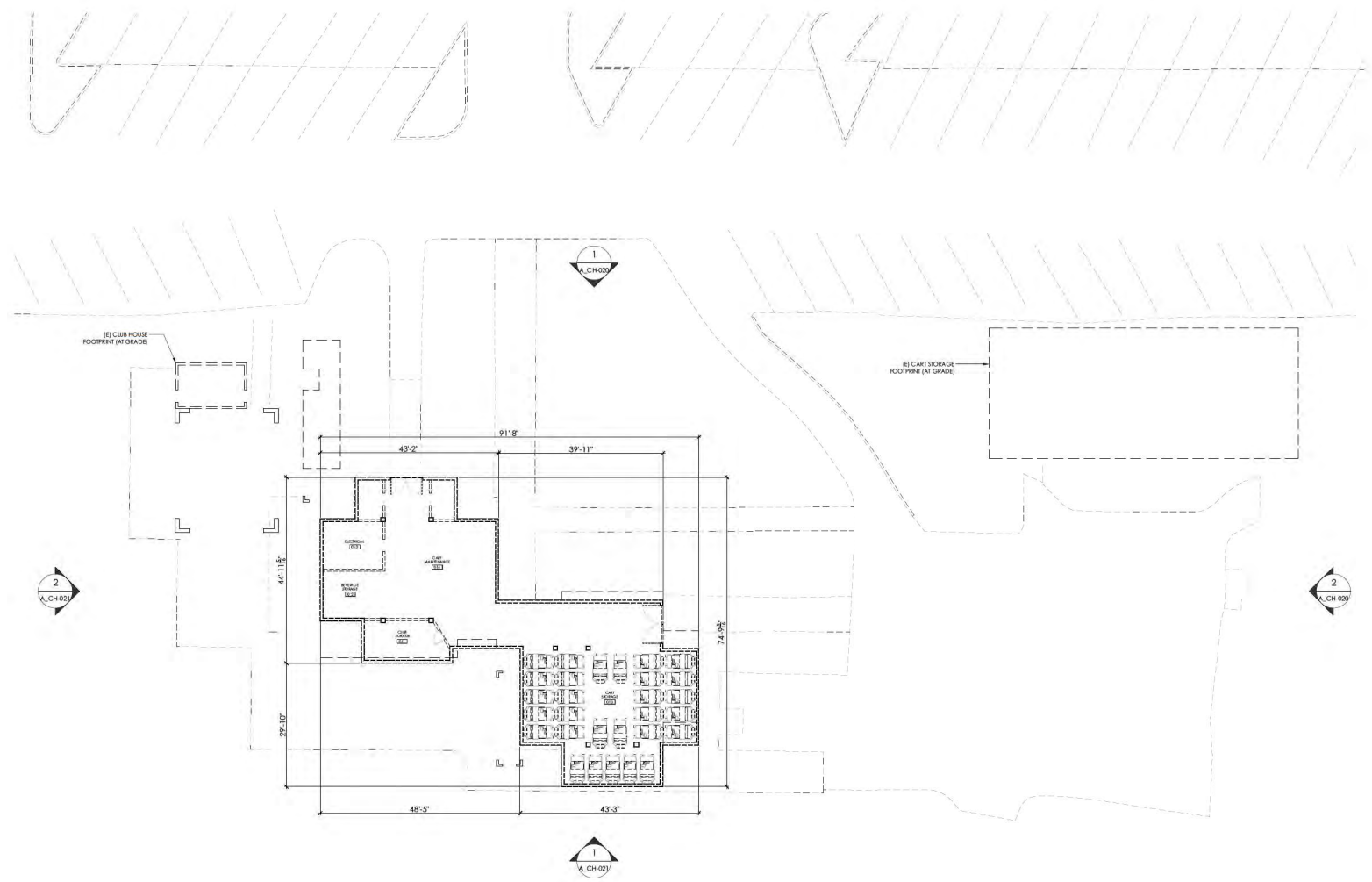
- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- (B) TO BE REMOVED
- (B) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL SCHEMATIC	7 NOV 2021
2	CONCEPTUAL SCHEMATIC	19 JUL 2022
3	PRELIMINARY SCHEMATIC	14 NOV 2022
4	PRELIMINARY SCHEMATIC	18 MAY 2023
5	PRELIMINARY SCHEMATIC	27 JUN 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA, 93117

PROJECT NO.	3008
DATE	1 OCT 2022
SCALE	AS NOTED
DRAWN BY	CL

EXISTING CLUB HOUSE BASEMENT FLOOR PLAN

DRAWING NO.

1 EXISTING CLUB HOUSE BASEMENT FLOOR PLAN

PROJECT NO. 3008
 SCALE: 3/32" = 1'-0"

DEMO NOTES

1. EXISTING CLUB HOUSE, CART BARN, HARD/CAPE, TERRACES AND PAVING TO BE REMOVED

NOTES

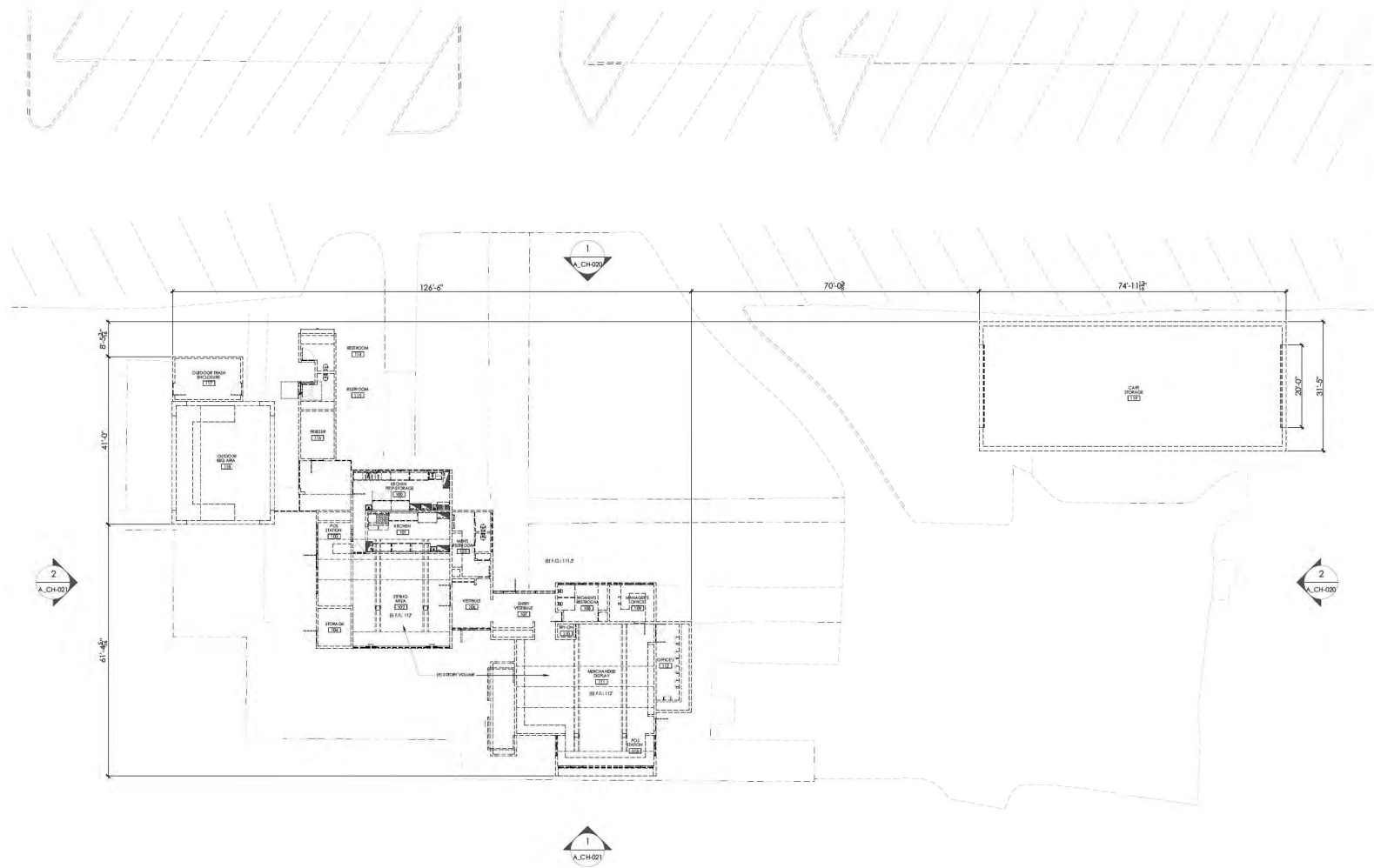
1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
 2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
 3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

--- (E) TO BE REMOVED
 --- (S) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 JUN 2022
2	CONCEPTUAL DEVELOPMENT	12 JUL 2022
3	PRELIMINARY DEVELOPMENT	14 JUL 2022
4	PRELIMINARY DEVELOPMENT	18 JUL 2022
5	PRELIMINARY DEVELOPMENT	27 JUL 2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	3008
DATE	02
AS NOTED	1 OCT 2022

EXISTING CLUB HOUSE FIRST FLOOR PLAN

(DRAWING NO.)

1 EXISTING CLUB HOUSE FIRST FLOOR PLAN

PROJECT NO. 3008
 SCALE: 3/32" = 1'-0"

DEMO NOTES

1. EXISTING CLUB HOUSE, CART BARN, HARDY/CAPE TERRACES AND PAVING TO BE REMOVED

NOTES

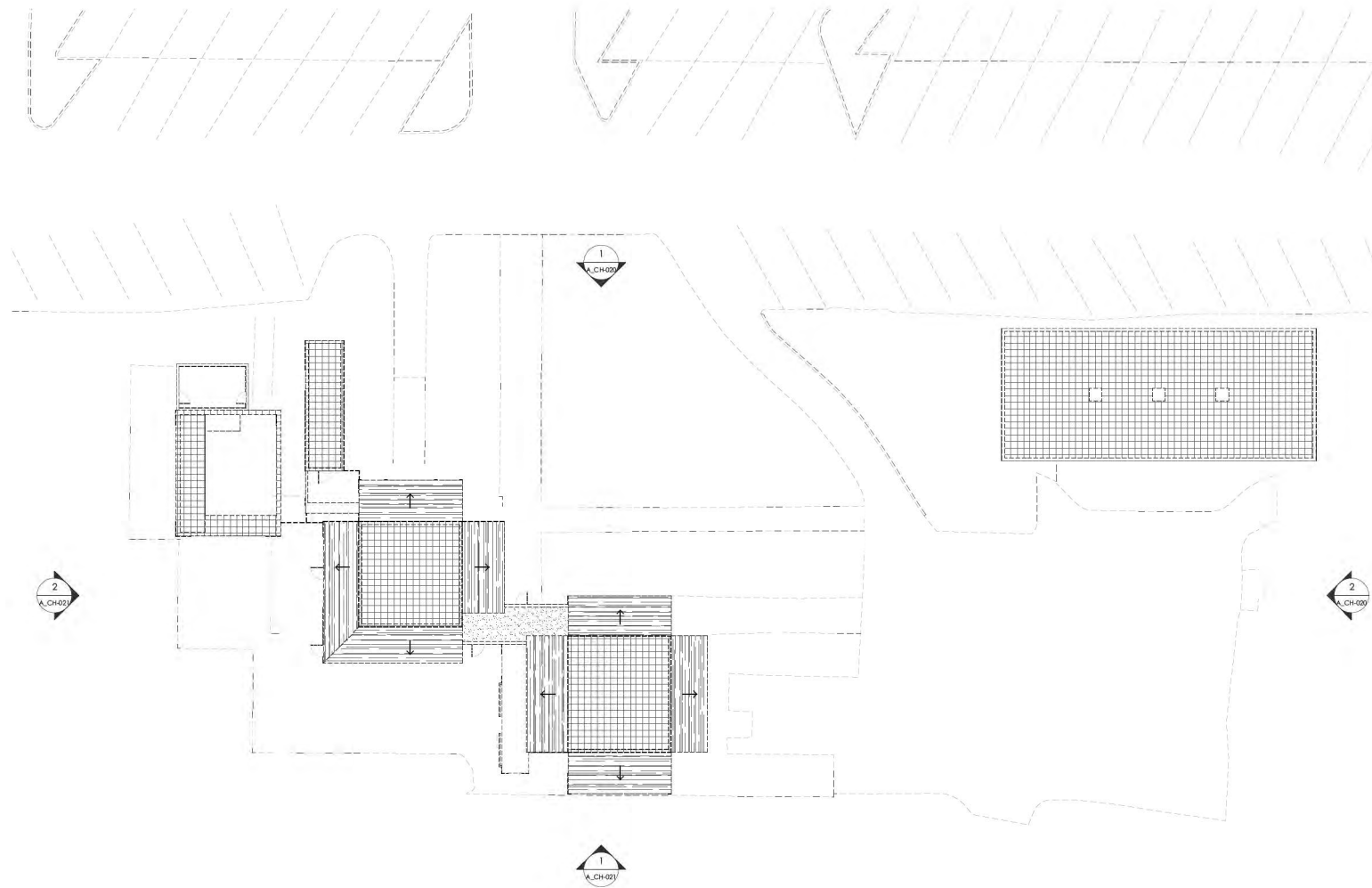
1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
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3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

--- (E) TO BE REMOVED
--- (E) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 MAR 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	PRELIMINARY DEVELOPMENT	16 NOV 2022
4	PRELIMINARY DEVELOPMENT	16 NOV 2022
5	PRELIMINARY DEVELOPMENT	17 JAN 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
3008	1 OCT 2022	CL

EXISTING CLUB HOUSE ROOF PLAN

DRAWING NO.

1 EXISTING CLUB HOUSE ROOF PLAN

PROJECT NO. 3008
SCALE: 3/32" = 1'-0"

DEMO NOTES

- EXISTING CLUB HOUSE, CART BARN, HARDSCAPE, TERRACES AND PAVING TO BE REMOVED

NOTES

- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

- ==== (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL



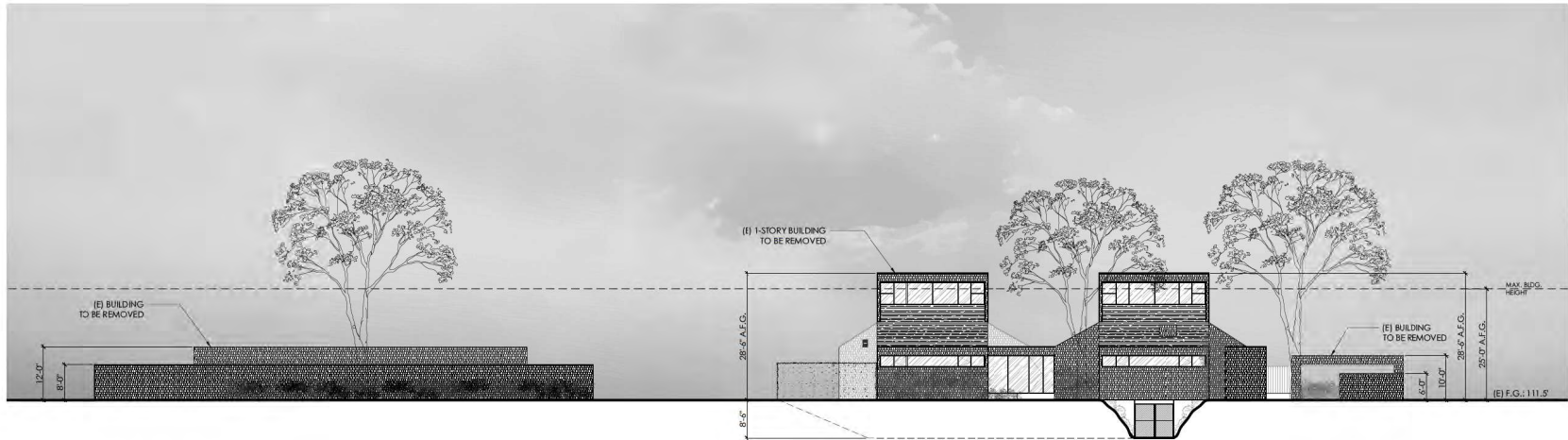
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2 EXISTING CLUB HOUSE EAST ELEVATION

SCALE: 3/32" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 NOV 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	PRELIMINARY DEVELOPMENT	16 MAR 2022
4	PRELIMINARY DEVELOPMENT	18 MAR 2022
5	PRELIMINARY DEVELOPMENT	07 APR 2022



1 EXISTING CLUB HOUSE NORTH ELEVATION

SCALE: 3/32" = 1'-0"

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	DESIGN BY
30008	1 OCT 2022	CL

EXISTING CLUB HOUSE EXTERIOR ELEVATIONS

DRAWING NO.

DEMO NOTES

1. EXISTING CLUB HOUSE, CART BARN, HARDSCAPE, TERRACES AND PAVING TO BE REMOVED

NOTES

1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
 2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
 3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

==== (E) TO BE REMOVED
 [---] (E) SELECTIVE REMOVAL



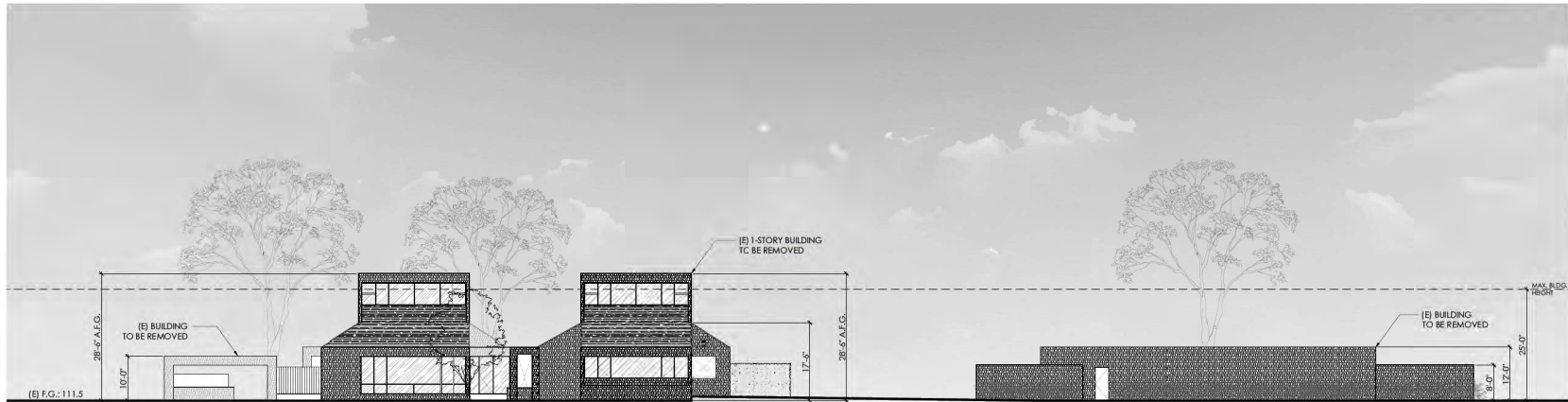
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2 EXISTING CLUB HOUSE WEST ELEVATION

SCALE: 3/32" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 NOV 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	PRELIMINARY DEVELOPMENT	16 NOV 2022
4	PRELIMINARY DEVELOPMENT	16 NOV 2022
5	PRELIMINARY DEVELOPMENT	17 NOV 2022



1 EXISTING CLUB HOUSE SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
30008	1 OCT 2022	CL

EXISTING CLUB HOUSE EXTERIOR ELEVATIONS

DRAWING NO.



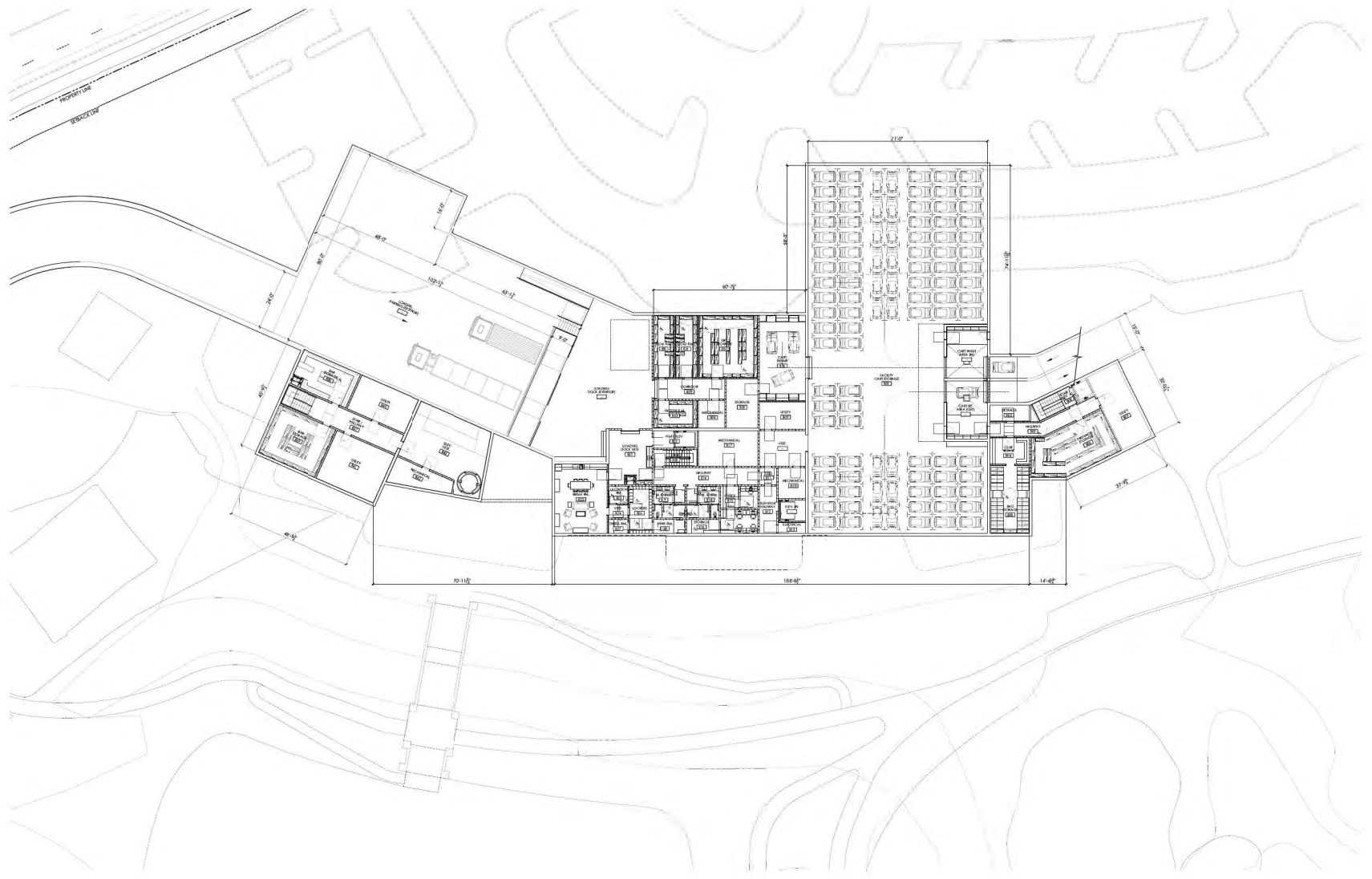
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NOTES

1. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING PLANS
2. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND LANDSCAPE
3. REFER TO CIVIL DRAWINGS FOR PROPOSED HOLLISTER / CAHEDRAL OASIS TRAFFIC INFORMATION AND ADJUSTMENTS
4. REFER TO LANDSCAPE DRAWING FOR PROPOSED GOLF ROUTING PLANS
5. REFER TO CIVIL DRAWINGS FOR PROPOSED UTILITIES
6. REFER TO LANDSCAPE DRAWINGS FOR LIGHTING DESIGN AND SPECIFICATIONS - U.I.N.O.

LEGEND

AREA OF WORK



NO.	REVISION	DATE
1	CONCEPTUAL SCHEMATIC	7/20/2022
2	CONCEPTUAL SCHEMATIC	10/10/2022
3	PRELIMINARY SCHEMATIC	10/20/2022
4	PRELIMINARY SCHEMATIC	10/24/2022
5	PRELIMINARY SCHEMATIC	11/01/2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	30008
DATE	1 OCT 2022
DRAWN BY	CL

PROPOSED CLUB HOUSE BASEMENT FLOOR PLAN

A_CH-100

1 PROPOSED CLUB HOUSE BASEMENT FLOOR PLAN

PROJECT
 SCALE: 1/16" = 1'-0"



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NOTES

1. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING PLANS
2. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND LANDSCAPE
3. REFER TO CIVIL DRAWINGS FOR PROPOSED HOLLISTER / CATHEDRAL OASIS TRAFFIC INFORMATION AND ADJUSTMENTS
4. REFER TO LANDSCAPE DRAWING FOR PROPOSED GOLF ROUTING PLANS
5. REFER TO CIVIL DRAWINGS FOR PROPOSED UTILITIES
6. REFER TO LANDSCAPE DRAWINGS FOR LIGHTING DESIGN AND SPECIFICATIONS - U.N.O.

LEGEND

□ AREA OF WORK



NO.	DATE / REVISION	DATE
1.	CONCEPTUAL DESIGN	12/05/2021
2.	CONCEPTUAL DESIGN	03/01/2022
3.	PRELIMINARY DESIGN	08/09/2022
4.	PRELIMINARY DESIGN	10/04/2022
5.	PRELIMINARY DESIGN	07/04/2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

PROJECT NO.	30320
SCALE	AS SHOWN
DATE	1 OCT 2022
DRAWN BY	CLZ

PROPOSED CLUB HOUSE FIRST FLOOR PLAN

DRAWING NO.

A_CH-101

1 PROPOSED CLUB HOUSE FIRST FLOOR PLAN

PROJECT: SANDPIPER GOLF CLUB
 SCALE: 1/16" = 1'-0"



BY: WINICK ARCHITECTS, INC. A REGISTERED PROFESSIONAL CORPORATION AND A TITLE 17 OF THE STATE BAR OF CALIFORNIA
 CONTRACT NO.

- NOTES**
1. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING PLANS
 2. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND LANDSCAPE
 3. REFER TO CIVIL DRAWINGS FOR PROPOSED HOLLISTER / CATHEDRAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS
 4. REFER TO LANDSCAPE DRAWING FOR PROPOSED GOLF ROUTING PLANS
 5. REFER TO CIVIL DRAWINGS FOR PROPOSED UTILITIES
 6. REFER TO LANDSCAPE DRAWINGS FOR LIGHTING DESIGN AND SPECIFICATIONS - U.A.O.
- LEGEND**
- AREA OF WORK



NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL DESIGN	17 JUL 2022
2	CONCEPTUAL DESIGN	26 JUL 2022
3	PRELIMINARY DESIGN	24 SEP 2022
4	PRELIMINARY DESIGN	23 JAN 2023
5	PRELIMINARY DESIGN	27 JAN 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	DATE	DESIGN BY
30028	1 OCT 2022	GLF

PROPOSED CLUB HOUSE ROOF PLAN

DRAWING NO.

A_CH-120

1 PROPOSED CLUB HOUSE ROOF PLAN

PROJECT NO. 30028
 SCALE: 1/16" = 1'-0"



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NO.	REVISION	DATE
1	CONCEPTUAL ELEVATIONS	7 NOV 2022
2	CONCEPTUAL REVISIONS	19 JAN 2023
3	REV. FOR MATERIAL SELECTION	16 FEB 2023
4	REV. FOR MATERIAL SELECTION	18 MAR 2023
5	REVISIONS	07 APR 2023

SANDPIPER GOLF CLUB

7925 HOLLETER AVE.
 GOLETA, CA. 93117

PROJECT NO. 30008
 DATE 1 OCT 2022
 DRAWN BY CL

PROPOSED CLUB HOUSE EXTERIOR ELEVATIONS

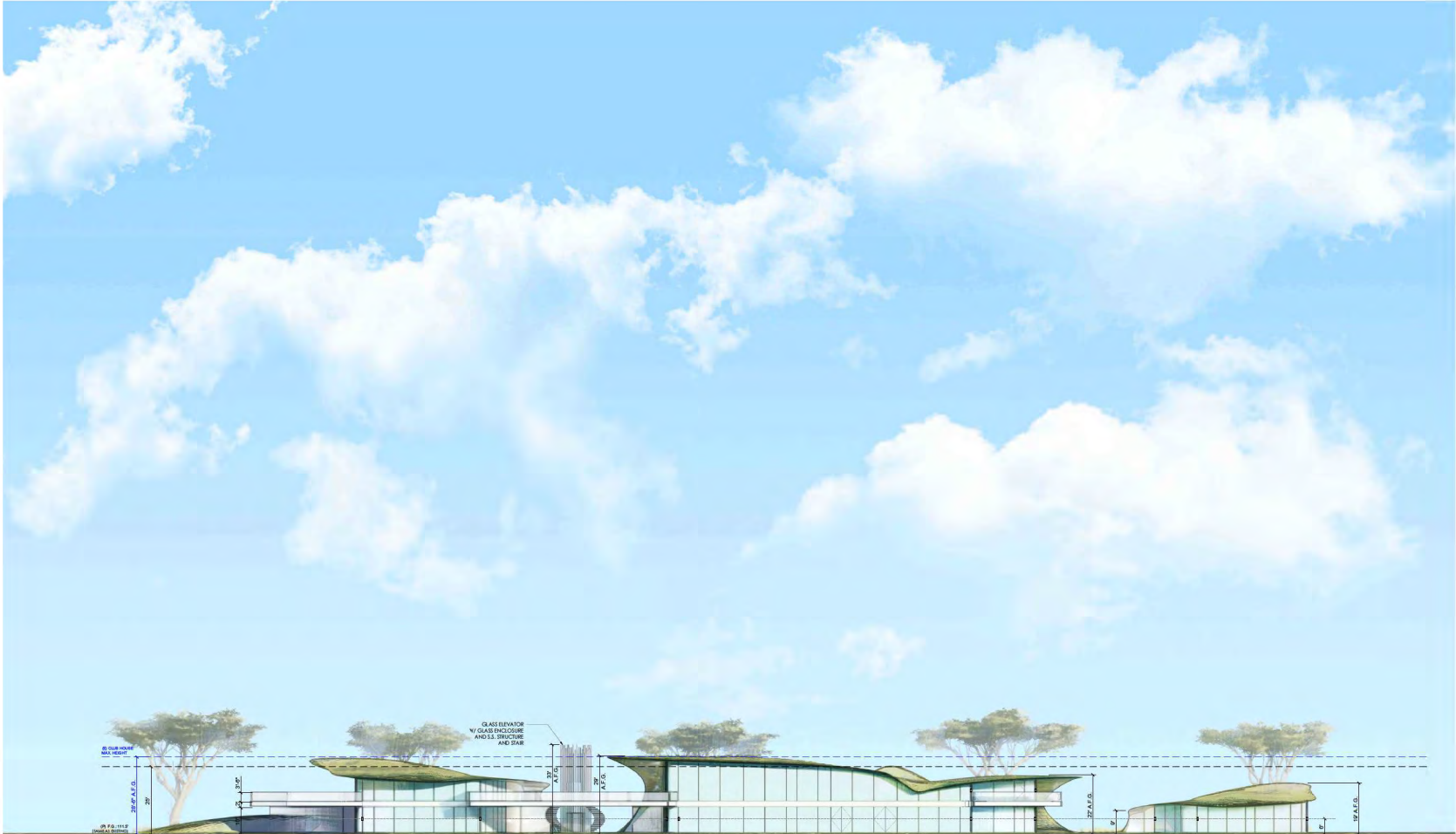
DRAWING NO.

1 PROPOSED CLUB HOUSE NORTH ELEVATION

SCALE: 1/16" = 1'-0"



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1 PROPOSED CLUB HOUSE SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL ELEVATIONS	7 NOV 2022
2	CONCEPTUAL REVISIONS	12 JAN 2023
3	PER SAN MATEO COUNTY	14 FEB 2023
4	PER SAN MATEO COUNTY	15 MAR 2023
5	REVISIONS	17 APR 2023

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA, 93117

PROJECT NO: 30008

DATE: 1 OCT 2022

AS NOTED: 1 OCT 2022

DRAWN BY: CL

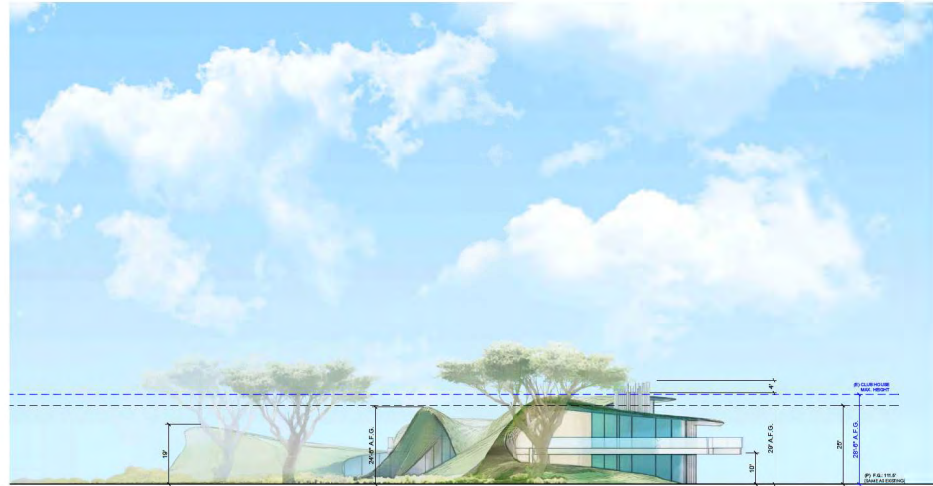
**PROPOSED CLUB HOUSE
EXTERIOR ELEVATIONS**

DRAWING NO.



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CONTRACT:



2 PROPOSED CLUB HOUSE WEST ELEVATION

SCALE: 1/16" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL ELEVATIONS	7 NOV 2022
2	CONCEPTUAL REVISIONS	12 JAN 2023
3	REV. FOR MATERIALS SPECIFICATIONS	14 FEB 2023
4	REV. FOR MATERIALS SPECIFICATIONS	15 MAR 2023
5	REVISIONS	17 APR 2023



1 PROPOSED CLUB HOUSE EAST ELEVATION

SCALE: 1/16" = 1'-0"

**SANDPIPER
GOLF CLUB**

7925 HOLLETER AVE.
GOLETA, CA, 93117

PROJECT NO.	30008
SHEET	DATE
AS NOTED	1 OCT 2022
DRAWN BY	CL

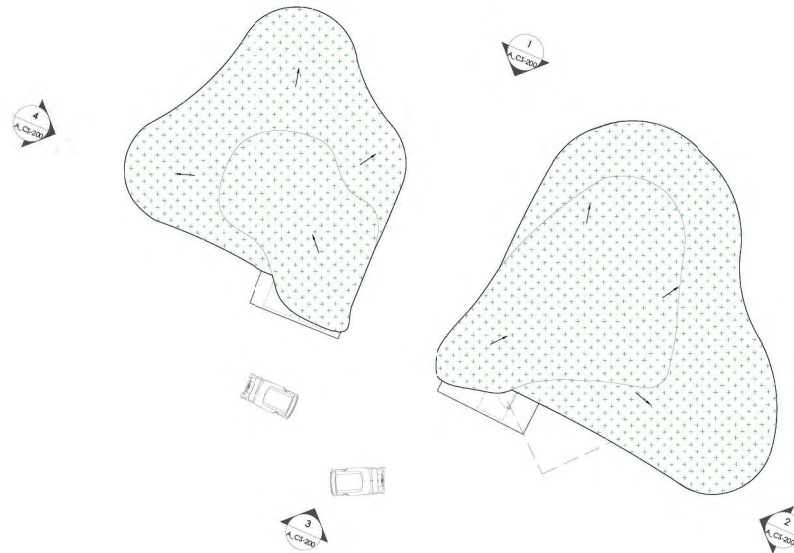
**PROPOSED CLUB HOUSE
EXTERIOR ELEVATIONS**

EXAMINED BY:

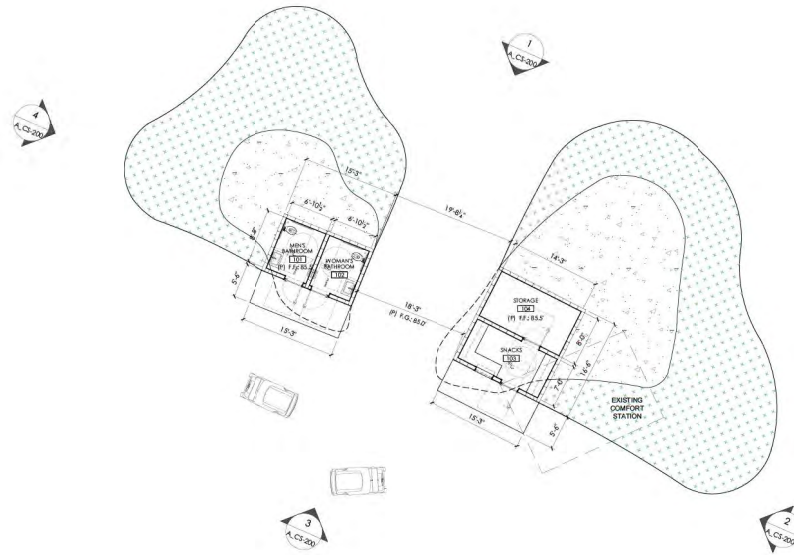


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DATE: 10/2/2022



2 PROPOSED COMFORT STATION ROOF PLAN SCALE: 1/8" = 1'-0"



1 PROPOSED COMFORT STATION FLOOR PLAN SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE
1	CONCEPT DESIGN	7 JUN 2022
2	CONCEPT DESIGN	19 JUL 2022
3	PRELIMINARY DESIGN	18 SEP 2022
4	PRELIMINARY DESIGN	18 NOV 2022
5	PRELIMINARY DESIGN	17 JAN 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
3008	1 OCT 2022	CL

PROPOSED COMFORT STATION FLOOR / ROOF PLAN

DRAWING NO.



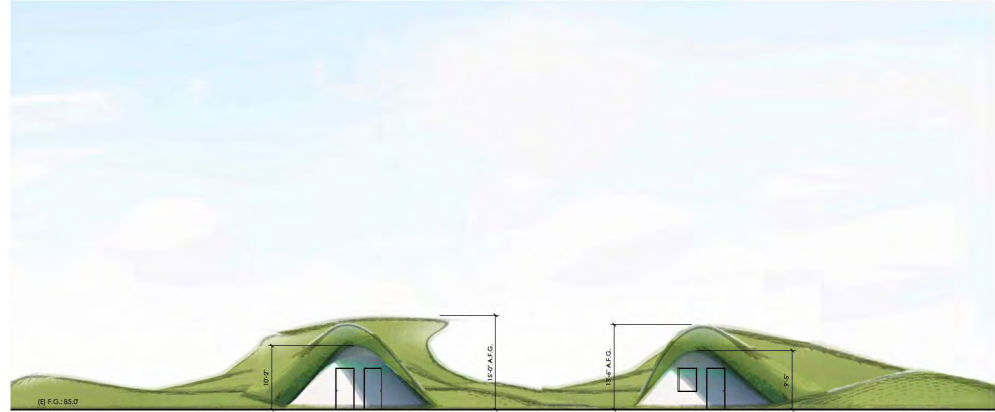
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DATE: 10/11/2022



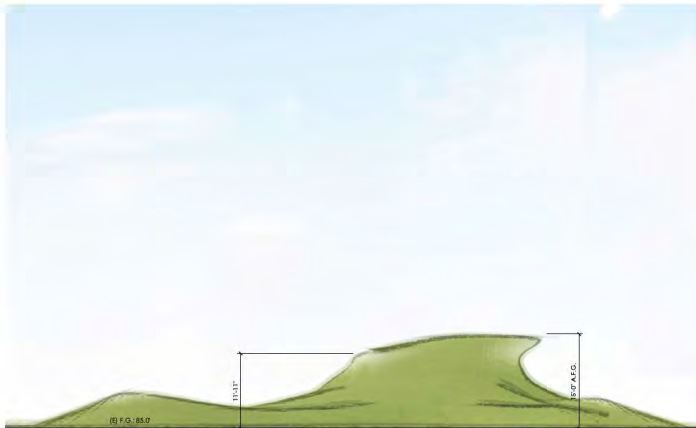
4 PROPOSED COMFORT STATION WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 PROPOSED COMFORT STATION SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2 PROPOSED COMFORT STATION EAST ELEVATION

SCALE: 1/8" = 1'-0"



1 PROPOSED COMFORT STATION NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL ELEVATIONS	7 JUN 2022
2	CONCEPTUAL AND EXISTENTIAL	10 JUL 2022
3	REVISED ELEVATIONS	16 SEP 2022
4	FINAL ELEVATIONS	10 OCT 2022
5	REVISIONS	17 OCT 2022

**SANDPIPER
GOLF CLUB**

7925 HOLLISTER AVE.
GOLETA, CA, 93117

PROJECT NO: 3008

DATE: 10/11/2022

SCALE: AS NOTED

DATE: 1 OCT 2022

SCALE: 1/8" = 1'-0"

DATE: 10/11/2022

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

**PROPOSED COMFORT STATION
ELEVATIONS**

DATE: 10/11/2022

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

A_CS-200

KEYNOTES

- | | | | | |
|---|----------------------------------|--|-----------------------|----|
| 1 (E) BUILDING TO BE REMOVED | 4 (E) LANDSCAPE TO REMAIN | 7 (E) CONCRETE PAD TO BE REMOVED | 10 (E) SEWER EASEMENT | 13 |
| 2 (E) BUILDING TO BE RE-BUILT WITH EXISTING FOOTPRINT | 8 (E) FENCE / GATE TO BE REMOVED | 8 (E) CONCRETE PAD TO REMAIN | 11 | 14 |
| 3 (E) FENCE TO REMAIN | 6 (E) FUEL STATION TO REMAIN | 9 (E) BRIGGATION WATER MAIN PIPE TO BE RELOCATED | 12 | 15 |

DEMO NOTES

1. REFER TO SHEET A_3P-004 FOR ADDITIONAL DEMO NOTES

NOTES

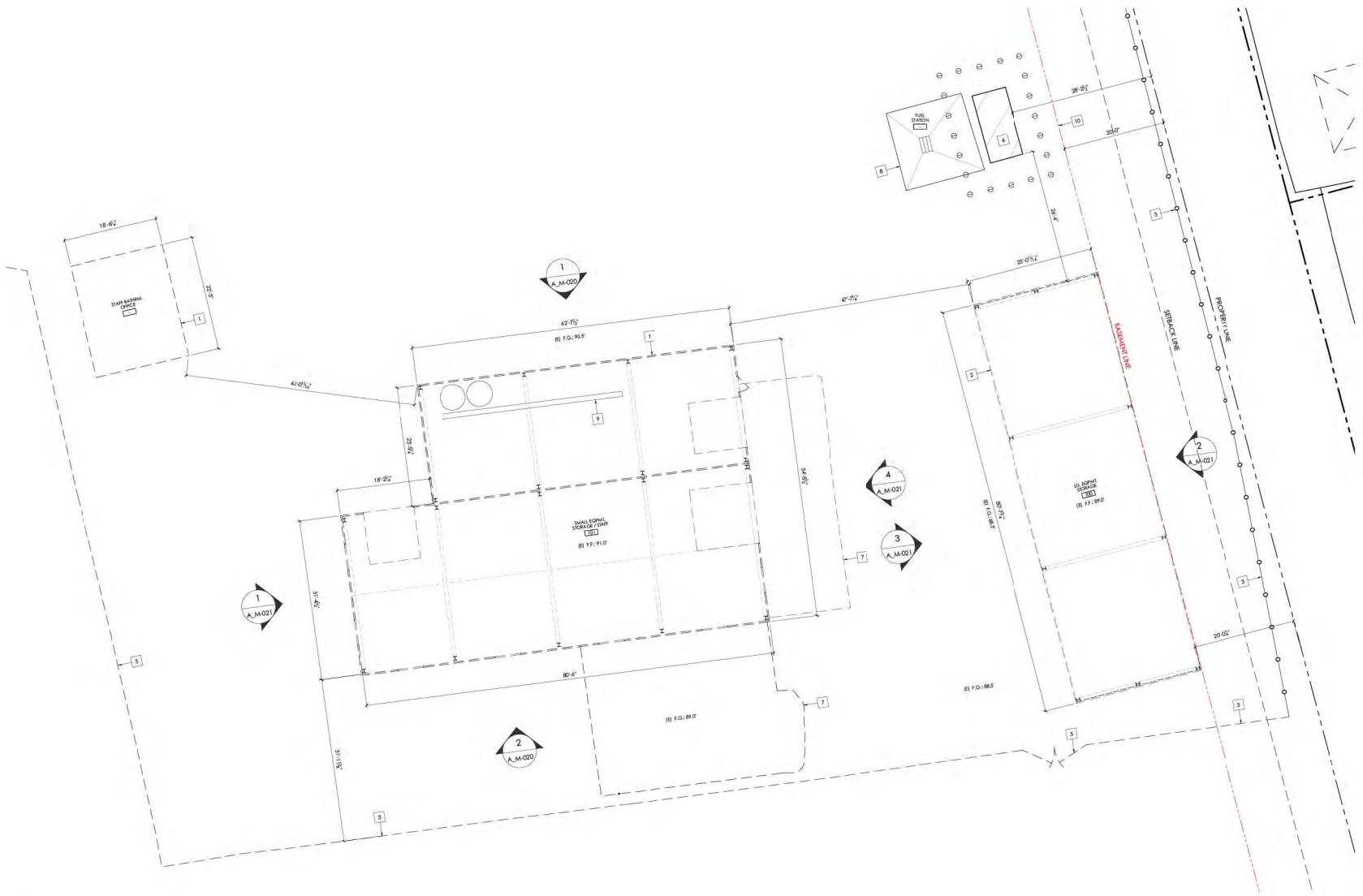
- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
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LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE DEMOLISH



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7/20/2022
2	CONCEPTUAL DEVELOPMENT	12/22/2022
3	PRELIMINARY DEVELOPMENT	12/22/2022
4	PRELIMINARY DEVELOPMENT	12/22/2022
5	PRELIMINARY DEVELOPMENT	12/22/2022

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	3008
DATE	1 OCT 2022
SCALE	AS NOTED
DRAWN BY	CL

EXISTING MAINTENANCE YARD FLOOR PLAN

DRAWING NO.

1 EXISTING MAINTENANCE YARD FLOOR PLAN

PROJECT NO. SCALE: 1/8" = 1'-0"

KEYNOTES

- | | | | | |
|---|----------------------------------|--|-----------------------|----|
| 1 (E) BUILDING TO BE REMOVED | 4 (E) LANDSCAPE TO REMAIN | 7 (E) CONCRETE PAD TO BE REMOVED | 10 (E) SEWER EASEMENT | 13 |
| 2 (E) BUILDING TO BE RE-BUILT WITH EXISTING FOOTPRINT | 5 (E) FENCE / GATE TO BE REMOVED | 8 (E) CONCRETE PAD TO REMAIN | 11 | 14 |
| 3 (E) FENCE TO REMAIN | 6 (E) FUEL STATION TO REMAIN | 9 (E) IRRIGATION WATER MAIN PIPE TO BE RELOCATED | 12 | 15 |

DEMO NOTES

1. REFER TO SHEET A_3P-004 FOR ADDITIONAL DEMO NOTES

NOTES

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- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
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LEGEND

- (E) TO BE REMOVED
- (E) SELECTIVE DEMOLITION



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NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 FEB 2022
2	CONCEPTUAL DEVELOPMENT	19 JUL 2022
3	PRELIMINARY DEVELOPMENT	16 NOV 2022
4	PRELIMINARY DEVELOPMENT	18 JAN 2023
5	PRELIMINARY DEVELOPMENT	07 APR 2023

SANDPIPER GOLF CLUB

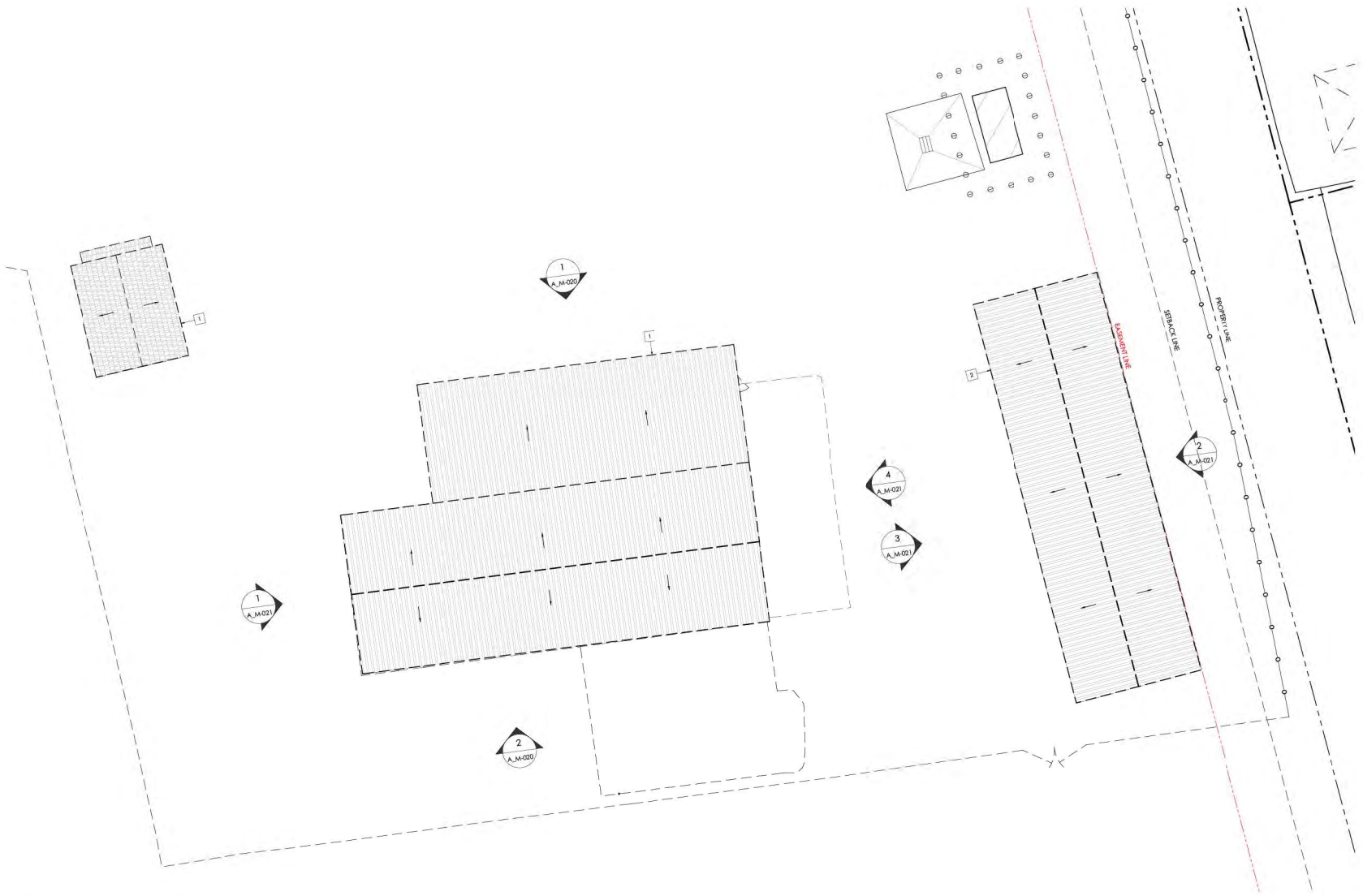
7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO.	30008
DATE	01
AS NOTED	1 OCT 2022
DRAWN BY	02

EXISTING MAINTENANCE YARD ROOF PLAN

DRAWING NO.

A_M-012



1 EXISTING MAINTENANCE YARD ROOF PLAN

PROJECT NO. **30008**
 SCALE: 1/8" = 1'-0"

DEMO NOTES

1. REFER TO SHEET A_3P-004 FOR ADDITIONAL DEMO NOTES

NOTES

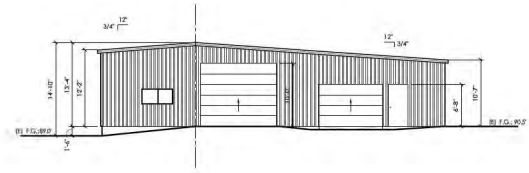
1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALL AND FACE OF FRAMING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

LEGEND

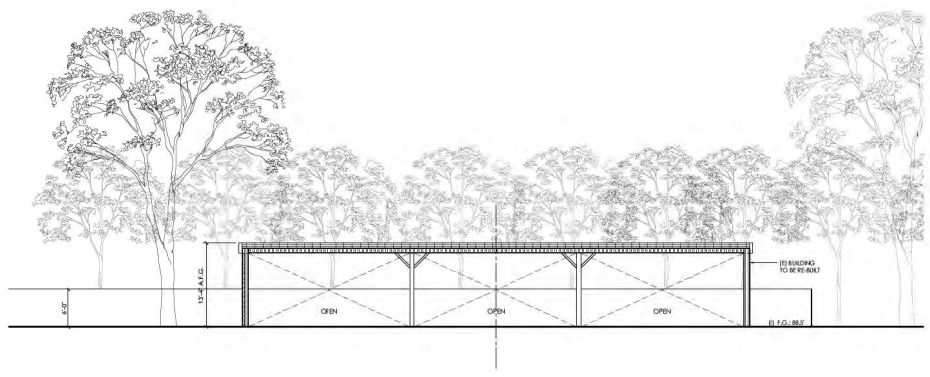
- (B) TO BE REMOVED
- (B) SELECTIVE DEMOLITION



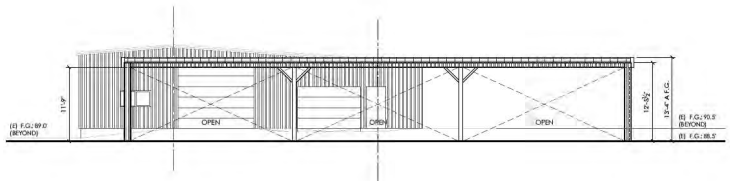
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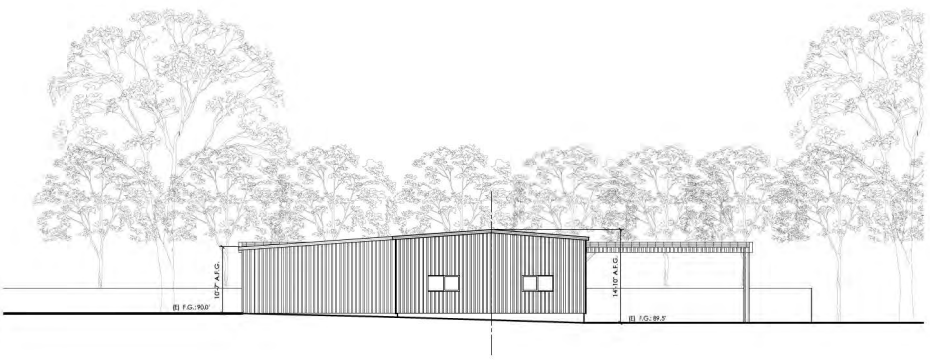
4 EXISTING SMALL EQPT. EAST ELEVATION SCALE 1/8" = 1'-0"



3 EXISTING LARGE EQPT. WEST ELEVATION SCALE 1/8" = 1'-0"



2 EXISTING LARGE EQPT. EAST ELEVATION SCALE 1/8" = 1'-0"



1 EXISTING SMALL EQPT. WEST ELEVATION SCALE 1/8" = 1'-0"

NO.	REVISION	DATE
1	CONCEPTUAL DEVELOPMENT	7 NOV 2022
2	CONCEPTUAL DEVELOPMENT	19 JAN 2023
3	PRELIMINARY DEVELOPMENT	16 FEB 2023
4	PRELIMINARY DEVELOPMENT	16 MAR 2023
5	PRELIMINARY DEVELOPMENT	27 APR 2023

SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.
 GOLETA, CA 93117

PROJECT NO.	DATE	DRAWN BY
30008	1 OCT 2022	CL

EXISTING MAINTENANCE YARD EXTERIOR ELEVATIONS

DRAWING NO.



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DATE: 10/20/22

NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL REVISIONS	10/20/22
2	FOR PERMITS REVISIONS	10/20/22
3	FOR PERMITS REVISIONS	10/20/22
4	FOR PERMITS REVISIONS	10/20/22

SANDPIPER GOLF CLUB

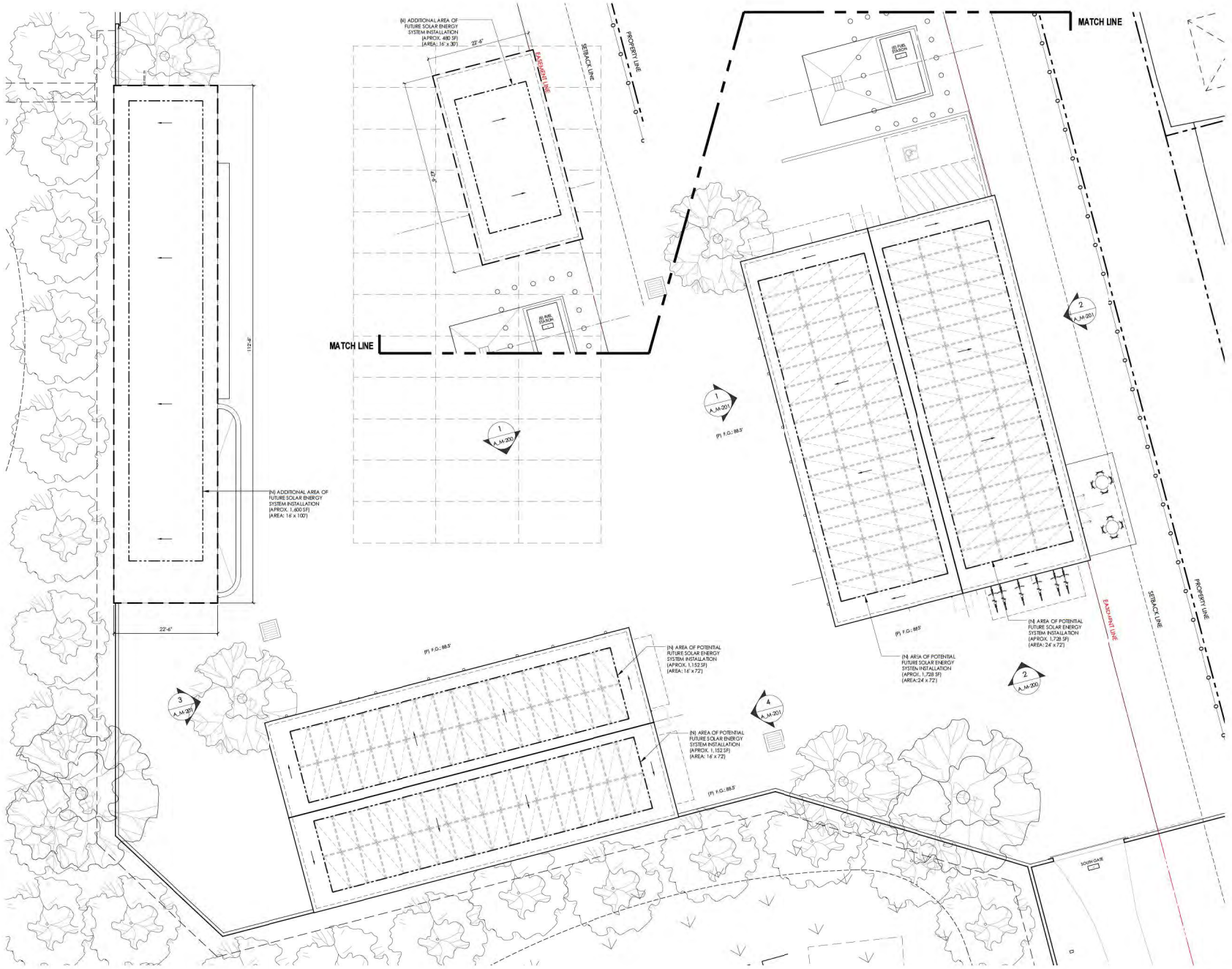
7925 HOLLISTER AVE.
 GOLETA, CA. 93117

PROJECT NO:	3008
DATE:	1 OCT 2022
SCALE:	1/8" = 1'-0"

PROPOSED MAINTENANCE YARD ROOF PLAN

DRAWING NO.

A_M-120



1 PROPOSED MAINTENANCE YARD ROOF PLAN

SCALE 1/8" = 1'-0"



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Source	Lumens Per LED	LLF	Input Power	Distribution	Notes
	A		121	FARO PATH LIGHT	SIMULATED	PATH LIGHT	18W LED 3000K	1361	0.85	14		
	B		50	BEGA	88261	BOLLARD	LED 20,6W	1578	0.92	25		
	C		53	TARGETTI	BLTRPFEL2MF30 WITH TREE STRAP	PRJ 750 10,3W RA90 3K MULTIOPT FE	240-EU480B00	987	0.92	12		

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	UG
MAIN PARKING LOT	+	1.1 fc	36.9 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 1	+	0.5 fc	8.1 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 2	+	0.2 fc	2.1 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 2	+	0.4 fc	7.9 fc	0.0 fc	N/A	N/A	-1.0
WALKWAY 2	+	2.1 fc	7.6 fc	0.1 fc	76.0:1	21.0:1	-1.0
WALKWAY 2	+	3.9 fc	28.0 fc	0.0 fc	N/A	N/A	-1.0
WALKWAYS	+	2.5 fc	30.7 fc	0.0 fc	N/A	N/A	-1.0
ENTRY DRIVE	+	1.3 fc	30.1 fc	0.0 fc	N/A	N/A	-1.0

GENERAL NOTES

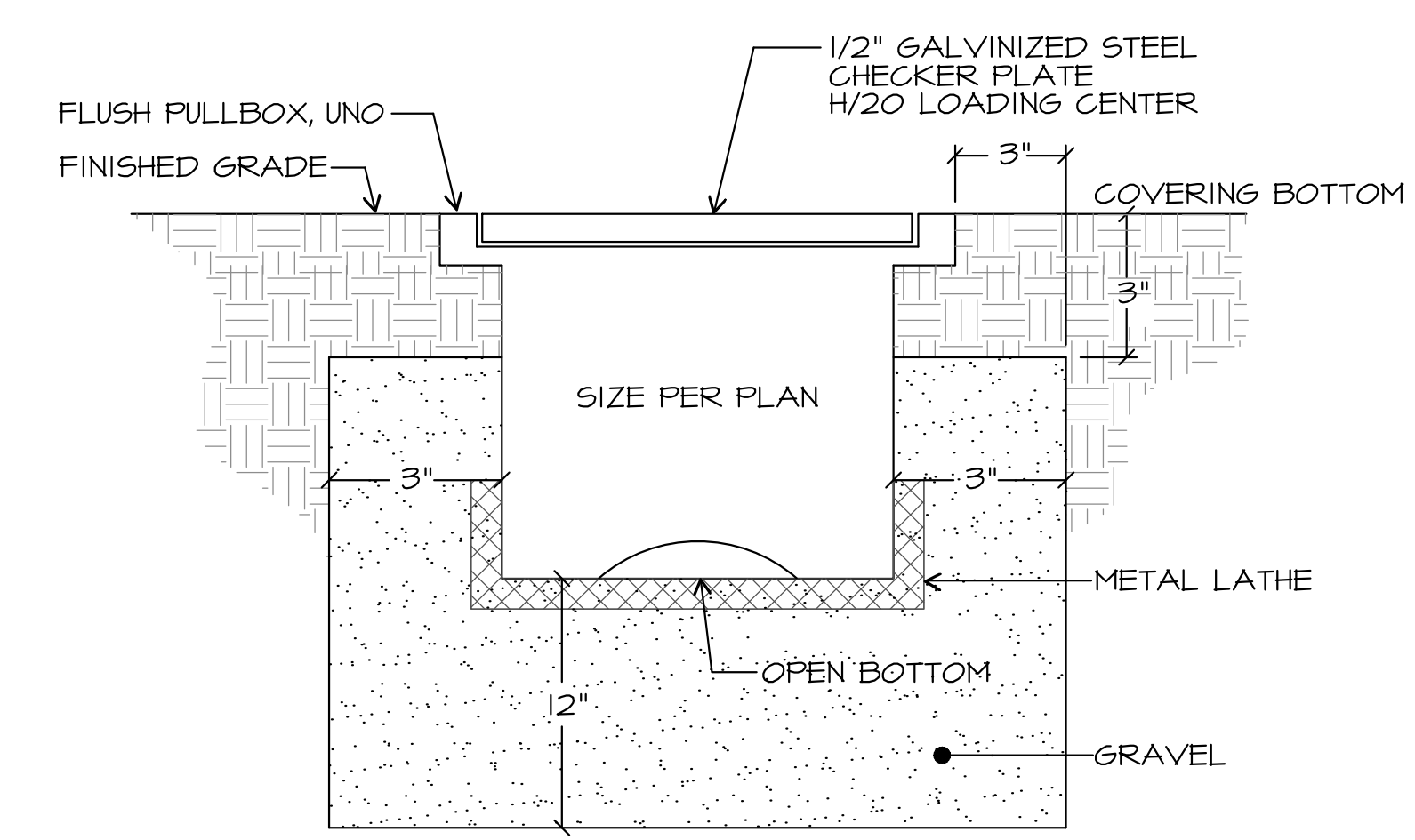
- VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
- ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
- THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ALL CONDUCTORS SHALL BE IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 3/4".
- ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.

LIGHTING NOTES

- SEE SHEET L-2 FOR FIXTURE TYPES.
- ALL LIGHT FIXTURES ARE FULL CUT OFF, DARK SKY COMPLIANT LIGHT FIXTURES.
- ALL LIGHT FIXTURES ARE 3000K COLOR TEMPERATURE.
- LIGHT LEVELS AT PROPERTY LINES ARE 0.1 FOOT CANDLES OR LESS.

SYMBOLS

- CONDUIT EXISTING
- CONDUIT CONCEALED IN WALL OR CEILING
- CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
- CONDUIT STOPPED OUT AND CAPPED
- CONDUIT TURNED UP
- CONDUIT TURNED DOWN
- MATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (S) MAX. IN 3/4" C., (B) MAX. IN 1" C., NO MARKS = 2 #12
- HOME RUN: LETTER INDICATES PANEL, NUMBER(S) INDICATES CIRCUIT(S)
- SAWCUT
- GROUND CONNECTION
- DISTRIBUTION SWITCHBOARD OR PANEL
- PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH SIGNAL TERMINAL CABINET, SURFACE & FLUSH
- LINEAR SURFACE FIXTURE
- OUTLET DATA: PAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.
- SURFACE FIXTURE ON FLUSH OUTLET.
- RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
- EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
- LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB
- LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
- MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
- SPECIAL RECEPTACLE - SEE PLAN
- METER
- FLUSH FLOOR RECEPTACLE
- RECEPTACLE, DUPLEX, 15A, 125V, NEMA 5-15R +18" UNO.
- DUPLEX RECEPTACLE MTD. ABOVE BACKSLASH
- DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
- GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- CEILING RECEPTACLE
- RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" UNO.
- JUNCTION BOX 4" SQUARE, 1-1/2" DEEP UNO.
- THERMOSTAT F.B.O. +48"
- MOTOR, NO. INDICATES HORSEPOWER
- CLOCK OUTLET +7-8" UNO.
- DISCONNECT SWITCH, NON-FUSED
- DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
- COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
- MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
- DIMMER W/INTEGRAL "ON-OFF" SW.
- PUSHBUTTON
- PHOTOCELL
- SMOKE DETECTOR
- TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERPLATE & GROUNDING OPENING +18" UNO.
- CABLE TV OUTLET +18" UNO.
- MOTION SENSOR
- EXISTING SWITCH
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- THREE WAY SWITCH
- SWITCH W/PILOT LT.
- MANUAL MOTOR STARTER
- FIRE ALARM CONTROL PANEL
- GROUND FAULT CIRCUIT INTERRUPTING
- LABOR SAVING TANDEM
- MAIN LUGS ONLY
- WITH
- CONDUIT ONLY
- WEATHERPROOF
- FURNISHED BY OTHERS, INSTALL & CONNECT
- UNLESS NOTED OTHERWISE
- NATIONAL ELECTRICAL CODE
- NOT IN CONTRACT
- EXISTING
- NEW
- REMOVE
- RELOCATE
- SURFACE MOUNT
- UNDERGROUND
- COLD WATER PIPE
- ABOVE FINISHED FLOOR
- HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER
- NIGHT LIGHT



FLUSH PULLBOX DETAIL
SCALE: NONE

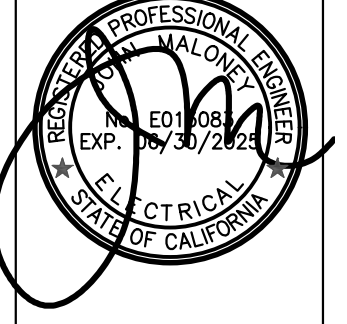
DRB Recommended
Approval 1-27-26

REVISIONS	BY

JMPE
ELECTRICAL ENGINEERING
LIGHTING DESIGN
CA REGISTRATION NO. E13063

23266

627 OLIVE STREET
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SANDPIPER GOLF CLUB
7925 HOLLISTER AVE.
GOLETA, CA.

GENERAL NOTES, SYMBOLS,
SCHEDULES & DETAILS

DATE	7/28/23
SCALE	AS NOTED
DRAWN	MG
JOB	23266
SHEET	EL-1
OF	SHEETS

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.

FIXTURE SCHEDULE

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Source	Lumens Per LED	LLF	Input Power	Distribution	Notes
⊕	A		121	FARO PATH LIGHT	SIMULATED	PATH LIGHT	18W LED 3000K	1361	0.85	14		
⊗	B		50	BEGA	88261	BOLLARD	LED 20.6W	1578	0.92	25		
⊕	C		53	TARGETTI	BLTRPFEL2MF30 WITH TREE STRAP	PRJ 50 10.3W RA90 3K MULTIOPT FE 24V	LED-EU480B00	987	0.92	12		

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	UG
MAIN PARKING LOT	+	1.1 fc	36.9 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 1	+	0.5 fc	8.1 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 2	+	0.2 fc	2.1 fc	0.0 fc	N/A	N/A	-1.0
PARKING LOT 2	+	0.4 fc	7.9 fc	0.0 fc	N/A	N/A	-1.0
WALKWAY 2	+	2.1 fc	7.6 fc	0.1 fc	76.0:1	21.0:1	-1.0
WALKWAY 2	+	3.9 fc	28.0 fc	0.0 fc	N/A	N/A	-1.0
WALKWAYS	+	2.5 fc	30.7 fc	0.0 fc	N/A	N/A	-1.0
ENTRY DRIVE	+	1.3 fc	30.1 fc	0.0 fc	N/A	N/A	-1.0



CLUBHOUSE PARKING LOT PHOTOMETRIC PLAN

SCALE: 1" = 30'-0" 0 15 30 60



DRB Recommended
Approval 1-27-26

REVISIONS	BY

JMPE
ELECTRICAL ENGINEERING
LIGHTING DESIGN
CA REGISTRATION NO. E13063
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7925 HOLLISTER AVE.
GOLETA, CA.

CLUBHOUSE PARKING LOT
PHOTOMETRIC PLAN

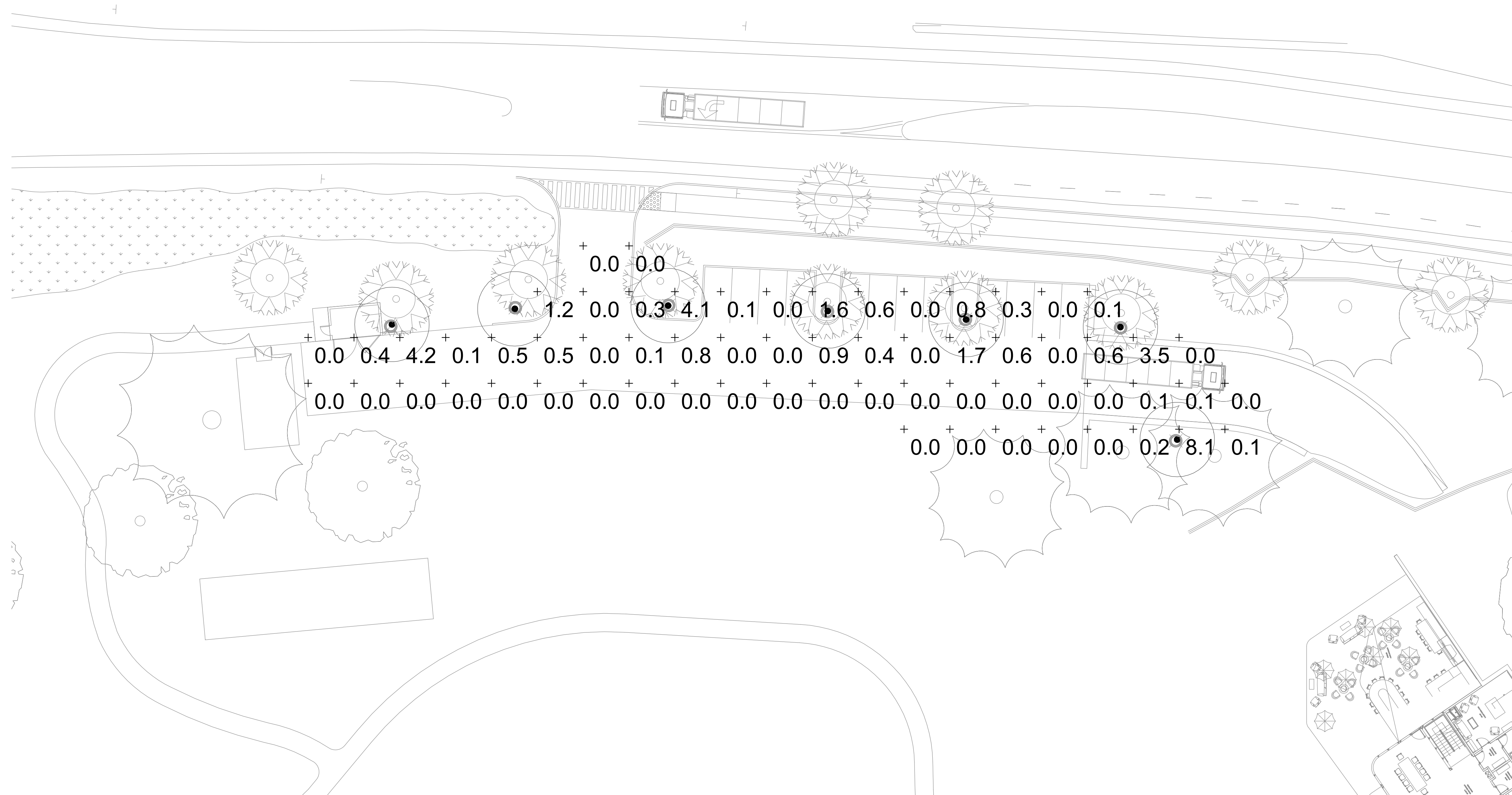
DATE	7/28/23
SCALE	AS NOTED
DRAWN	MG
JOB	23266
SHEET	EL-2
OF	SHEETS

FIXTURE SCHEDULE

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Source	Lumens Per LED	LLF	Input Power	Distribution	Notes
	A		121	FARO PATH LIGHT	SIMULATED	PATH LIGHT	18W LED 3000K	1361	0.85	14		
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	C		53	TARGETTI	BLTRPFEL2MF30 WITH TREE STRAP	PRJ 50 10.3W RA90 3K MULTIOPT FE 24V	LED-EU480B00	987	0.92	12		

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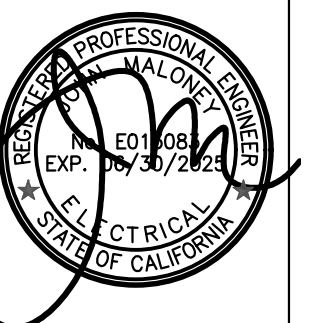
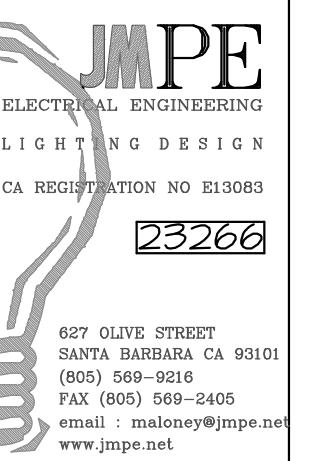
CLUBHOUSE WEST PARKING LOT PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



**DRB Recommended
Approval 1-27-26**

REVISIONS	BY






SANDPIPER GOLF CLUB
7925 HOLLISTER AVE.
GOLETA, CA.

CLUBHOUSE WEST PARKING LOT
PHOTOMETRIC PLAN

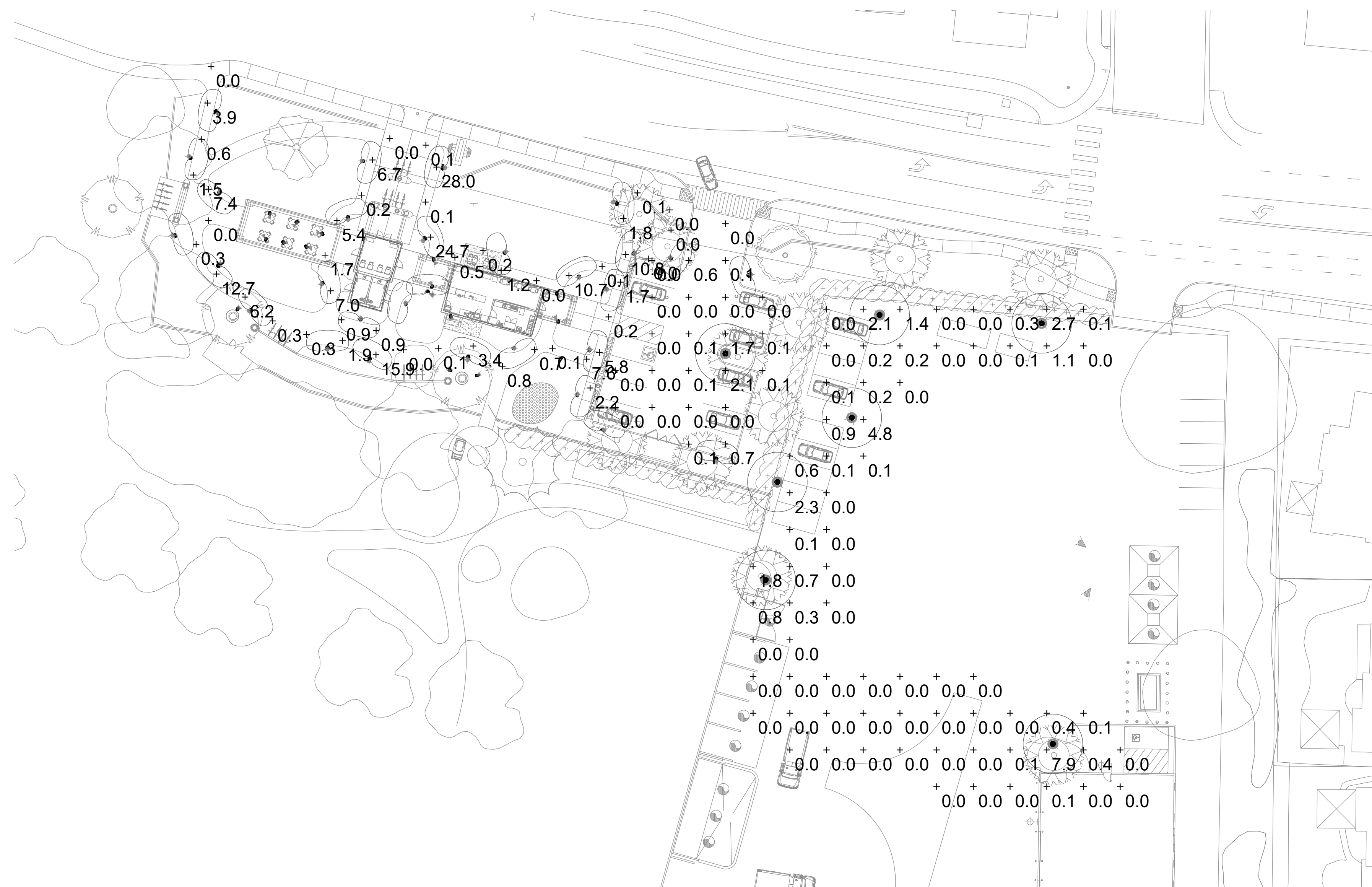
DATE	7/28/23
SCALE	AS NOTED
DRAWN	MG
JOB	23266
SHEET	EL-3
OF SHEETS	

FIXTURE SCHEDULE

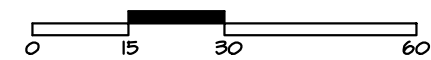
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Source	Lumens Per LED	LLF	Input Power	Distribution	Notes
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PARKING LOT 2	+	0.4 fc	7.9 fc	0.0 fc	N/A	N/A	-1.0
WALKWAY 2	+	2.1 fc	7.6 fc	0.1 fc	76.0:1	21.0:1	-1.0
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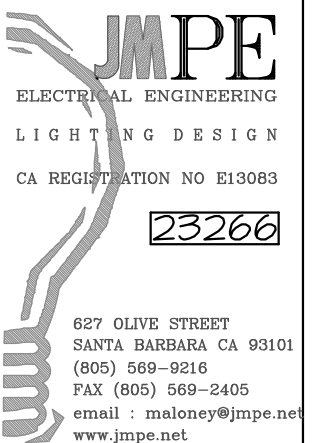
BARNSDALL PHOTOMETRIC PLAN

SCALE: 1" = 30'-0" 



**DRB Recommended
Approval 1-27-26**

REVISIONS	BY



SANDPIPER GOLF CLUB
7925 HOLLISTER AVE.
GOLETA, CA.

BARNSDALL
PHOTOMETRIC PLAN

DATE	7/28/23
SCALE	AS NOTED
DRAWN	MG
JOB	23266
SHEET	EL-4
OF SHEETS	