



**TO:** Goleta Historic Preservation Commission

**FROM:** Darryl Mimick, HPC Secretary

**CONTACT:** Mary Chang, Supervising Planner

**SUBJECT:** Proposed Barnsdall Rio Grande Café of the Sandpiper Golf Course Renovation and New Clubhouse Project; 7925 Hollister Avenue; APN 079-210-059; Case Nos. 22-001-CDPH (in concept); 22-0009-DP-CUP; 22-0032-DRB

**RECOMMENDATION:**

That the Historic Preservation Commission (HPC) recommends that the Planning Commission and the City Council find that the proposed Barnsdall Rio Grande Café portion of the Sandpiper project is consistent with the Secretary of Interior Standards for the Treatment of Historic Structures based on the Findings in Attachment A.

**BACKGROUND**

The proposed Sandpiper Golf Course Project would result in alterations to the golf course, including but not limited to the demolition of the existing clubhouse and construction of a new clubhouse; golf course modifications and routing revisions; landscaping and irrigation improvements; replacement of existing maintenance buildings; the replacement of an existing comfort station (i.e., restroom); and pedestrian and other improvements along Hollister Avenue. The project also includes the adaptive reuse and restoration of the historic Barnsdall Rio Grande Gas Station (Barnsdall), which would be used in conjunction with the proposed Rio Grande Coffee Shop. HPC's review is limited to the impact on the designed historic structure on the property.

The *Built Environment Inventory and Evaluation Report* (Dudek: February, 2025) evaluated historical significance of the Sandpiper Golf Club, including the clubhouse, golf course, comfort station, and maintenance yard. The report concludes that the maintenance yard structures are less than 45 years of age and are ineligible for qualification as historical resources; the golf course is not eligible as a designated historic landscape, and the comfort station and clubhouse are not eligible as individual resources for the National Register of Historic Places, California Register of Historic Resources, or City of Goleta Landmarks due to a lack of significance and architectural merit.

The subject of HPC review is Barnsdall which is a designated City of Goleta Landmark pursuant to Goleta City Council Resolution 22-10 and is designated County of Santa Barbara Landmark No. 29. Therefore, it is a historical resource as defined by the California Environmental Quality Act (CEQA) because it is included in a local register of historical resources. Photographs of the existing Barnsdall building are included in Attachment B.

A description of the proposed restoration and adaptive reuse of the Barnsdall was presented to the HPC on April 15, 2024. That staff report included a brief description of the proposed project and the history of Barnsdall. The April 15, 2024, HPC agenda materials can be accessed here:

[https://goleta.legistar1.com/goleta/meetings/2024/4/2999\\_A\\_Historic\\_Preservation\\_Commission\\_24-04-15\\_Agenda.pdf](https://goleta.legistar1.com/goleta/meetings/2024/4/2999_A_Historic_Preservation_Commission_24-04-15_Agenda.pdf)

The video of the April 15, 2024, meeting can be accessed here:

[https://goleta.granicus.com/player/clip/1962?view\\_id=5&redirect=true](https://goleta.granicus.com/player/clip/1962?view_id=5&redirect=true)

## **PROJECT DESCRIPTION**

Barnsdall would be restored and adaptively reused as part of a new café, named the Rio Grande Coffee Shop. The café would serve golfers, passersby, and the public with food and beverage services. The Rio Grande Coffee Shop would consist of two parts: the restored 349 square foot Barnsdall building, which would provide seating for the café; and a new 695 square foot café building designed to resemble a 1920's gas station service bay.

The proposed café building would be east of Barnsdall, and would have a maximum height of 15 feet and 6 inches. New wooden trellises would be added to the west of the Barnsdall and on the eastern and western sides of the café building. The café would have a total of 14 indoor seats (6 in the new building and 8 in the existing gas station building) and 32 outdoor seats (8 at the new building and 24 under the 727 square foot wooden trellis west of the new building). The project also includes a new 24-foot-wide driveway that leads to a 14-space parking area east of the new café building. The café would also include electric bicycle charging station designed to look like antique gas station pumps. Other proposed improvements include associated landscaping and lighting. A report titled *Phase 2 Historic Resources Report, Barnsdall-Rio Grande Gasoline Station, City of Goleta Landmark A* (Post/Hazeltine Associates, 2022, Attachment D) provides photographs and architectural elevations of the Barnsdall; the proposed site plan for the new café area; and architectural elevations of the proposed café structures.

As described in the Phase 2 Historic Resources Report the proposed rehabilitation of the gas station building includes the following:

- Replicate the missing exterior ceramic tilework to match the original in dimension, placement color, and placement.
- Repair exterior plasterwork to match the original in texture, color, and material.
- Repair the roof assembly, including its rafter tails to match the original in design, finish, dimensions, and appearance.
- Replace damaged or missing terra cotta roof tiles to match the originals.

- Repair or replicate the original windows in design, profile, materials, and glazing pattern.
- Repair or replace (if too deteriorated to repair) the restroom doors to closely match the originals while meeting universal access requirements.
- Install new front doors to match the originals in overall appearance while meeting the requirements for universal access.
- Replace windows on the east and west elevation with single doors with divided-lights.
- Repair existing cast plasterwork and replace missing decorative plasterwork to match the originals as documented by surviving ornamentation.
- Repair the rooftop cupola to its original appearance.
- Restyle the painted lettering to read “Barnsdall Oil Co. Rio Grande Coffee” to serve as signage for the coffee shop and recharging station.
- Remodel the interior for use as a coffee shop. This would include installation of a metal staircase leading to the top of the tower.
- Install replica period style gas pumps at the north end of the canopy. The replicated pumps would function as electric bike charging stations.

## ANALYSIS

### **Secretary of Interior Standards and Historic Resources Report**

Pursuant to Section 17.33.080.D, the HPC should rely upon the relevant Secretary of Interior Standards for the Treatment of Historic Properties since the City has not adopted applicable design standards. In making a recommendation to the Planning Commission and City Council, the HPC is asked to make the findings listed in Section 17.33.080 D.2.

The Standards define rehabilitation as follows:

*Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*

As described further in the Findings provided as Attachment A, the project has been evaluated against the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties. Those standards are identified below (in italics) and a summary explanation of how the project complies with each of the standards is also provided.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The project site historically functioned as a gas station with a detached restaurant. The proposed project would return these historic uses through the conversion of the gas station to a café seating area, and the construction of a complimentary designed café building. The project would result in minimal change to the use and design of the property as it would preserve most of the Barnsdall’s existing materials and design features.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

The proposed rehabilitation emphasizes repair and replacement in-kind of historic materials, features, and spaces of the Barnsdall building. The location of the new café and associated trellis would maintain a distinct separation between the historic building and new construction, which would minimize impacts to the Barnsdall 's setting.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose creating a historically inaccurate appearance because no historic materials from other properties are proposed for use in the project, and no materials or features are proposed that are unsupported by physical or documentary evidence.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The project does not include changes to design features that have achieved historic significance in their own right because the Barnsdall building does not include non-original features that have acquired significance over time.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The project would return the Barnsdall to a close approximation of its historic appearance by preserving, repairing, or recreating almost all the Barnsdall Rio Grande Gas Station's character-defining materials and design features.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The project would retain historic features and materials by emphasizing repair and in-kind replacement of deteriorated features, which are informed by historic photographs and architectural plans and physical evidence. Any features that cannot be repaired, will be design to match the originals as much as possible in terms of colors, materials, shape etc.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

The project does not propose exterior chemical or physical cleaning treatments such as sandblasting or power washing.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The Barnsdall Rio Grande Gas Station is not an archaeological resource, therefore, this standard does not apply to the project. Given the archaeological sensitivity of the Sandpiper Golf Course site overall, any ground disturbing activities in native soils will be required to have both an archeologist and a native American monitor present. Further, there are mitigation measures outlined in the Environmental Impact Report to address this topic.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Proposed new construction, such as the café building and associated trellis, would be modest in scale, detached from the historic building, and compatible and complementary in materials and design with the historic property.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Aspects of the project that would result in the removal/alteration of historic components of the gas station building are limited to portions of two windows, the front doors, and sections of concrete curbing. Other proposed alterations are reversible as the detached café building could be removed without affecting the physical or design integrity of the Barnsdall Rio Grande Gas Station.

In conclusion, the restoration and adaptive reuse of the Barnsdall Rio Grande Gas Station would comply with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties.

### **CEQA Review**

A Draft Environmental Impact Report (DEIR) was prepared for the Sandpiper Golf Course Renovation and New Clubhouse Project, and was circulated for public review from October 16 to December 1, 2025. The entire DEIR is available for review at: <https://www.cityofgoleta.org/your-city/planning-and-environmental-review/ceqa-review>

The DEIR identified two potentially significant impacts that could affect the historic Barnsdall Rio Grande Gas Station building: short-term construction equipment operation-related vibrations; and changes to the gas station building that are not consistent with the intent of the Secretary of the Interior's standards.

Potentially significant vibration-related impacts could occur should heavy construction equipment be used in the vicinity (e.g., within approximately 42 feet) of the gas station building. This potentially significant impact would be reduced to a less than significant level

with the implementation of a proposed mitigation measure that identifies specifications related to the type and size and construction equipment that may be used near the gas station building. The complete mitigation measure requirements are provided in Attachment C.

The proposed project plans for the gas station building comply with the Secretary of the Interior's Standards, however, a potentially significant impact to the historical integrity of the gas station building could occur should repairs, replacements, materials, finishes, designs, colors, textures, and other visual qualities not be implemented consistent with the intent of the Standards. To reduce the possibility of inappropriate treatments and to protect the historic integrity of the gas station building, a proposed mitigation measure requires coordination and monitoring of restoration activities by the City and/or an architectural historian. The complete mitigation measure requirements are provided in Attachment C.

During the public review period for the DEIR, numerous comments were submitted by the public indicating support for the restoration of the Barnsdall Rio Grande Gas Station. The public comments received on the DEIR can be accessed here:

<https://www.cityofgoleta.org/your-city/planning-and-environmental-review/cega-review/sandpiper-golf-course>

### **Zoning and General Plan**

The entire Sandpiper Golf Course project site is zoned "Open Space/Active Recreation." Structures in this zone are required to have a 10-foot property line setback, and may not exceed a height of 25 feet. The proposed Rio Grande Coffee Shop building and associated trellis structures would be located more than 10 feet from property lines, and would have a maximum height of 15.5 feet. Therefore, the proposed new structures adjacent to the Barnsdall Rio Grande Gas Station would be consistent with setback and height requirements.

In addition to consistency with the zoning standards, the proposed reuse of the Barnsdall Rio Grande Gas Station is consistent with applicable policies included in the Visual and Historic Resources Element of the City's General Plan/Coastal Land Use Plan. Policies applicable to the project are evaluated below.

***Policy VH 5.5 Alterations to Historic Resources.*** Any proposed alterations to a designated historic resource or property listed in the City's Historic Resources Inventory shall respect the character-defining features of the building, its setting, and maintain architectural consistency with the original site or structure. Such proposals may require the submittal of an historic evaluation from a recognized professional as part of the design review process, that, depending upon the nature of the proposed alternation, may include review by the Historic Preservation Commission or Design Review Board prior to approval. To encourage rehabilitation, maintenance, and sensitivity in additions and remodels, the City encourages and supports adaptive reuse of structures listed on the Historic Resources Inventory and may consider allowing for flexibility when applying building code regulations, including use of the California Historic Building Code, in order to facilitate the retention of character defining features and maintaining historical significance.

**Consistent.** The historic resources report prepared for the project concluded that as proposed it would implement and be consistent with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, and that the restoration and reuse of the Barnsdall Rio Grande Gas Station would not impair the designated historic resource. In addition, the DEIR prepared for the project concluded that with the implementation of proposed Mitigation Measure CUL-1 (Architectural Monitoring for Barnsdall Rio Grande Gas Station) the restoration and adaptive reuse of the Barnsdall Rio Grande Gas station would respect the character-defining features of the building, maintain architectural consistency, and be consistent with all of the applicable Secretary of the Interior's Standards for Rehabilitation and the City of Goleta Historic Preservation Ordinance.

***Policy VH 5.7 New Construction.*** *Development approved in proximity to an identified historic resource shall respect and be aesthetically compatible with the structures or sites in terms of scale, materials, and character.*

**Consistent.** The proposed Rio Grande Coffee Shop would be designed to resemble a 1920s gas station service bay, which would be visually and architecturally compatible with the appearance of the adjacent Barnsdall Rio Grande Gas Station building. The proposed new structures adjacent to the historic gas station building (i.e., the café and associated trellis structures) are reversible alterations to the project site as those structures could be removed without affecting the physical or design integrity of the gas station building.

### **Findings and Conclusion**

The proposed project is consistent with applicable policies of the City's Visual and Historic Resources Element, and complies with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties. If the HPC does not feel the findings can be made, the item can be continued for additional work by the applicant or the HPC can recommend to the City Council and the other recommending bodies that the project not be approved after specifying which of the required findings and the reasons why the findings cannot be made.

## **ENVIRONMENTAL DETERMINATION**

California Environmental Quality Act (CEQA) action is not required for a recommendation from the Historic Preservation Commission. The Review Authority will be asked to adopt the CEQA document when the entire project is under consideration.

### **ATTACHMENTS:**

- A. Review Findings
- B. Barnsdale Plans and Photos
- C. Proposed Historic Resources Mitigation Measures
- D. Phase 2 Historic Resources Report

## **Attachment A**

### **Findings**

## ATTACHMENT A

### Historic Preservation Commission Review Findings Section 17.33.080.D.2 of the Goleta Municipal Code

**Sandpiper Golf Course Renovation and New Clubhouse Project  
7925 Hollister Avenue (Assessor Parcel Number 079-210-059)  
Case Nos. 22-001-CDPH (in concept); 22-0009-DP-CUP; 22-0032-DRB;**

The Historic Preservation Commission recommends the following findings as stated in Section 17.33.080(D)(2) of the Goleta Municipal Code:

*Section 17.33.080(D)(2)*

*A. The proposed alteration is found to be consistent with any applicable design standards or guidelines adopted by the City Council;*

This finding is not applicable as no design standards or guidelines have been adopted by the City Council at this time.

*B. In the absence of applicable design standards or guidelines, the proposed alteration is found to be consistent with the relevant Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Based on the evaluation of the project included in the *Phase 2 Historic Resources Report for the Barnsdall-Rio Grande Gasoline Station, City of Goleta Landmark A* (Post/Hazeltine Associates, 2022), the Project is consistent with the Secretary of Interior's Standards as follows:

*1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The Barnsdall-Rio Grande Gasoline Station historically functioned as a gas station with a detached building located just to the west that housed a restaurant. The project would return these historic uses related to transportation with the gas station converted to retail use, the construction of a detached and complimentary designed building housing a coffee shop to the east of the gas station, and the installation of electric charging stations for bicycles. The project would alter the setting of the gas station by building over portions of the original driveway and relocating two flagpole bases. Some of the driveway's concrete curbing would be retained. The remainder of the asphalt paving would be replaced with surfacing materials and plantings, while maintaining the driveway's ovoid form and configuration. The proposed interior alterations would not remove significant historical fabric as the building's tower was a utilitarian space without character-defining architectural embellishments. Exterior alterations would include resizing the restroom door openings to meet ADA requirements and replacing windows on the east and west elevations with single

doors to provide additional access to the building's interior. Therefore, the Project would use the Barnsdall-Rio Grande Gasoline Station building and property in a manner that requires minimal changes to historical features, consistent with the requirements of Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

The project would remove or alter several hardscape features including sections of concrete curbing, deteriorated asphalt paving, two windows on the gas station buildings, and resizing two restroom doors located on the building's side elevations. The façade of the building, its footprint, and primary design features and materials would be retained, repaired, or recreated. Repurposing the original location of the gas pumps as an electric bicycle charging station would maintain the historic use of the resource as a transportation-related property. Changes to the driveway would alter the appearance of this feature while maintaining its configuration and function as the historic property's dominant circulation element. The placement of the new café building and trellis would maintain a distinct separation between the historic building and new construction, which would minimize impacts to the station's setting. Therefore, the Project meets the requirements of Standard 2.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose the addition of building materials from other historic properties or conjunctural features. Therefore, the project meets the requirements of Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The project does not proposed changes to design features that have achieved historic significance in their own right. Therefore, the project meets the requirements of Standard 4.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Implementation of the project would return the gas station building to a close approximation of its historic appearance. Loss of historic materials would be confined to portions of two window openings on the building's east and west elevations, and the installation of ADA compliant doors on the street facade. Therefore, the project, which would preserve, repair, or recreate almost all of the building's character-defining materials and design features, meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will*

*match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The project proposes to implement the following measures related to the repair of the historic building:

- Remaining original windows will be repaired rather than replaced following the guidance in National Park Service Bulletin 9, *The Repair of Historic Wood Windows*.
- Repair and repainting of the canopy structure will follow the guidance set forth in Preservation Brief #10, *Exterior Paint Problems on Historic Woodwork* and Preservation Brief #45, *Preserving Historic Wood Porches*.
- Repair of historic stuccowork shall follow the guidance outlined in Preservation Brief #32, *The Preservation and Repair of Historic Stuccowork*.
- Repainting exterior cladding, trimwork, window and door frames and window units will follow the guidance, including employment of cleaning and stripping (if required) methods consistent with guidance in Bulletin #10.

Any features that can not be repaired, will be design to match the originals as much as possible in terms of colors, materials, shape etc. To ensure adherence with guidance documents identified above, DEIR mitigation measure CUL-1 (*Architectural Monitoring for Barnsdall Rio Grande Gas Station*) requires the project applicant to retain a Secretary of Interior's Professionally Qualified architectural historian and/or the City's Urban Historian (qualified historian) to ensure the project implements and complies with the Secretary of Interior's Standards for Rehabilitation and the guidelines described above. The implementation of these requirements would ensure the historic property retains its contributing design features and materials consistent with the requirements of Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

The project applicant does not propose exterior chemical or physical cleaning treatments such as sandblasting or power washing. Should such treatments be required, the guidance outlined in the Department of the Interior's Technical Preservation Briefs shall be implemented under the guidance of a City-approved architectural historian, as required by DEIR mitigation measure CUL-01. Provided these requirements are implemented, the project would be consistent with Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The Barnsdall Rio Grande Gas Station is not an archaeological resource, therefore, Standard 8 does not apply to the project. Given the archaeological sensitivity of the Sandpiper Golf Course site overall, any ground disturbing activities in native soils will be required to have both an archeologist and a native American monitor present.

Further, there are mitigation measures outlined in the Environmental Impact Report to address this topic.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The project would restore the exterior of the gas station building to a close approximation of its historic appearance and retain most of the surrounding hardscape features that characterized the setting of the building. Proposed new construction (i.e., the café building and associated trellis) is modest in scale, detached from the historic building, and compatible in materials and design with the historic property. Therefore, the project would meet Standard 9 provided the guidance detailed above under Standard 6 is implemented.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Loss of historic fabric is confined to portions of two windows, the front doors, and sections of concrete curbing. The other proposed alterations are reversible as the detached trellis and cafe building could be removed without affecting the physical or design integrity of the gas station building. Therefore, the proposed project meets Standard 10.

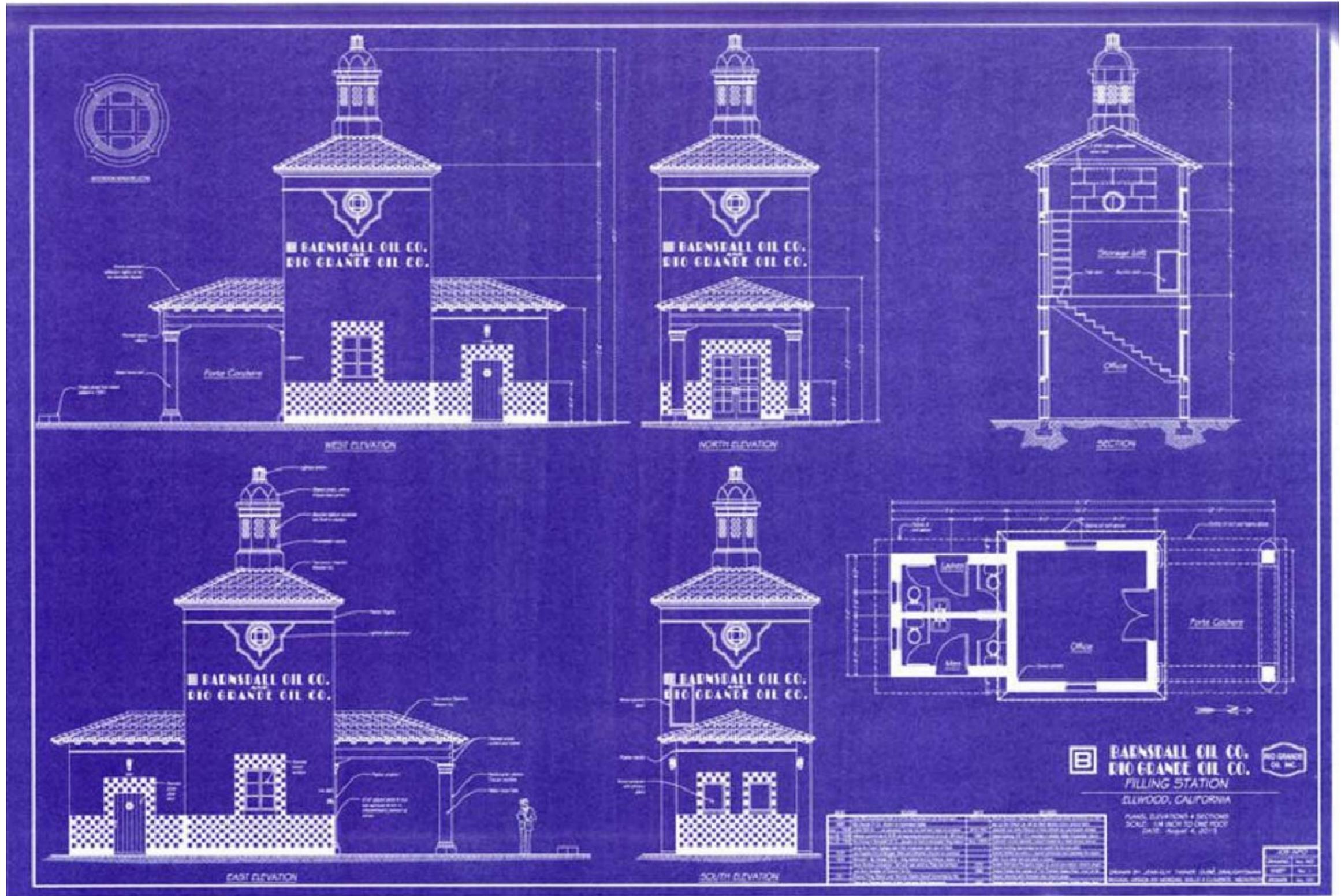
- C. *There is sufficient evidence, including evidence provided by the applicant, that denial of the proposed alteration would cause an immediate hardship because of conditions unique to the specific property.*

As depicted by photos of the historic Barnsdall Rio Grande Gas Station building included in the *Phase 2 Historic Resources Report for the Barnsdall-Rio Grande Gasoline Station, City of Goleta Landmark A* (Post/Hazeltine Associates, 2022), the building is deteriorating. Restoration activities proposed by the project include, but are not limited to replacing missing and broken wall tiles, repair of missing or damaged plaster, repair of roof structure elements, and the repair or replacement of the building's windows and doors. The proposed renovation activities would also be conducted in a manner that preserves the historical significance of the building. Further delays in conducting the proposed restoration could have the potential to result in accelerated building decay, which could have the potential to jeopardize the ability to restore the building in an economical manner.

## **Attachment B**

### **Project Plans and Photos**







HOLLISTER AVENUE

# BARNSDALL - RIO GRANDE CAFE



## FLOOR AREA CALCULATIONS

EXISTING CONDITIONS	FLOOR AREA SF
(E) BARNSDALL (B)	349 SF
<b>PROPOSED CONDITIONS</b>	
(P) BARNSDALL	349 SF
(P) BARNSDALL RESTORATION	495 SF
(P) CAFE	695 SF
<b>(P) BARNSDALL TOTAL (B)</b>	<b>1,044 SF</b>

## HABITABLE (H) AREA CALCULATIONS

EXISTING CONDITIONS	H. AREA SF	N/H. AREA SF
(E) BARNSDALL (B)	200 SF	149 SF
<b>PROPOSED CONDITIONS</b>		
(P) BARNSDALL	200 SF	149 SF
(P) BARNSDALL RESTORATION	495 SF	0 SF
(P) CAFE	895 SF	149 SF
<b>(P) BARNSDALL TOTAL (B)</b>	<b>895 SF</b>	<b>149 SF</b>

## HEIGHT CALCULATIONS (A.F.G.)

BUILDING STRUCTURE	(E) MAX. H. GRADE	(P) MAX. H. GRADE
BARNSDALL (B)	40'-2 1/2"	98'0"
RIO GRANDE CAFE (BC)	N/A	15'-6"
TRELLIS	N/A	12'-5 1/2"

## REFER TO SHEETS

BARNSDALL / CAFE  
A\_B-020'S FOR (E) ELEVATIONS, A\_B-200'S FOR (P) ELEVATIONS

## PARKING CALCULATIONS

EXISTING CONDITIONS	
BARNSDALL EXISTING (E) VEHICLE PARKING	5
<b>PROPOSED CONDITIONS</b>	
BARNSDALL PROPOSED (P) PARKING	14

## PARKING RATIOS

LAND USE	PARKING RATE
GOLF COURSE STORAGE	1/1000 SF
PRO SHOP	1/500 SF
PRO SHOP STORAGE	1/1000 SF
RESTAURANT	1/250 SF
LOUNGE / TERRACE	1/250 SF
OFFICE	1/300 SF

**NOTE: PARKING RATIOS NOT APPLICABLE FOR THE FOLLOWING AREAS:**  
GOLF COURSE, GOLF COURSE TERRACES, GRAB N' GO INDOOR, GRAB N' GO OUTDOOR, GOLF MAINTENANCE STORAGE, RESTAURANT STORAGE / BOH, CONFERENCE ROOM AND CIRCULATION.

## CODE COMPLIANCE

This project shall comply with:

The California Residential Code, 2022 Edition;  
The California Plumbing Code, 2022 Edition;  
The California Electrical Code, 2022 Edition;  
The California Mechanical Code, 2022 Edition;  
The California Fire Code, 2022 Edition;  
The California Energy Code, 2022 Edition;  
The California Green Building Standards Code, 2022 Edition;  
and all Amendments as adopted in Santa Barbara City Ordinance 5639.

## SANDPIPER OVERALL SITE PLAN



## PROJECT DESCRIPTION

The existing 349 SF historic Barnsdall-Rio Grande gas station will be restored and adapted as a support building for the proposed 695 SF Rio Grande Cafe, a quick stop for golfers and passersby, with a 727 SF new detached trellis structure to support outdoor seating. An adjacent 14 space lot will support the cafe.

Within Hollister Avenue, the project will include improvements to area roadways and project entrance of the main entrance to align with Cathedral Oaks Road. As public amenities, the project also includes a new public trail along Hollister Avenue, as well as additional pedestrian and landscape enhancements on each side of Hollister.

## SHEET INDEX

### ARCHITECTURAL DRAWINGS

T_B-001	TITLE PAGE, ENLARGED SITE PLAN
T-005	CONTEXT PHOTOS - EXISTING
T-007	CONTEXT PHOTOS - HISTORICAL REFERENCE
T-008	CONTEXT PHOTOS - HISTORICAL REFERENCE
T-009	MATERIAL BOARD / ARCHITECTURAL LIGHTING SPECS
T-010	PARKING CALCULATIONS
T-013	PARKING DIAGRAM
A_SP-090.0	SITE PLAN OVERALL
A_SP-090.1	SITE PLAN SETBACK DIAGRAMS
A_SP-093	SITE PLAN ENLARGED COLOR
A_SP-093	SITE PLAN ENLARGED
A_SP-094	BARNSDALL / MAINTENANCE
A_SP-094	SITE ENCLOSURES - TRASH
A_SP-095	SITE ENCLOSURES - UTILITY
A_SP-096	SITE ENCLOSURES - BICYCLE
A_B-011	EXISTING BARNSDALL FIRST FLOOR
A_B-012	EXISTING BARNSDALL ROOF PLAN
A_B-020	EXISTING BARNSDALL ELEVATIONS
A_B-101	BARNSDALL / CAFE FIRST FLOOR
A_B-120	BARNSDALL / CAFE ROOF PLAN
A_B-200	BARNSDALL / CAFE ELEVATIONS
A_B-201	BARNSDALL / CAFE ELEVATIONS
A_B-202	BARNSDALL / CAFE ELEVATIONS
A_B-300	BARNSDALL SECTIONS

### LANDSCAPE DRAWINGS

L-0	COVER SHEET
L-1	PRELIMINARY SITE / LAYOUT PLAN
L-2	PRELIMINARY LIGHTING PLAN

### CIVIL DRAWINGS

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS MAP & DEMOLITION PLAN
C-3	SITE PLAN & GOLF COURSE ACCESSIBILITY
C-6	GRADING & DRAINAGE PLANS
C-14	SECTIONS
C-16	DETAILS
C-17	HOLLISTER AVE. STREET IMPROVEMENTS PLAN
C-19	PROPOSED UTILITY PLAN
C-20	VEHICULAR ACCESS PLAN

# WINICK ARCHITECTS

404 Garden Street  
Santa Barbara CA 93101  
Tel 805 770 3400  
Fax 805 456 1680  
www.winickarchitects.com



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE

02/04/2024

NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL #2 SUBMITTAL	29 JUN 2023
3	HPC BARNSDALL SUBMITTAL	18 APR 2024
4	HPC BARNSDALL SUBMITTAL	13 APR 2024

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
GOLETA, CA. 93117

PROJECT NO. 30008

SCALE	DATE	DRAWING
AS NOTED	15 APR 2024	G2

## TITLE PAGE, PROPOSED ENLARGED SITE PLAN BARNSDALL

DRAWING NO.



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. DESIGN PROFESSIONAL SEAL NO. C 21863 STATE OF CALIFORNIA  
 CONSULTANTS



8 BARNSDALL NORTH VIEW (FROM GOLF COURSE)



7 BARNSDALL EAST SIGNAGE POST



6 BARNSDALL WEST SIGNAGE POST



5 BARNSDALL NORTH-WEST VIEW



4 BARNSDALL WEST VIEW



3 BARNSDALL SOUTH-WEST VIEW

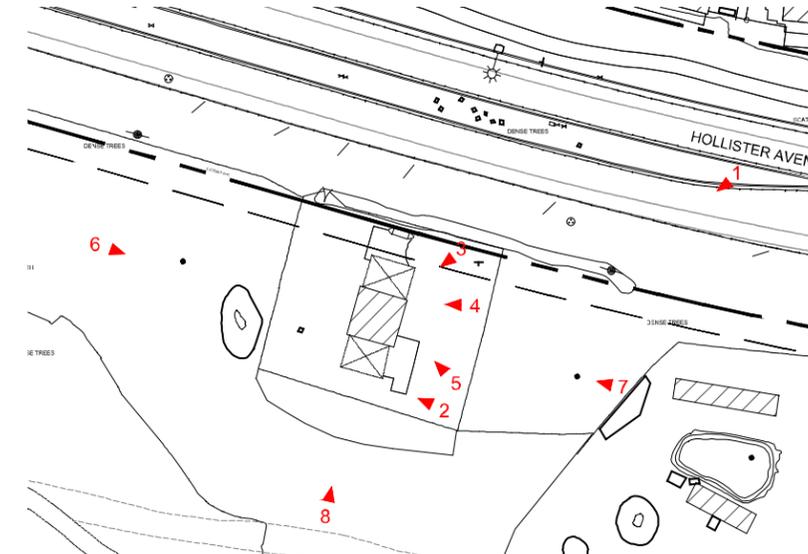


2 BARNSDALL (REAR) WEST VIEW

NO.	REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL RESUBMITTAL	30 APR 2023
3	HPC BARNSDALL SUBMITTAL	15 APR 2024
4	HPC BARNSDALL SUBMITTAL	18 APR 2024



1 BARNSDALL SOUTH-WEST VIEW



A BARNSDALL IMAGE KEY PLAN

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO: 30008

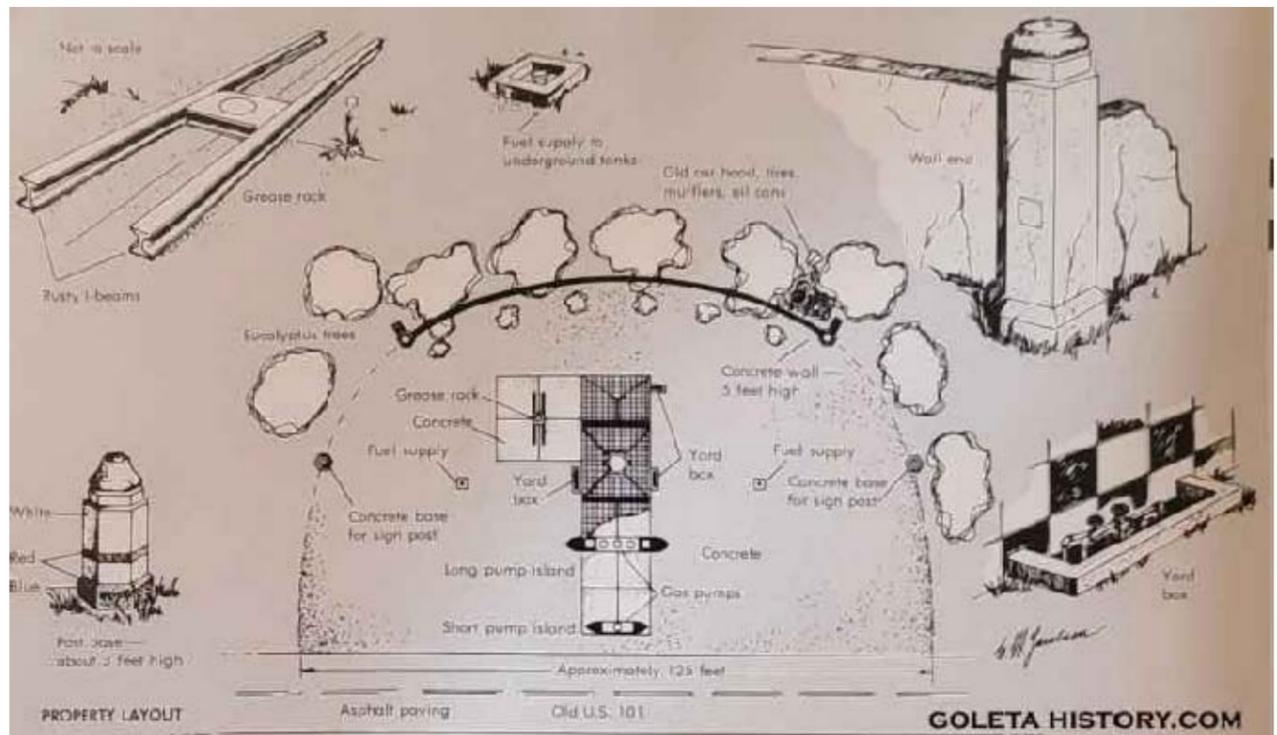
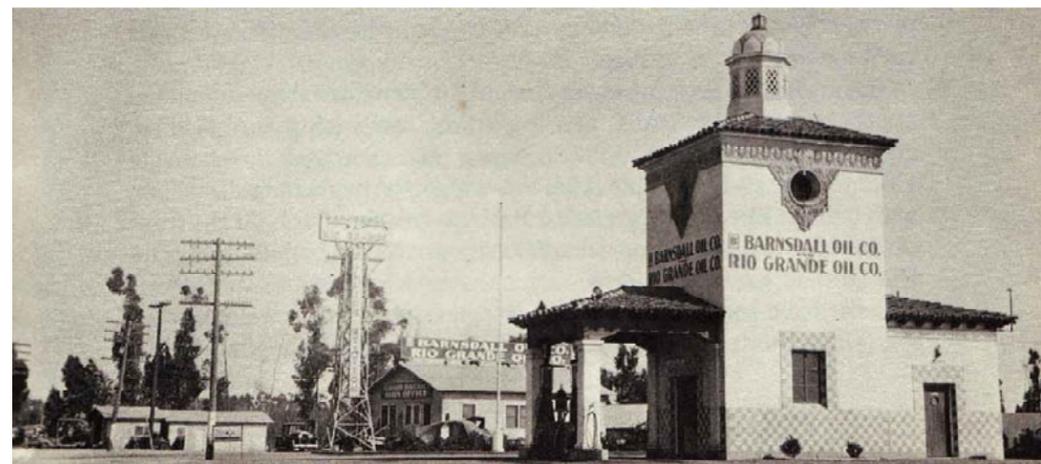
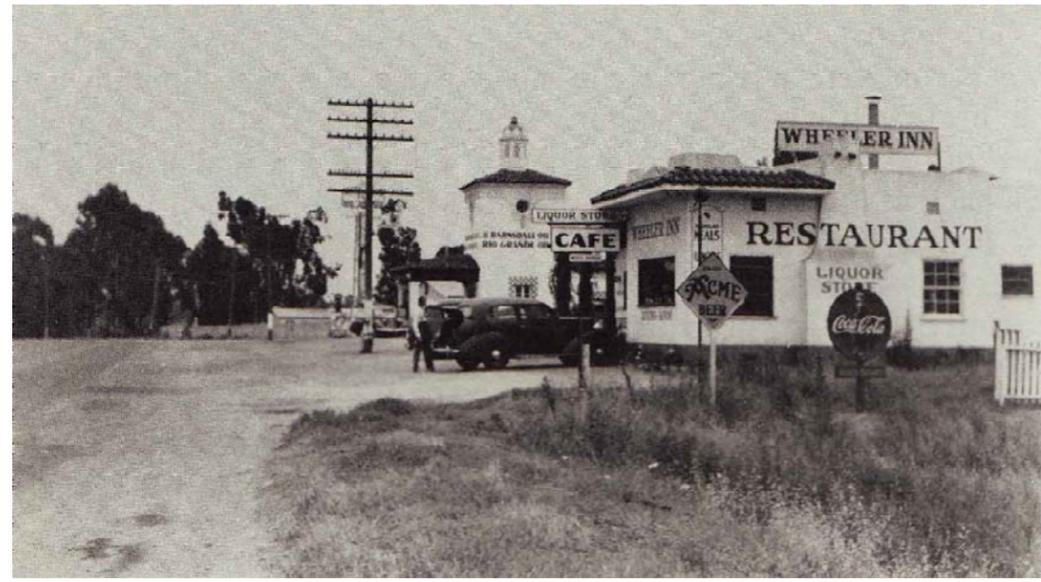
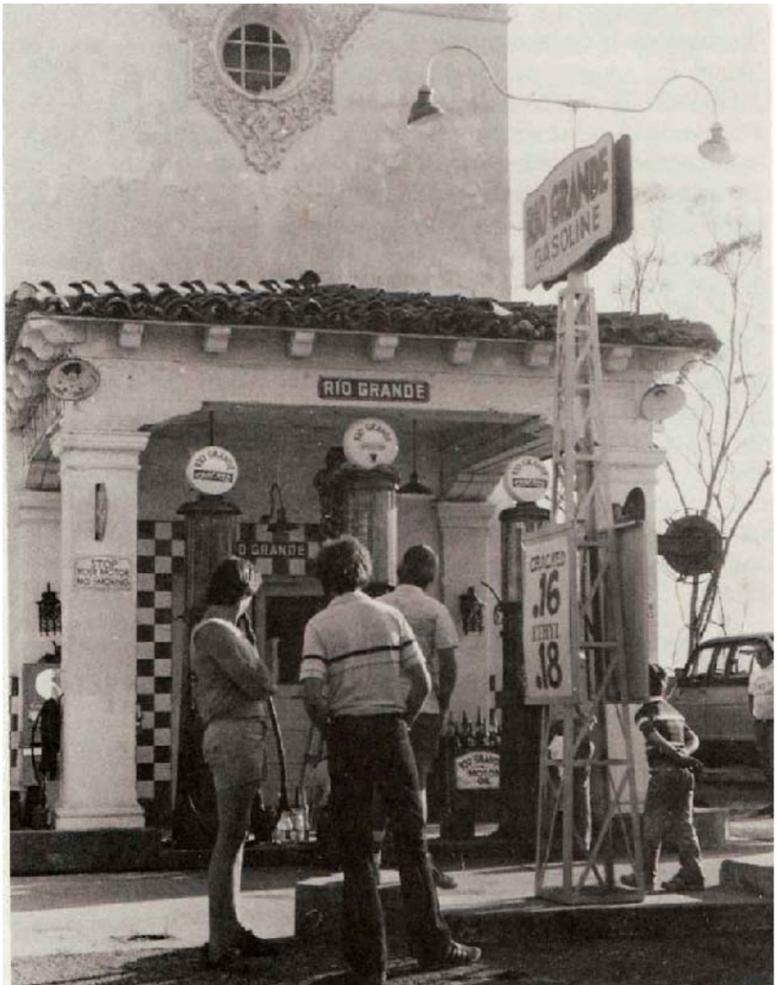
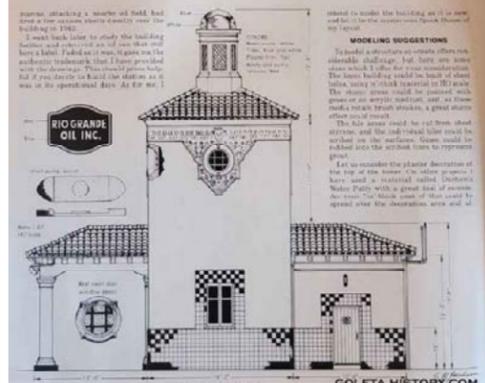
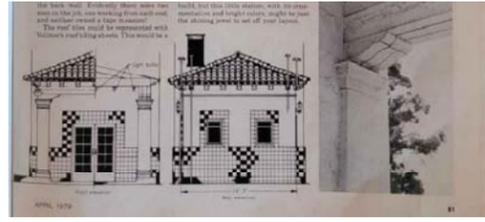
SCALE: AS NOTED DATE: 1 OCT 2022 DRAWN BY: GZ

## EXISTING BARNSDALL CONTEXT PHOTOS

DRAWING NO:



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. EXCEPT AS NOTED, THIS DOCUMENT IS UNCLASSIFIED.  
CONSULTANTS



NO.	DATE	DESCRIPTION
1	7 NOV 2023	CONCEPTUAL SUBMITTAL
2	16 APR 2024	CONCEPTUAL SUBMITTAL
3	15 APR 2024	IFC BARNSDALL SUBMITTAL
4	15 APR 2024	IFC BARNSDALL SUBMITTAL

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
GOLETA, CA, 93117

SCALE	DATE	DRAWN BY
AS NOTED	15 APR 2024	GZ

## BARNSDALL HISTORICAL REFERENCE

DATE: 10/1/2024



# WINICK ARCHITECTS

404 Garden Street  
 Santa Barbara CA 93101  
 Tel: 805 770 3400  
 Fax: 805 456 1680  
 www.winickarchitects.com



© 2018 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE  
 CONTRACT NO.

NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2012
2	CONCEPTUAL RE SUBMITTAL	26 JAN 2013
3	MFC BARNSDALL SUBMITTAL	18 APR 2014
4	MFC BARNSDALL SUBMITTAL	12 JUN 2014
5	DBA SUBMITTAL	27 JAN 2015

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

SCALE	DATE	DESIGNED BY
AS NOTED	1 OCT 2022	GZ

## PROPOSED OVERALL SITE PLAN

DRAWING NO.

# A\_SP-0900

1 PROPOSED OVERALL SITE PLAN

PROJECT NO.  
 SCALE: 1" = 150'-0"



© 2023 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE  
 CONSULTANTS



NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL RE SUBMITTAL	26 JAN 2023
3	MPC BARNSDALL SUBMITTAL	18 APR 2024
4	MPC BARNSDALL SUBMITTAL	18 APR 2024

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

SCALE	DATE	DESIGNER
AS NOTED	1 OCT 2022	GZ

### PROPOSED ENLARGED SITE PLAN BARNSDALL MAINTENANCE YARD

DRAWING NO.

1 PROPOSED ENLARGED SITE PLAN BARNSDALL / MAINTENANCE YARD

PROJECT N°  
 SCALE: 1/32" = 1'-0"

**KEYNOTES**

- 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED
- 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED
- 3 (E) CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A\_B-101
- 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED
- 5 (E) CONCRETE PAD TO REMAIN / RESTORED
- 6 (E) PLASTER COLUMNS, WOOD BEAMS AND CORBELS TO REMAIN / RESTORED
- 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CIVIL DWGS.
- 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED
- 9 (E) ROOF CUPULA TO REMAIN / RESTORED
- 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED
- 11 (E) OPENINGS TO BE REMOVED AND STORED FOR FUTURE USE
- 12 (E) MOLDINGS TO REMAIN / RESTORE
- 13
- 14
- 15

**DEMO NOTES**

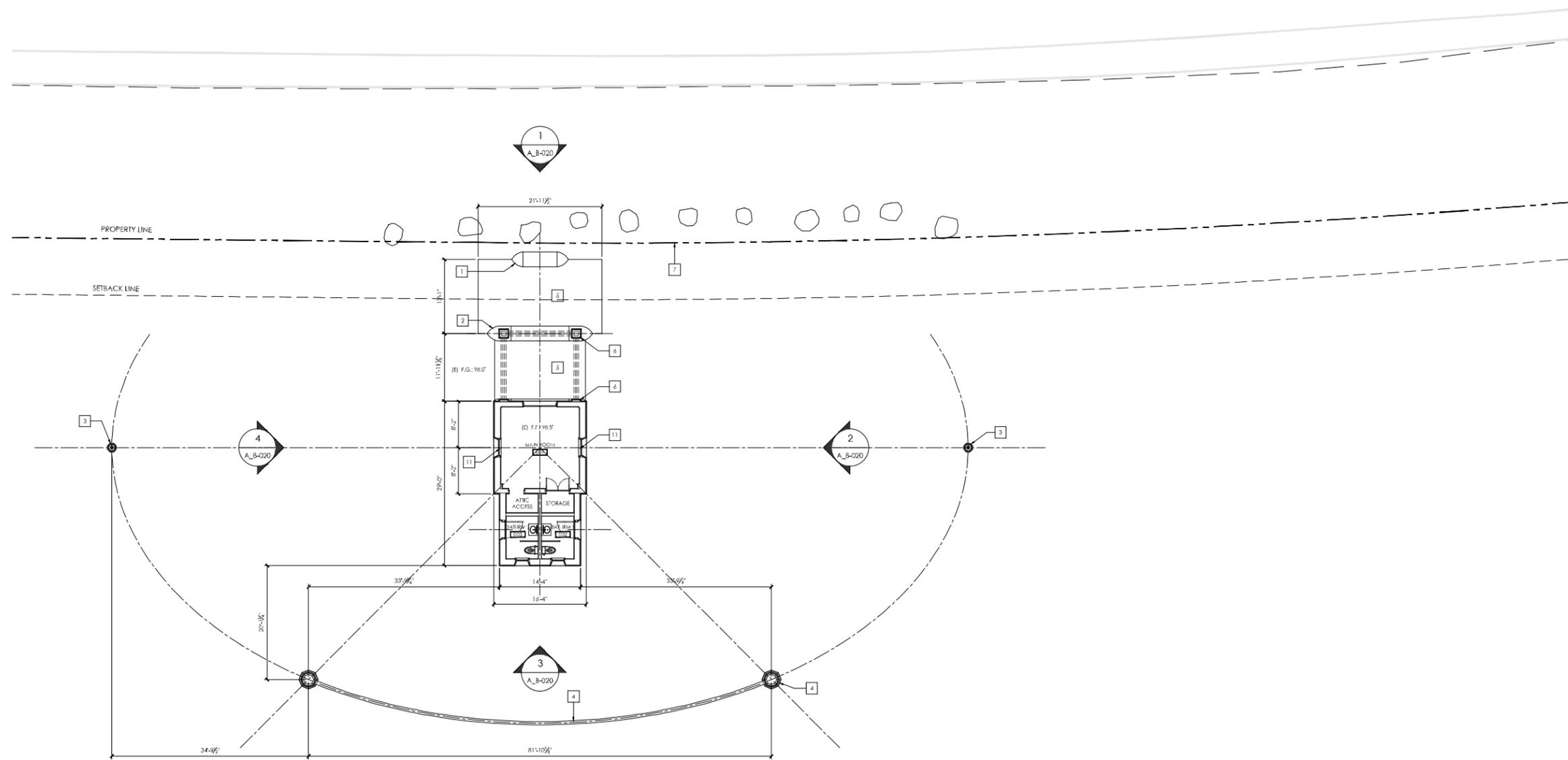
- 1. EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- 2. EXISTING OPENINGS TO REMAIN / RESTORED (I.N.O.)

**NOTES**

- 1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- 2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
- 3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL



NO.	DATE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL SUBMITTAL	16 APR 2023
3	RFC BARNSDALL SUBMITTAL	15 APR 2024
4	RFC BARNSDALL SUBMITTAL	13 JAN 2024

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 30008

SCALE	DATE	DRAWN BY
AS NOTED	1 OCT 2022	GZ

**EXISTING BARNSDALL FLOOR PLAN**

DRAWING NO.

1 EXISTING BARNSDALL FLOOR PLAN

PROJECT NO. 30008  
 SCALE: 1/8" = 1'-0"

**KEYNOTES**

- |  |  |  |   |    |
|--|--|--|---|----|
| 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED   | 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED               | 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CIVIL DWGS. | 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED | 13 |
| 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED  | 5 (E) CONCRETE PAD TO REMAIN / RESTORED                            | 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED       | 11 (E) OPENINGS TO BE REMOVED AND STORED FOR FUTURE USE | 14 |
| 3 (E) CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A_B-101 | 6 (E) PLASTER COLUMNS, WOOD BEAMS AND CORBELS TO REMAIN / RESTORED | 9 (E) ROOF CUPULA TO REMAIN / RESTORED           | 12 (E) MOLDINGS TO REMAIN / RESTORE                     | 15 |

**DEMO NOTES**

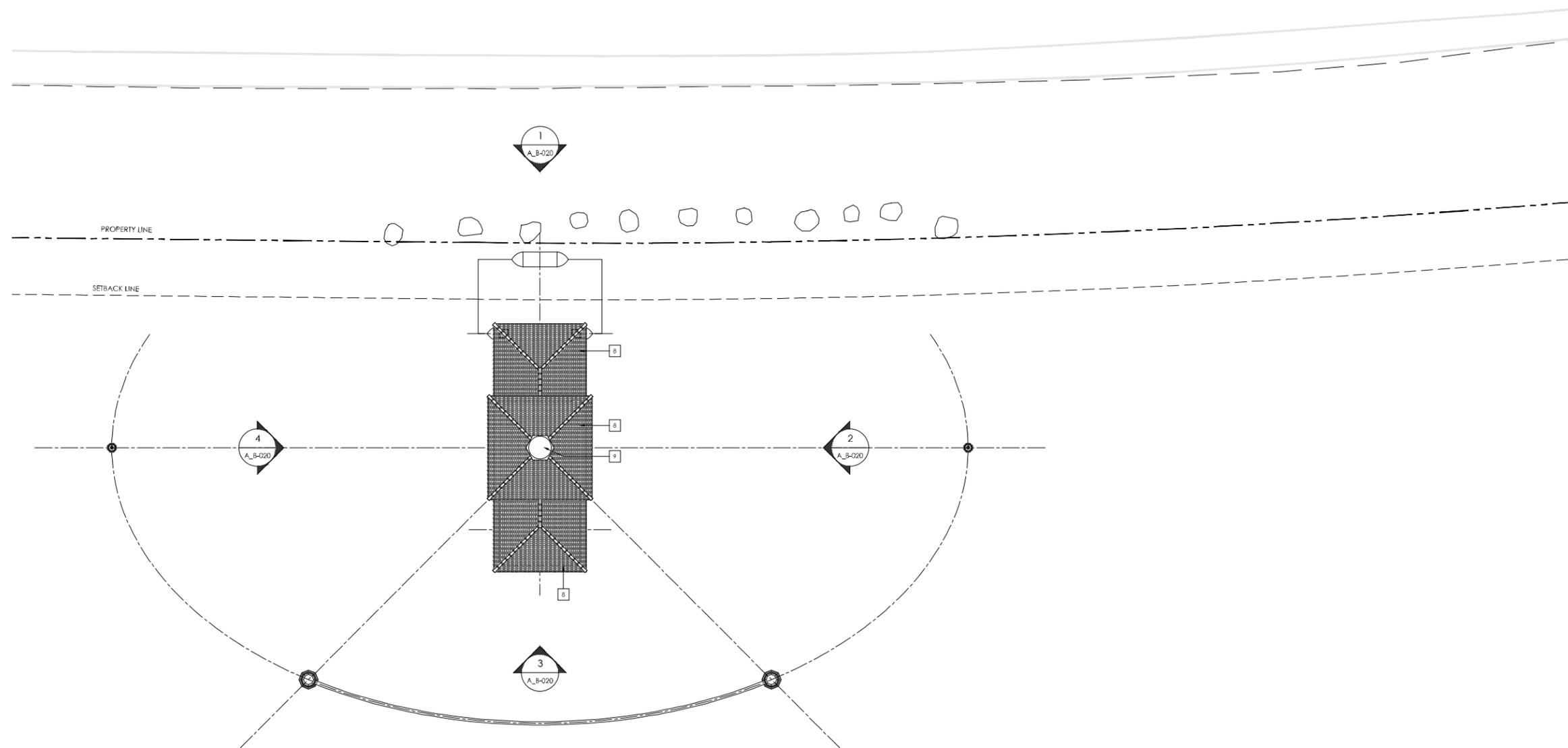
- EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- EXISTING OPENINGS TO REMAIN / RESTORED (I.N.O.)

**NOTES**

- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL



NO.	DATE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL SUBMITTAL	16 APR 2023
3	RFC BARNSDALL SUBMITTAL	15 APR 2024
4	RFC BARNSDALL SUBMITTAL	13 JUN 2024

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 30008

SCALE	DATE	DRAWN BY
AS NOTED	1 OCT 2022	GZ

**EXISTING BARNSDALL ROOF PLAN**

DRAWING NO.

1 EXISTING BARNSDALL ROOF PLAN

PROJECT NO. 30008  
 SCALE 1/8" = 1'-0"

**KEYNOTES**

- 1 (E) SHORT PUMP ISLAND TO REMAIN / RESTORED
- 2 (E) LONG PUMP ISLAND TO REMAIN / RESTORED
- 3 (E) CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RELOCATED / RESTORED. REFER TO A\_B-101
- 4 (E) PLASTER / 5' H. SITE WALL TO REMAIN / RESTORED
- 5 (E) CONCRETE PAD TO REMAIN / RESTORED
- 6 (E) PLASTER COLUMNS, WOOD BEAMS AND CORBELS TO REMAIN / RESTORED
- 7 (E) RIGHT OF WAY (R.O.W.) REFER TO CIVIL DWGS.
- 8 (E) ROOF, ROOF TILE TO REMAIN / RESTORED
- 9 (E) ROOF CUPULA TO REMAIN / RESTORED
- 10 (E) CERAMIC TILE (BLUE / WHITE) TO REMAIN / RESTORED
- 11 (E) OPENINGS TO BE REMOVED AND STORED FOR FUTURE USE
- 12 (E) MOLDINGS TO REMAIN / RESTORE

**DEMO NOTES**

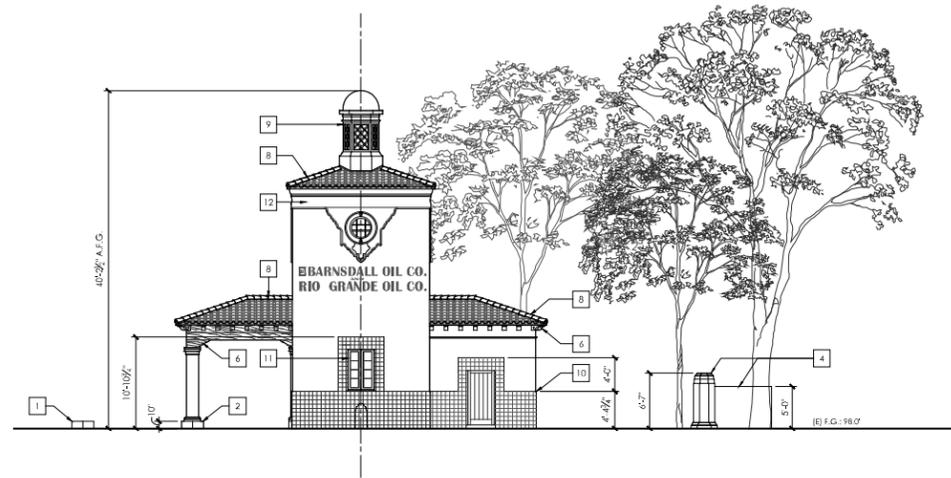
- 1. EXISTING BARNSDALL BUILDING AND SITE WALL TO BE RESTORED
- 2. EXISTING OPENINGS TO REMAIN / RESTORED (I.N.O.)

**NOTES**

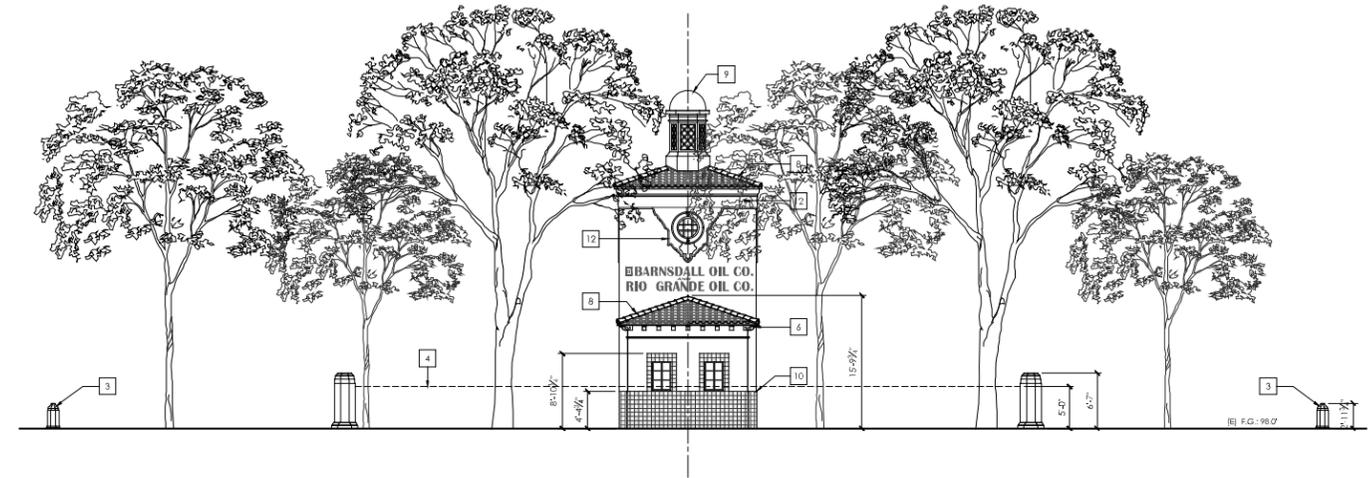
- 1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- 2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
- 3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- (E) SELECTIVE REMOVAL



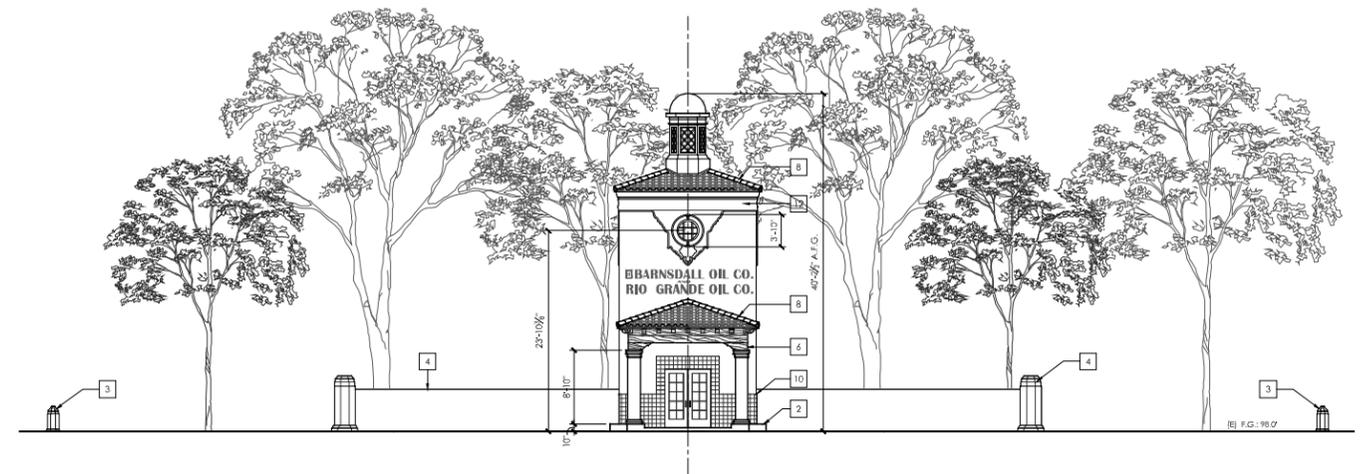
4 EXISTING BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



3 EXISTING BARNSDALL SOUTH ELEVATION SCALE 1/8" = 1'-0"



2 EXISTING BARNSDALL EAST ELEVATION SCALE 1/8" = 1'-0"



1 EXISTING BARNSDALL NORTH ELEVATION SCALE 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	26 FEB 2023	CONCEPTUAL SUBMITTAL
3	15 APR 2024	HPC BARNSDALL SUBMITTAL
4	13 JUN 2024	HPC BARNSDALL SUBMITTAL

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 3000B

SCALE	DATE	DRAWN BY
AS NOTED	1 OCT 2022	GZ

**EXISTING BARNSDALL EXTERIOR ELEVATIONS**

DRAWING NO.

**KEYNOTES**

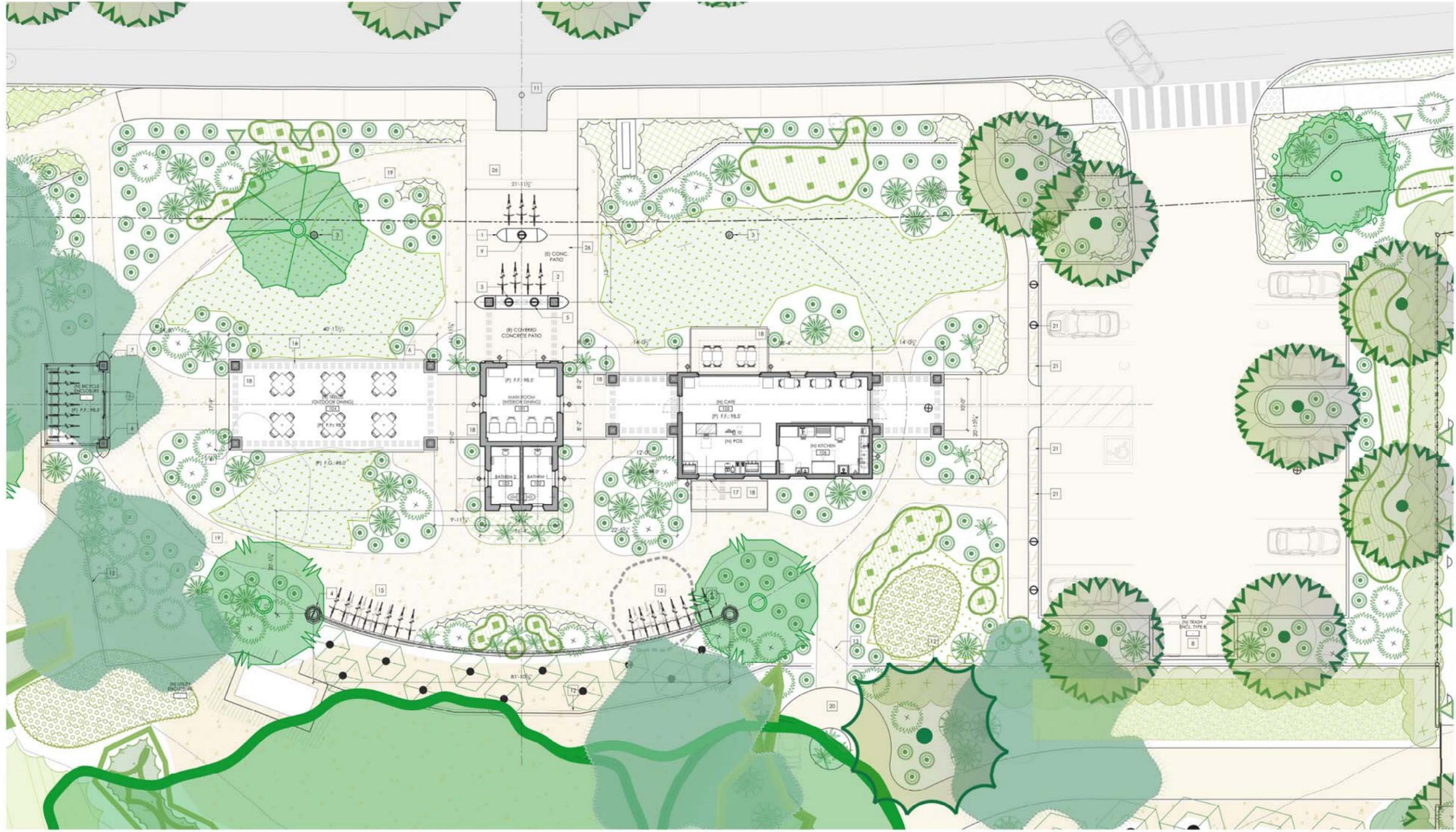
- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RESTORED
- 4 (E) PLASTER / 5' H. SITE WALL
- 5 (N) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SETBACK PER HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD, REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (N) FENCE (W HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE OUT WINDOW
- 18 (N) HARDSCAPE
- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 14' x 32') (APPROX. 512 SF)
- 24 (E) CERAMIC TILES TO BE RESTORED (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 25 (N) PLASTER PARAPET
- 26 (E) CONCRETE PAD TO BE RESTORED
- 27 (E) ROOF TILES TO BE RESTORED (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 28 (E) ROOF CUPULA TO BE RESTORED
- 29 (N) MOLDINGS TO MATCH EXISTING
- 30 (N) OPENING TO MATCH EXISTING
- 31 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 32 (N) BICYCLE ENCLOSURE, FENCED, COVERED AND LOCKED
- 33
- 34
- 35
- 36

**NOTES**

1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- - - - (E) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (N) WALL



NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL REV SUBMITTAL	26 JAN 2023
3	IFC BARNSDALL SUBMITTAL	18 APR 2024
4	IFC BARNSDALL SUBMITTAL	13 JAN 2024
5	IFC BARNSDALL SUBMITTAL	27 JAN 2024

**SANDPIPER GOLF CLUB**

7925 HOLLY LISTER AVE  
 GOLETA, CA. 93117

PROJECT NO: 30008  
 SCALE: AS NOTED  
 DATE: 1 OCT 2022  
 DRAWN BY: GZ

**PROPOSED BARNSDALL (N) RIO GRANDE CAFE FLOOR PLAN**

1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE FLOOR PLAN

PROJECT N°  
 SCALE 1/8" = 1'-0"

**KEYNOTES**

- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RESTORED
- 4 (E) PILASTER / 5' H. SITE WALL
- 5 (N) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SETBACK PER HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD. REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (N) FENCE (W HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.

- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE OUT WINDOW
- 18 (N) HARDSCAPE
- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 14' x 32') (APPROX. 512 SF)
- 24 (E) CERAMIC TILES TO BE RESTORED (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY

- 25 (N) PLASTER PARAPET
- 26 (E) CONCRETE PAD TO BE RESTORED (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 27 (E) ROOF TILES TO BE RESTORED (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 28 (E) ROOF CUPOLA TO BE RESTORED
- 29 (N) MOLDINGS TO MATCH EXISTING
- 30 (N) OPENING TO MATCH EXISTING
- 31 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 32 (N) BICYCLE ENCLOSURE, FENCED, COVERED AND LOCKED
- 33
- 34
- 35
- 36

**NOTES**

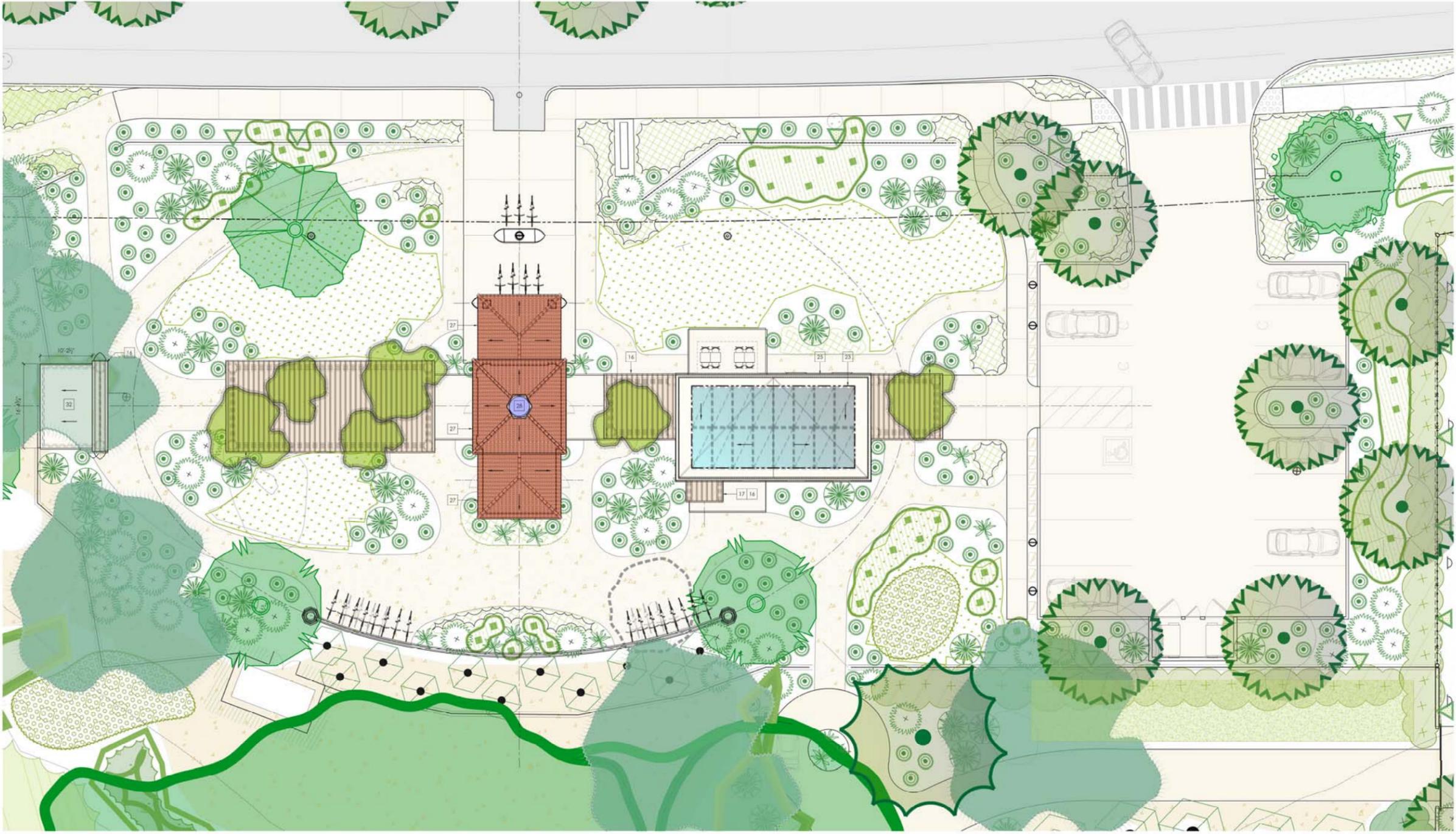
1. DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
2. GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
3. ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- - - - (E) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (N) WALL



© 2023 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE  
 CONSULTANTS



NO.	ISSUE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL RE SUBMITTAL	26 JAN 2023
3	RPC BARNSDALL SUBMITTAL	16 APR 2024
4	RPC BARNSDALL SUBMITTAL	13 JAN 2025
5	RPC BARNSDALL SUBMITTAL	27 JAN 2025

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008  
 SCALE AS NOTED DATE 1 OCT 2022 DRAWN BY GZ

**PROPOSED BARNSDALL (N) RIO GRANDE CAFE ROOF PLAN**

DRAWING NO.

1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE ROOF PLAN

PROJECT N°  
 SCALE 1/8" = 1'-0"

**KEYNOTES**

- 1 (E) SHORT PUMP ISLAND TO BE RESTORED
- 2 (E) LONG PUMP ISLAND TO BE RESTORED
- 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (3 H. APPROX.) TO BE RESTORED
- 4 (E) PLASTER / 5' H. SITE WALL
- 5 (N) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS
- 6 (N) WOOD COLUMN TO MATCH EXISTING
- 7 (N) LONG PUMP ISLAND TO MATCH EXISTING
- 8 (N) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS
- 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SETBACK PER HISTORICAL REFERENCE.
- 10 NOT USED
- 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD. REFER TO CIVIL / LANDSCAPE DRAWINGS.
- 12 (N) FENCE (W HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.
- 13 (N) SECURITY GATE
- 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 15 (N) BIKE PARKING
- 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS
- 17 (N) TAKE OUT WINDOW
- 18 (N) HARDSCAPE
- 19 (N) BIKE PATH
- 20 (N) GOLF CART PATH
- 21 (N) ELECTRIC CAR CHARGING STATION
- 22 NOT USED
- 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' X 32') (APPROX. 512 SF)
- 24 (E) CERAMIC TILES TO BE RESTORED (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY
- 25 (N) PLASTER PARAPET
- 26 (E) CONCRETE PAD TO BE RESTORED
- 27 (E) ROOF TILES TO BE RESTORED (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY
- 28 (E) ROOF CUPULA TO BE RESTORED
- 29 (N) MOLDINGS TO MATCH EXISTING
- 30 (N) OPENING TO MATCH EXISTING
- 31 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING
- 32 (N) BICYCLE ENCLOSURE: FENCED, COVERED AND LOCKED
- 33
- 34
- 35
- 36

**NOTES**

- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- - - - (E) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (N) WALL

404 Garden Street  
 Santa Barbara CA 93101  
 Tel 805 770 3400  
 Fax 805 456 1680  
 www.winickarchitects.com



© 2023 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE



3 PROPOSED BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



2 PROPOSED BARNSDALL EAST ELEVATION SCALE 1/8" = 1'-0"



1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE NORTH ELEVATION SCALE 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	26 JAN 2023	CONCEPTUAL RE SUBMITTAL
3	18 APR 2024	MPC BARNSDALL SUBMITTAL
4	13 JUN 2024	MPC BARNSDALL SUBMITTAL
5	27 JAN 2025	DBA SUBMITTAL

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

SCALE: AS NOTED DATE: 1 OCT 2022 DRAWN BY: GZ

**PROPOSED BARNSDALL (N) RIO GRANDE CAFE ELEVATIONS**

DRAWING NO.

**KEYNOTES**

- |  |  |  |   |  |   |
|--|--|--|---|--|---|
| 1 (E) SHORT PUMP ISLAND TO BE RESTORED                                     | 7 (N) LONG PUMP ISLAND TO MATCH EXISTING   | 13 (N) SECURITY GATE   | 19 (N) BIKE PATH  | 25 (N) PLASTER PARAPET   | 31 (E) OPENING TO BE RESTORED OR TO BE REPLACED TO MATCH EXISTING |
| 2 (F) LONG PUMP ISLAND TO BE RESTORED                                      | 8 (N) COVERED TRASH / RECYCLING AREA PER CITY STANDARDS                                      | 14 (N) PARKING LOT REFER TO CIVIL DRAWINGS                       | 20 (N) GOLF CART PATH   | 26 (E) CONCRETE PAD TO BE RESTORED   | 32 (N) BICYCLE ENCLOSURE: FENCED, COVERED AND LOCKED              |
| 3 (E) RELOCATED CONCRETE BASE FOR SIGN POST (3' H. APPROX.) TO BE RESTORED | 9 (N) REPLACEMENT GAS PUMP (REF. TO KEYNOTE 5) LOCATION IN SETBACK PER HISTORICAL REFERENCE. | 15 (N) BIKE PARKING  | 21 (E) ELECTRIC CAR CHARGING STATION  | 27 (E) ROOF TILES TO BE RESTORED (N) ROOF TILES TO MATCH EXISTING WHEN NECESSARY | 33  |
| 4 (E) PLASTER / 5' H. SITE WALL  | 10 NOT USED  | 16 (N) TRELLIS STRUCTURE TO MATCH (E) COVERED PORCH WOOD RAFTERS | 22 NOT USED   | 28 (E) ROOF CUPOLA TO BE RESTORED  | 34  |
| 5 (N) VINTAGE GAS PUMPS RETROFIT FOR ELECTRIC BICYCLE CHARGING STATIONS    | 11 (N) BICYCLE CURB CUT, ENTRY DRIVEWAY W/ BOLLARD. REFER TO CIVIL / LANDSCAPE DRAWINGS.     | 17 (N) TAKE OUT WINDOW   | 23 (N) AREA OF POTENTIAL FUTURE SOLAR ENERGY SYSTEM INSTALLATION (AREA: 16' x 32') (APPROX. 512 SF) | 29 (N) MOLDINGS TO MATCH EXISTING  | 35  |
| 6 (N) WOOD COLUMN TO MATCH EXISTING  | 12 (N) FENCE (W HEDGE WHEN NOTED) REFER TO LANDSCAPE DRAWINGS.                               | 18 (N) HARDSCAPE   | 24 (E) CERAMIC TILES TO BE RESTORED (N) CERAMIC TILES TO MATCH EXISTING WHEN NECESSARY              | 30 (N) OPENING TO MATCH EXISTING   | 36  |

**NOTES**

- DIMENSIONS ARE GIVEN TO GRIDLINES WHEREVER POSSIBLE.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT CENTERLINE OF WALLS AND FACE OF FRAMING.
- ALL OTHER DIMENSIONS ARE TO CENTERLINE OF OPENING, OR CENTER OF COLUMN.

**LEGEND**

- (E) TO BE REMOVED
- - - - (E) SELECTIVE REMOVAL
- (E) WALL TO REMAIN
- (N) WALL



© 2023 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED UNDER CALIFORNIA LAW AND TITLE 17 OF THE UNITED STATES CODE  
 0000000000



3 PROPOSED BARNSDALL WEST ELEVATION SCALE 1/8" = 1'-0"



2 PROPOSED (N) RIO GRANDE CAFE EAST ELEVATION SCALE 1/8" = 1'-0"



1 PROPOSED BARNSDALL / (N) RIO GRANDE CAFE SOUTH ELEVATION SCALE 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	26 JAN 2023	CONCEPTUAL RE SUBMITTAL
3	18 APR 2024	MPC BARNSDALL SUBMITTAL
4	13 JUN 2024	MPC BARNSDALL SUBMITTAL
5	27 JAN 2025	DBS SUBMITTAL

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

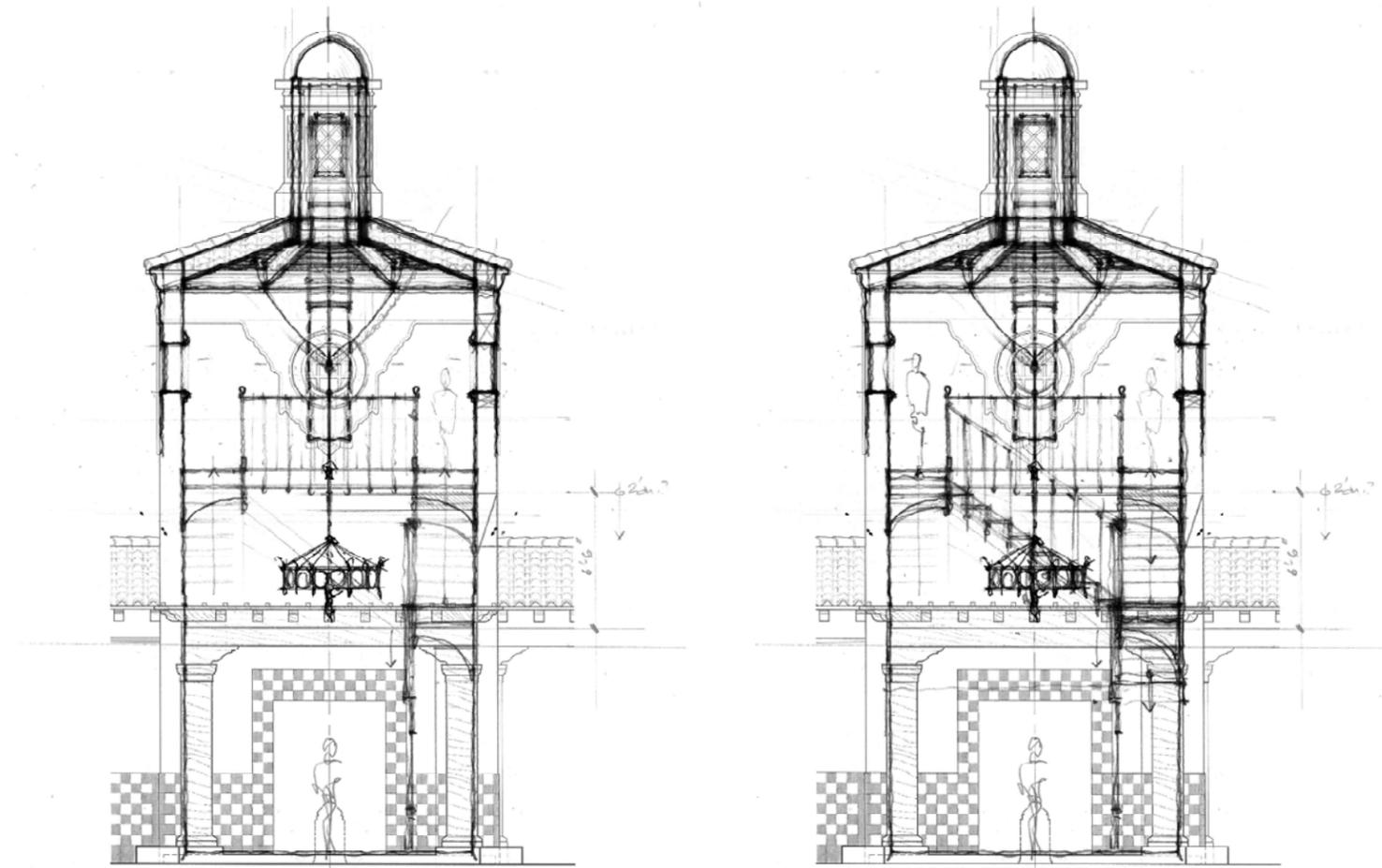
SCALE	DATE	DESIGNER
AS NOTED	1 OCT 2022	GZ

**PROPOSED BARNSDALL (N) RIO GRANDE CAFE ELEVATIONS**

DRAWING NO.



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. LICENSED ARCHITECTS UNDER THE ARCHITECTURE ACT OF 1967, CHAPTER 1099, DIVISION 3, CALIFORNIA. REGISTERED PROFESSIONAL ARCHITECTS.



NO.	REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL SUBMITTAL	16 APR 2023
3	IFC BARNSDALL SUBMITTAL	15 APR 2024
4	IFC BARNSDALL SUBMITTAL	13 JUN 2024

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 30008

SCALE	DATE	DRAWN BY
AS NOTED	15 APR 2024	GZ

## BARNSDALL CONCEPTUAL BUILDING SECTIONS

DRAWING NO.

**BARNSDALL MATERIALS NOTE**

ALL EXTERIOR MATERIAL SELECTIONS SHALL BE MADE PER HISTORIC PRESERVATIONIST RECOMMENDATION TO REPLACE ORIGINAL MATERIALS, SUCH AS: STUCCO, WOOD, ROOF TILE, DECORATIVE TILES, MOSAIC TILES, PAINT, DECORATIVE PLASTER, DETAILS, MOLDINGS, ETC.

**RIO GRANDE CAFE / TRELIS MATERIALS NOTE**

ALL EXTERIOR MATERIAL SELECTIONS TO MATCH BARNSDALL HISTORIC PRESERVATIONIST RECOMMENDATION TO REPLACE ORIGINAL MATERIALS

404 Garden Street  
Santa Barbara CA 93101  
Tel: 805 770-8408  
Fax: 805 486-1480  
www.winickarchitects.com



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. LICENSED ARCHITECTS UNDER THE BOARD OF ARCHITECTS OF THE STATE OF CALIFORNIA. CONSULTANTS



THOMAS O'BRIEN ACADEMY  
18" LARKBEE W/ 1/2" TILED SHADE WALL SCONCE  
LOW LUMEN OUTPUT  
2700 K COLOR TEMPERATURE  
FINISH: MATTE BLACK

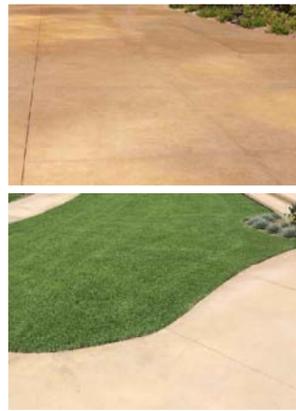
3 BARNSDALL ARCHITECTURAL LIGHTING  
REFER TO SHEET A\_B-101 BARNSDALL / CAFE FIRST FLOOR FOR ARCHITECTURAL LIGHTING  
REFER TO SHEET L-2 FOR SITE AND LANDSCAPE LIGHTING  
SCALE: N.T.S.



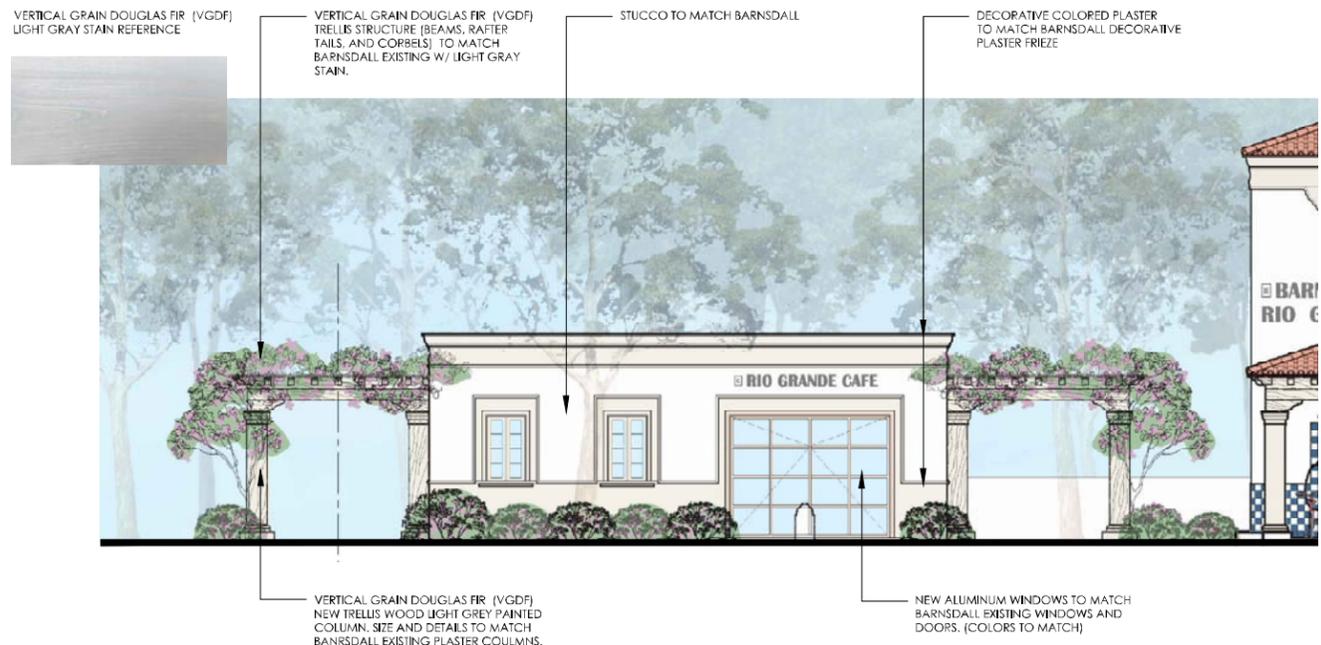
6 GRANITECRETE FINISHED SURFACE  
SCALE: N.T.S.



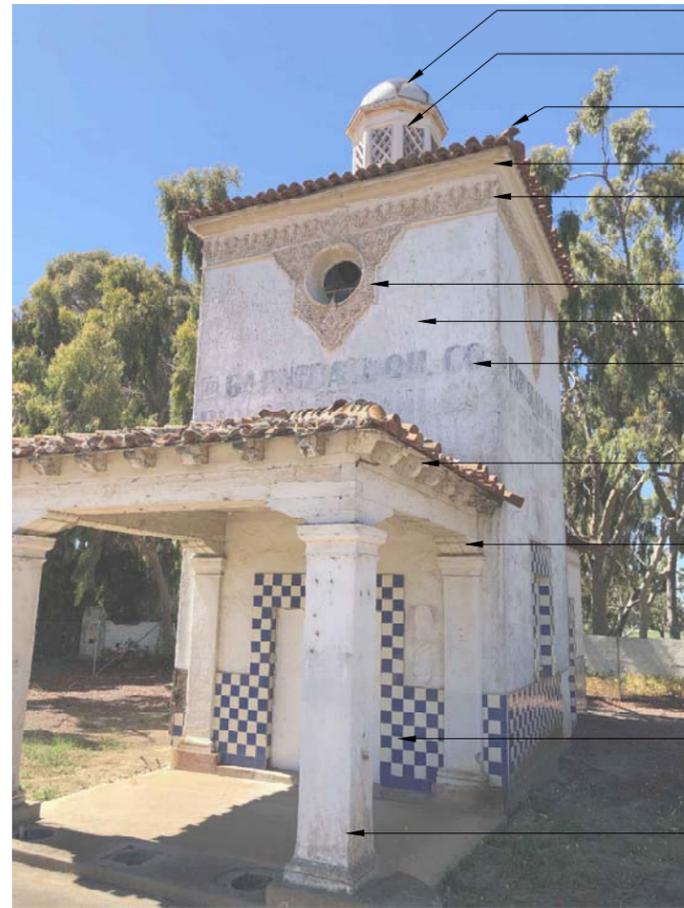
5 CEDAR SPLIT RAIL FENCE  
SCALE: N.T.S.



4 SAND FINISHED COLORED CONCRETE  
SCALE: N.T.S.



2 RIO GRANDE CAFE MATERIALS  
SCALE: N.T.S.



1 BARNSDALL (RESTORATION) MATERIALS  
SCALE: N.T.S.

NO.	DATE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2023
2	CONCEPTUAL SUBMITTAL	16 APR 2024
3	RFC BARNSDALL SUBMITTAL	15 APR 2024
4	RFC BARNSDALL SUBMITTAL	15 APR 2024

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
GOLETA, CA, 93117

PROJECT NO. 30008

SCALE: AS NOTED DATE: 15 APR 2024 DRAWN BY: GZ

**BARNSDALL MATERIALS BOARD**

BOARD NO.:



**KEYNOTES**

- 1 (N) PROPOSED BUILDING
- 2 (N) PROPOSED RIGHT OF WAY (R.O.W.) REFER TO CIVIL DWGS.
- 3 (E) ENTRANCE TO REMAIN - REFER TO CIVIL DWGS.
- 4 (N) PARKING LOT REFER TO CIVIL DRAWINGS
- 5 (N) SECURITY GATE
- 6 (N) ENTRANCE - REFER TO CIVIL
- 7 (N) BAG DROP/OFF AREA
- 8 (N) GOLF COURSE - REFER TO LANDSCAPE DWGS.

- 9 (N) ON-WAY DRIVEWAY - REFER TO CIVIL
- 10 (E) WATER FEATURE TO REMAIN AND TO BE PROTECTED
- 11 (N) CART PATHS - REFER TO CIVIL / LANDSCAPE DRAWINGS
- 12 (E) FUEL STATION TO REMAIN

- 13 (N) PROPOSED RE-BUILT BUILDING
- 14 (N) RESTORED BARNSDALL BUILDING
- 15 (N) TRELLIS
- 16 (E) RESTORED SITE WALL

- 17 (N) PROPOSED SITE WALL
- 18 (N) PROPOSED FENCE
- 19 (N) CHAIN GATE
- 20 (N) PEDESTRIAN PATH / TRAIL - REFER TO LANDSCAPE

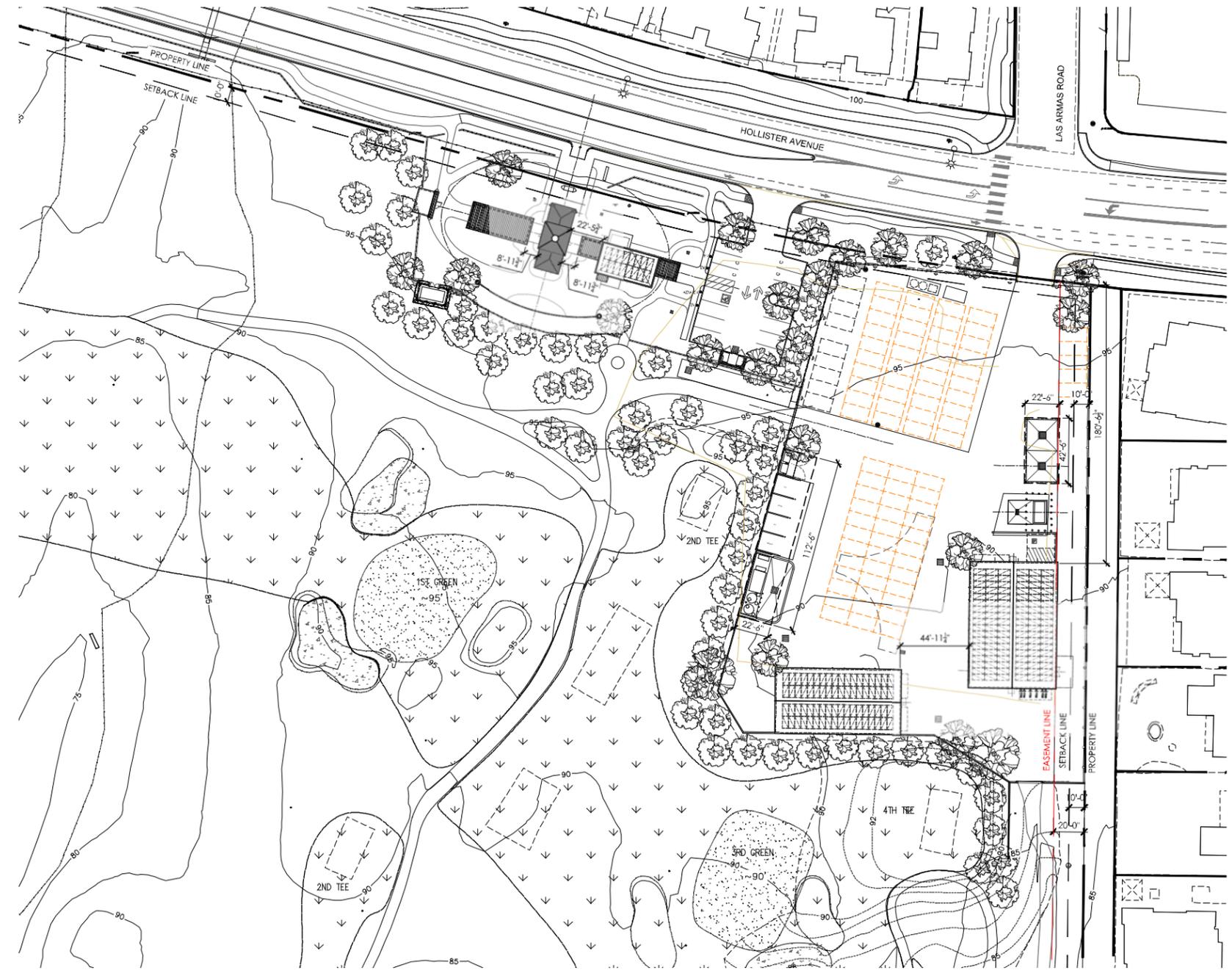
- 21 (N) ROOF CANOPY
- 22 (N) ENCLOSED PUMP STATION (EAST) AND FERTIGATION SYSTEM (WEST)
- 23 (N) PATH LIGHT - REFER TO SHEET A\_M-200
- 24 (N) TRASH / RECYCLING ENCLOSURE PER CFI STANDARDS. REF. TO SHEET A\_SP-094
- 25 (N) COVERED WASH / BLOW OFF AREAS
- 26 (N) UTILITY ENCLOSURE AREA REF. TO SHEET A\_SP-095
- 27 (N) BICYCLE PARKING / ENCLOSURE REF. TO SHEET A\_SP-096

**NOTES**

1. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING PLANS.
2. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND LANDSCAPE.
3. REFER TO CIVIL DRAWINGS FOR PROPOSED HOLLISTER / CATHEDRAL OAKS TRAFFIC INFORMATION AND ADJUSTMENTS.
4. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED GOLF ROUTING PLANS.
5. REFER TO CIVIL DRAWINGS FOR PROPOSED UTILITIES.
6. REFER TO LANDSCAPE DRAWINGS FOR LIGHTING DESIGN AND SPECIFICATIONS - U.I.G.

**LEGEND**

- AREA OF WORK



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. EXEMPT FROM CALIFORNIA LAW ARTICLE 17.122 (1) OF THE PUBLIC CONTRACT CODE  
 CONSULTANTS

NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	30 APR 2023	CONCEPTUAL REV. SUBMITTAL
3	15 APR 2024	HPC BARNSDALL SUBMITTAL
4	13 APR 2024	HPC BARNSDALL SUBMITTAL

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

SCALE	DATE	DRAWN BY
AS NOTED	1 OCT 2022	GZ

**PROPOSED ENLARGED SITE PLAN BARNSDALL MAINTENANCE YARD**

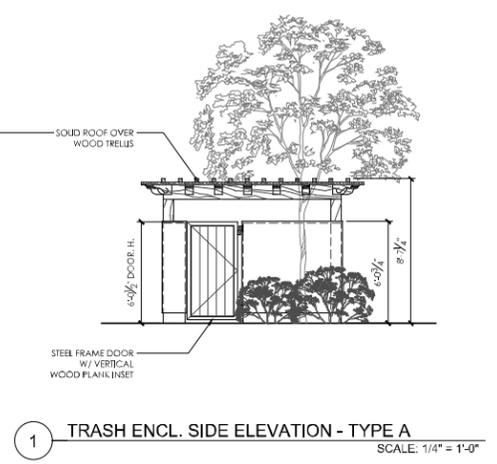
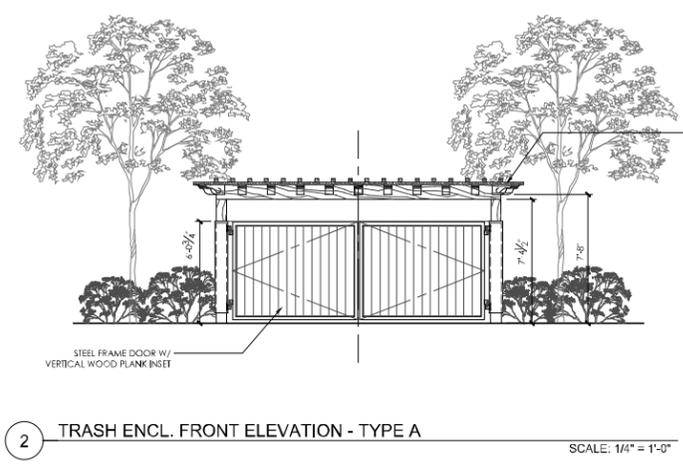
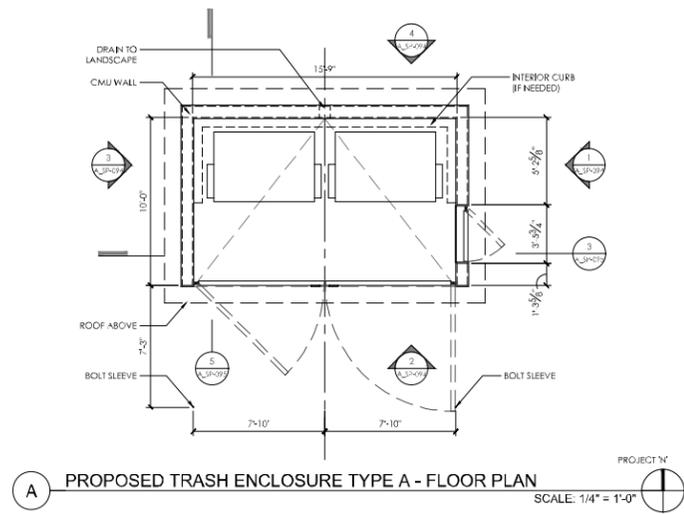
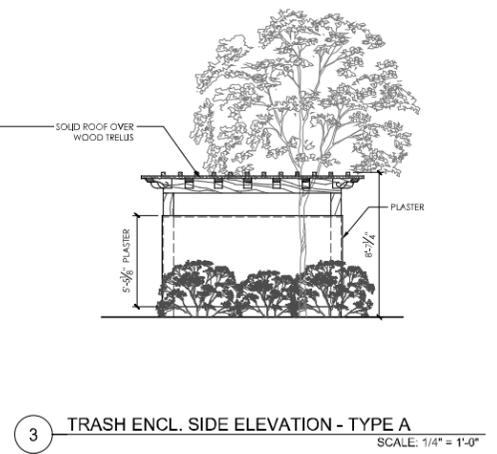
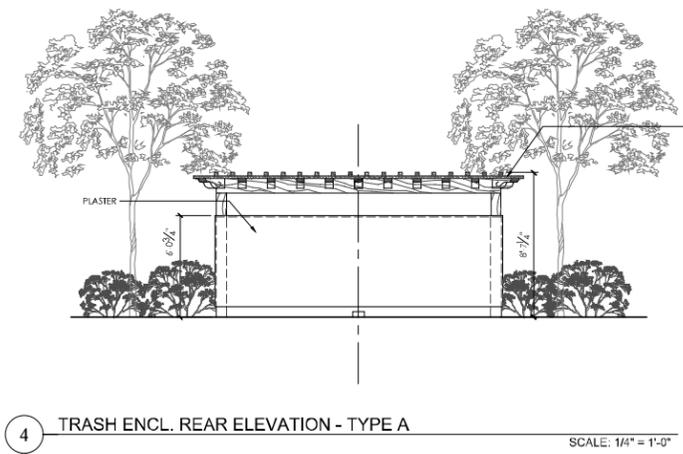
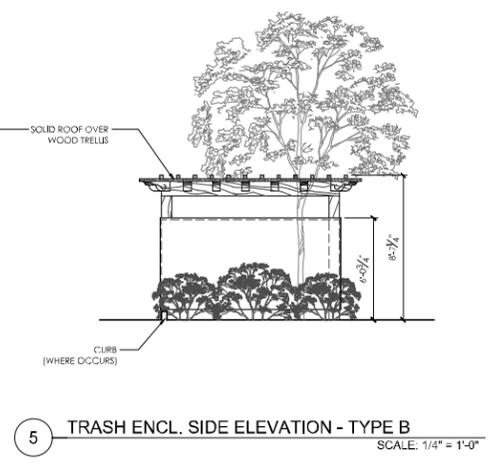
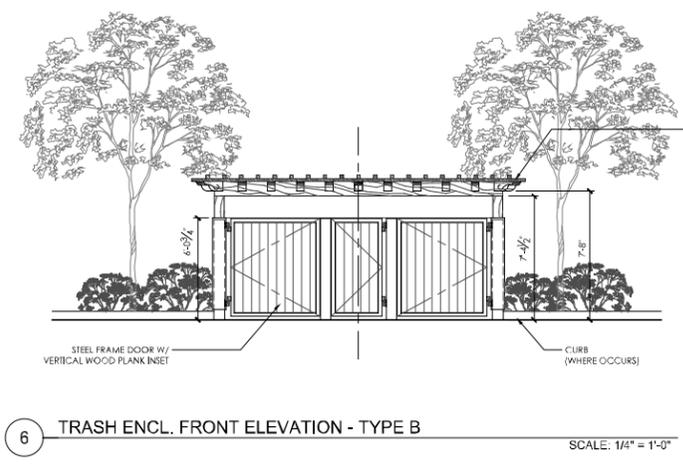
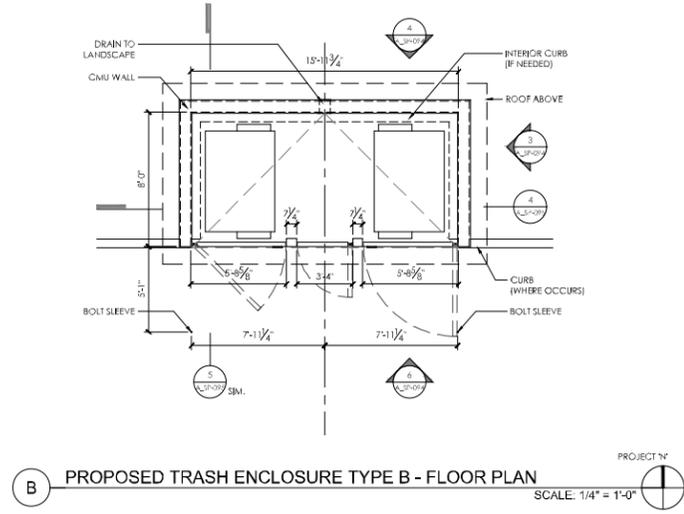
DRAWING NO.

1 PROPOSED ENLARGED SITE PLAN BARNSDALL / MAINTENANCE YARD

PROJECT NO. 30008  
 SCALE: 1/32" = 1'-0"



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. DESIGN CALIFORNIA LAW AND TITLE 17 OF THE PUBLIC STATE CODES  
 CONSULTANTS



NO.	DATE	DESCRIPTION	DATE
1	7 NOV 2022	CONCEPTUAL SUBMITTAL	
2	26 FEB 2023	CONCEPTUAL RESUBMITTAL	
3	15 APR 2024	HPC BIENNIAL SUBMITTAL	
4	13 JUN 2024	HPC BIENNIAL SUBMITTAL	

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

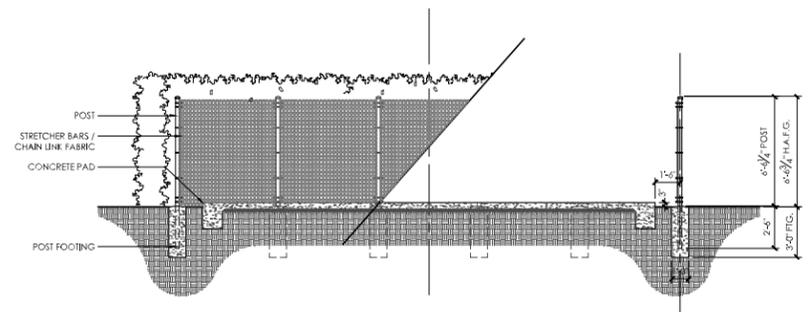
PROJECT NO: 30008  
 SCALE: AS NOTED DATE: 1 OCT 2022 DRAWN BY: GZ

### SITE ENCLOSURES PROPOSED TRASH PLAN AND ELEVATIONS

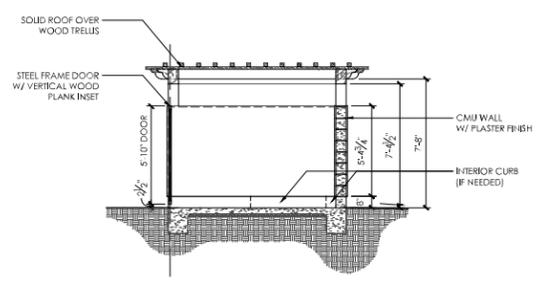
DRAWING NO:



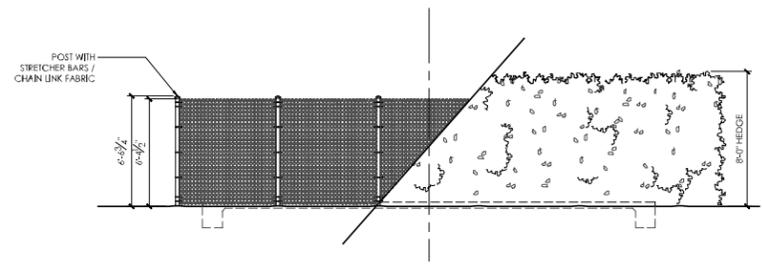
© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS PLAN IS THE PROPERTY OF WINICK ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WINICK ARCHITECTS, INC.



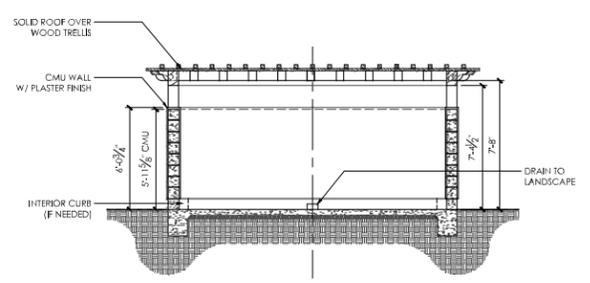
2 UTILITY ENCL. SIDE ELEVATION SCALE: 1/4" = 1'-0"



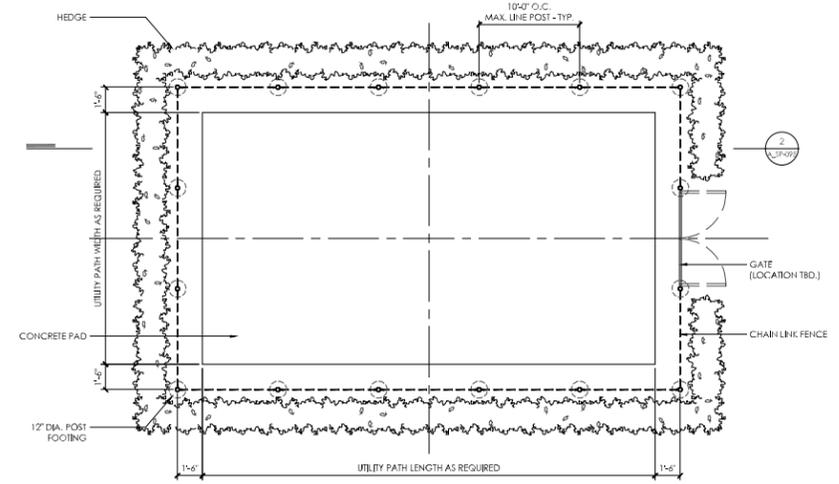
5 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"



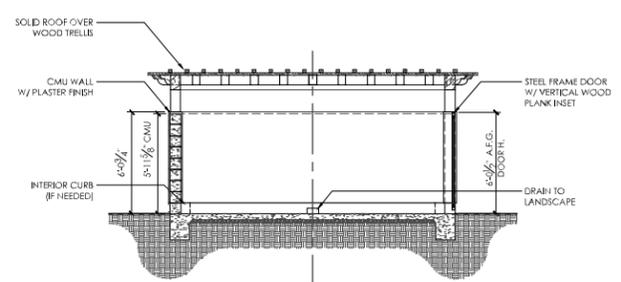
1 UTILITY ENCL. ELEVATION SCALE: 1/4" = 1'-0"



4 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"



A PROPOSED UTILITY ENCLOSURE - FLOOR PLAN SCALE: 1/4" = 1'-0"



3 TRASH ENCL. SECTION SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	16 FEB 2023	CONCEPTUAL RESUBMITTAL
3	15 APR 2024	RFC BARNDOLLAR SUBMITTAL
4	13 JUN 2024	RFC BARNDOLLAR SUBMITTAL

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

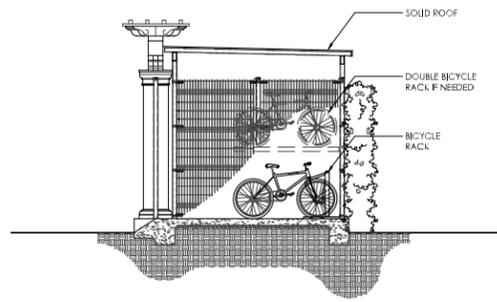
PROJECT NO. 30008  
 SCALE: AS NOTED DATE: 1 OCT 2022 DRAWN BY: GZ

## SITE ENCLOSURE PROPOSED UTILITY PLAN AND ELEVATIONS

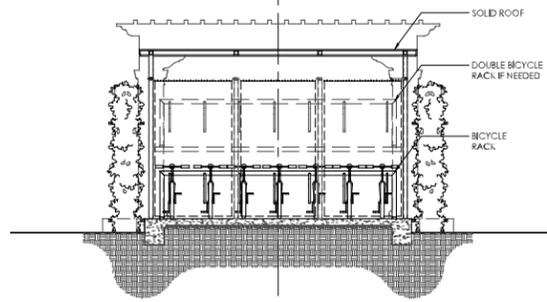
DRAWING NO.



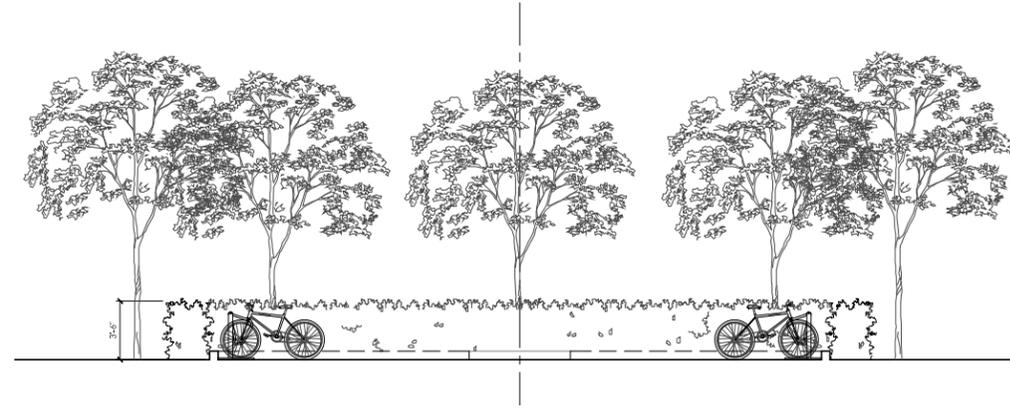
CONSULTANTS



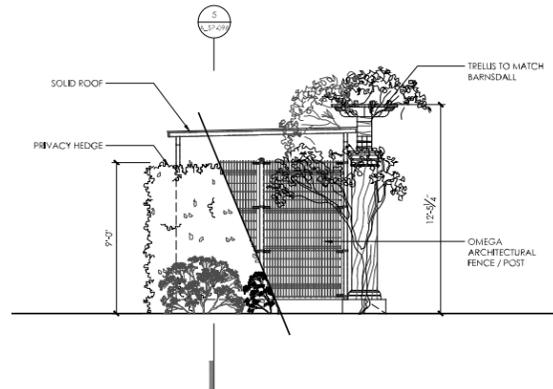
6 PROPOSED BICYCLE ENCLOSURE - E-W SECTION SCALE: 1/4" = 1'-0"



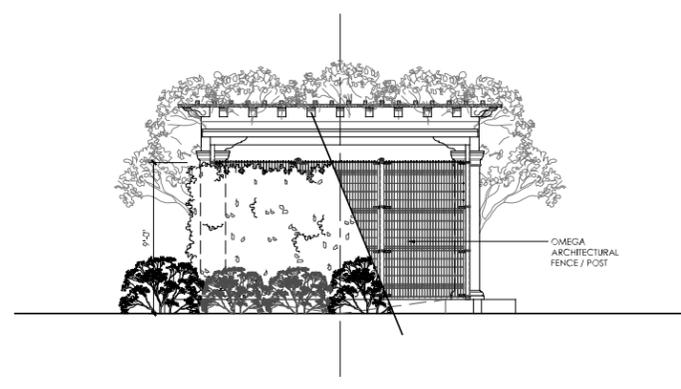
5 PROPOSED BICYCLE ENCLOSURE - N-S SECTION SCALE: 1/4" = 1'-0"



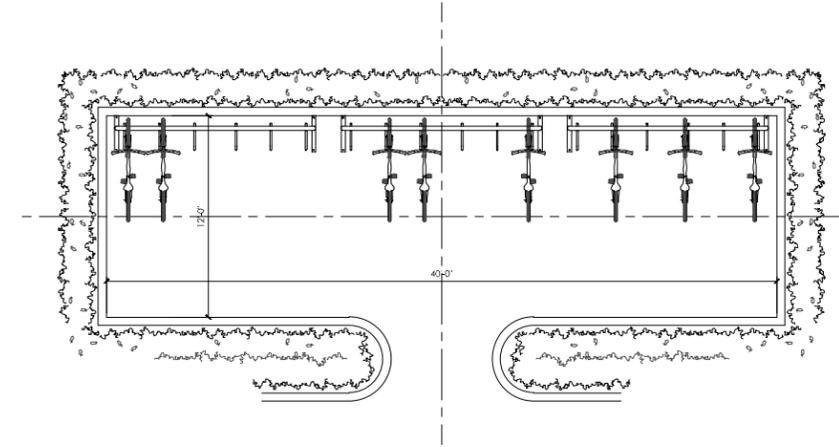
B PROPOSED BICYCLE ENCLOSURE - FLOOR PLAN ALTERNATIVE SCALE: 1/4" = 1'-0"



4 PROPOSED BICYCLE ENCLOSURE - SOUTH SCALE: 1/4" = 1'-0"

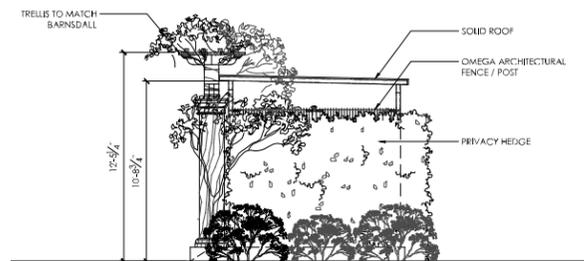


3 PROPOSED BICYCLE ENCLOSURE - WEST SCALE: 1/4" = 1'-0"

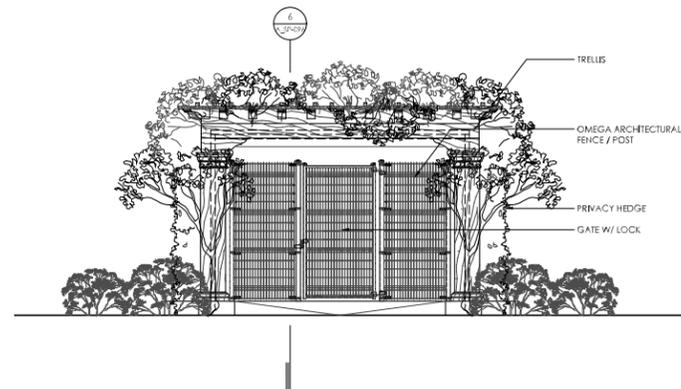


B PROPOSED BICYCLE ENCLOSURE - FLOOR PLAN ALTERNATIVE SCALE: 1/4" = 1'-0"

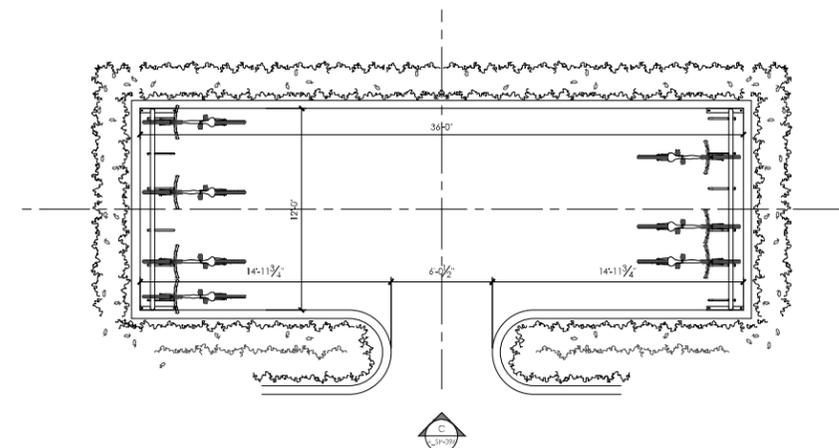
NO.	DATE	DESCRIPTION
1	7 NOV 2022	CONCEPTUAL SUBMITTAL
2	30 APR 2023	CONCEPTUAL RESUBMITTAL
3	12 APR 2024	HPC BARNSDALE SUBMITTAL
4	13 APR 2024	HPC BARNSDALE SUBMITTAL



2 PROPOSED BICYCLE ENCLOSURE - NORTH SCALE: 1/4" = 1'-0"



1 PROPOSED BICYCLE ENCLOSURE - EAST SCALE: 1/4" = 1'-0"



A PROPOSED BICYCLE ENCLOSURE - FLOOR PLAN SCALE: 1/4" = 1'-0"

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 30008

SCALE	DATE	DRAWN BY
AS NOTED	1 OCT 2022	GZ

## SITE ENCLOSURE PROPOSED BICYCLE PLAN AND ELEVATIONS

DATEPLOT NO.

**LEGEND**

	GOLF COURSE		RESTAURANT		LOUNGE / TERRACE
	PRO SHOP		RESTAURANT STORAGE / B.O.H.		CONFERENCE
	PRO SHOP STORAGE		GRAB N' GO		CIRCULATION
	OFFICE		NOT INCLUDED / NOT APPLICABLE		



	PARKING TYPE	CLUB HOUSE	BARNSDALL	MAINTENANCE	SUBTOTAL PER TYPE	COMMENTS
VEHICLE	VEHICLE ADA / HANDICAP PARKING	6	1	1	8	3 ADA parking have EV Charging Station (2 @ Club House and 1 @ Barnsdall)
	VEHICLE ELECTRIC CHARGING PARKING	15	3	-	18	
	VEHICLE COMPACT SPACE PARKING	-	4	-	4	
	VEHICLE REGULAR PARKING	117	8	9	132	
	<b>SUBTOTAL PER BUILDING</b>	<b>138</b>	<b>14</b>	<b>10</b>	<b>162</b>	
BICYCLE	BICYCLE ELECTRIC CHARGING PARKING	6	7	-	13	
	BICYCLE ENCLOSED SPACE PARKING	-	7	-	7	
	BICYCLE REGULAR PARKING	6	16	10	32	
	<b>SUBTOTAL PER BUILDING</b>	<b>12</b>	<b>30</b>	<b>10</b>	<b>52</b>	

**3 SANDPIPER PARKING BREAKDOWNS**

SCALE: N.T.S.

	LAND USE	PARKING REQUIRED (COMBINED AREAS)	(E) PARKING SUPPLY	(P) PARKING SUPPLY	COMMENTS
SANDPIPER	CLUB HOUSE TOTAL	-	124	138	
	BARNSDALL TOTAL	-	5	14	
	MAINTENANCE TOTAL	-	10	10	
	<b>SANDPIPER GRAND TOTAL</b>	<b>146</b>	<b>139</b>	<b>162</b>	
	PARKING SURPLUS TOTAL (FROM REQ.)	-	-7	+16	

NO.	DATE / REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL RESUBMITTAL	16 FEB 2023
3	HPC BARNSDALL SUBMITTAL	15 APR 2024
4	HPC MEMORIAL SUBMITTAL	13 JUN 2024

**2 SANDPIPER PARKING TOTALS**

SCALE: N.T.S.

	LAND USE	BLINT, SF	1ST. FLR, SF	2ND. FLR, SF	MAINT. SF	BARNSDALL SF	SF TOTALS	PKG. RATE	PKG. REQ.	COMMENTS
GOLF COURSE - MAINTENANCE AREAS	GOLF COURSE (a)	-	18 HOLES	-	-	-	18 HOLES	N/A	79	
	GOLF COURSE STORAGE	703.0	-	-	-	-	703.0	1 / 1,000 SF	1	0.7 Required spaces (+1)
	GOLF COURSE TERRACES	-	6,417.0	-	-	-	6,417.0	N/A	-	
	GRAB N' GO INDOOR	-	792.0	-	-	-	792.0	N/A	-	
	GRAB N' GO OUTDOOR	-	1,141.0	-	-	-	1,141.0	N/A	-	
	PRO SHOP	-	1,162.0	-	-	-	1,162.0	1 / 500 SF	3	2.3 Required spaces (+1)
	PRO SHOP STORAGE	592.0	-	-	-	-	592.0	1 / 1,000 SF	1	
	GOLF MAINT. STORAGE	-	-	-	5,703.0	-	5,703.0	N/A	-	
	RESTAURANT	-	1,341.0	2,880.0	-	-	713.0	1 / 250 SF	20	18.0 Required spaces (+1)
	RESTAURANT STORAGE / B.O.V.H.	2,621.0	1,811.0	1,834.0	-	-	365.0	6.571.0	N/A	-
CLUB HOUSE - BARNSDALL	LOUNGE / TERRACE	-	1,095.0	5,488.0	-	-	6,583.0	1 / 250 SF	30	29.7 Required spaces (+1)
	OFFICE	1,686.0	95.0	-	1,700.0	-	3,481.0	1 / 300 SF	12	11.8 Required spaces (+1)
	CIRCULATION	2,649.0	2,777.0	1,218.0	-	-	6,644.0	N/A	-	
	CONFERENCE ROOM	-	-	1,331.0	-	-	1,331.0	N/A	-	
<b>TOTAL PARKING REQUIRED</b>									<b>146</b>	

(a) No city code for golf course available. Requirement based on surveys at (E) facilities during peak activity on Friday, Saturday, and Sunday.

**1 PROPOSED SANDPIPER PARKING CODE REQUIREMENTS PER AREAS**

SCALE: N.T.S.

**SANDPIPER GOLF CLUB**

7925 HOLLISTER AVE.  
 GOLETA, CA, 93117

PROJECT NO. 30008

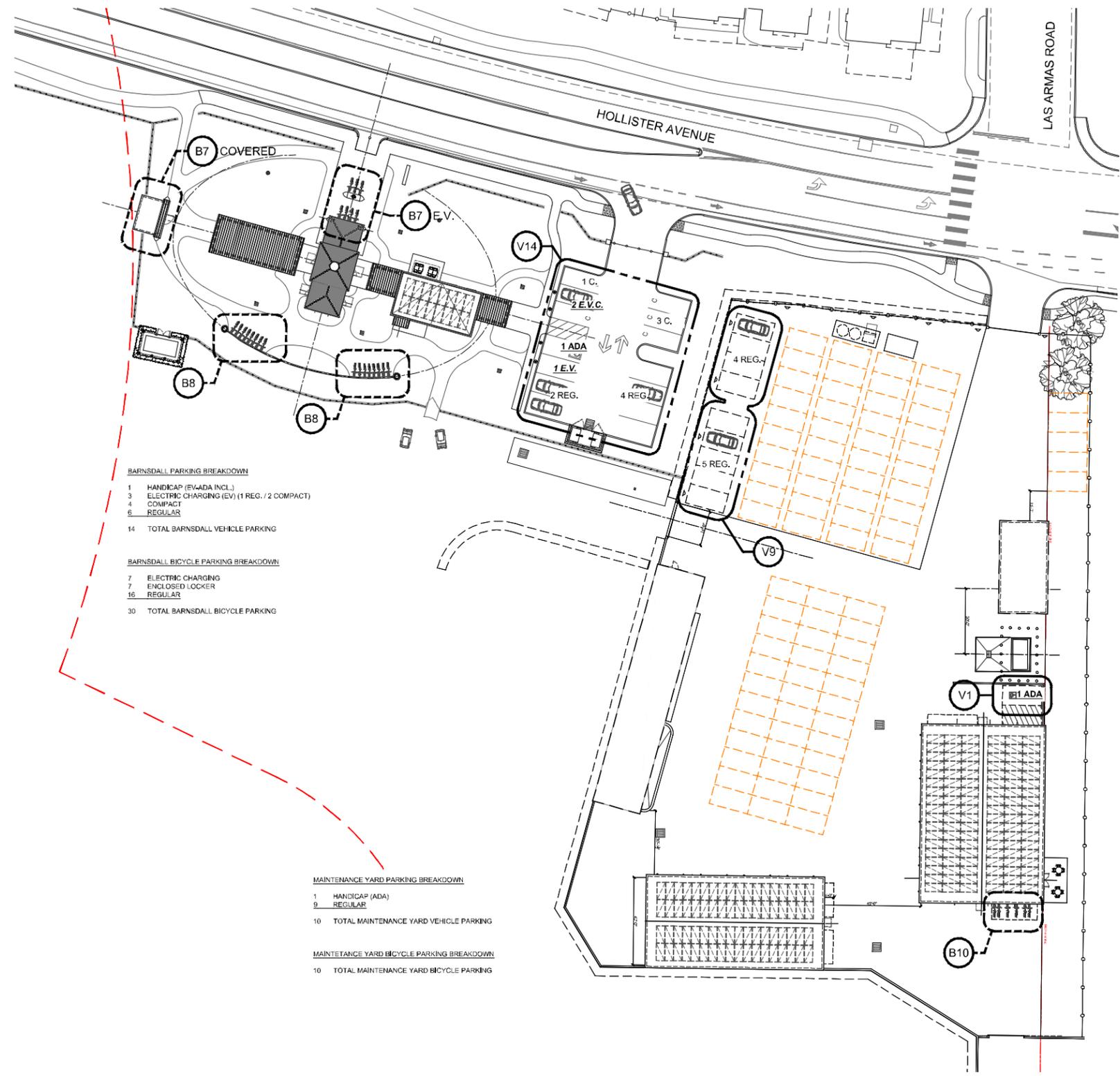
SCALE	DATE	DRAWN BY
AS NOTED	8 OCT 2022	GZ

**PARKING CODE REQUIREMENTS**

DRAWING NO.



© 2024 WINICK ARCHITECTS, INC. ALL RIGHTS RESERVED. 1/24/24  
 CALIFORNIA LAW # 3182 / OF THE PUBLIC SAFETY CODE  
 CONSULTANTS



**BARNSDALL PARKING BREAKDOWN**

- 1 HANDICAP (EV-ADA INCL.)
- 3 ELECTRIC CHARGING (EV) (1 REG. / 2 COMPACT)
- 4 COMPACT
- 6 REGULAR
- 14 TOTAL BARNSDALL VEHICLE PARKING

**BARNSDALL BICYCLE PARKING BREAKDOWN**

- 7 ELECTRIC CHARGING
- 7 ENCLOSED LOCKER
- 16 REGULAR
- 30 TOTAL BARNSDALL BICYCLE PARKING

**MAINTENANCE YARD PARKING BREAKDOWN**

- 1 HANDICAP (ADA)
- 9 REGULAR
- 10 TOTAL MAINTENANCE YARD VEHICLE PARKING

**MAINTENANCE YARD BICYCLE PARKING BREAKDOWN**

- 10 TOTAL MAINTENANCE YARD BICYCLE PARKING

NO.	REVISION	DATE
1	CONCEPTUAL SUBMITTAL	7 NOV 2022
2	CONCEPTUAL SUBMITTAL	26 FEB 2023
3	IFC BARNSDALL SUBMITTAL	15 APR 2024
4	IFC BARNSDALL SUBMITTAL	13 JUN 2024

## SANDPIPER GOLF CLUB

7925 HOLLISTER AVE.  
 GOLETA, CA. 93117

PROJECT NO. 30008

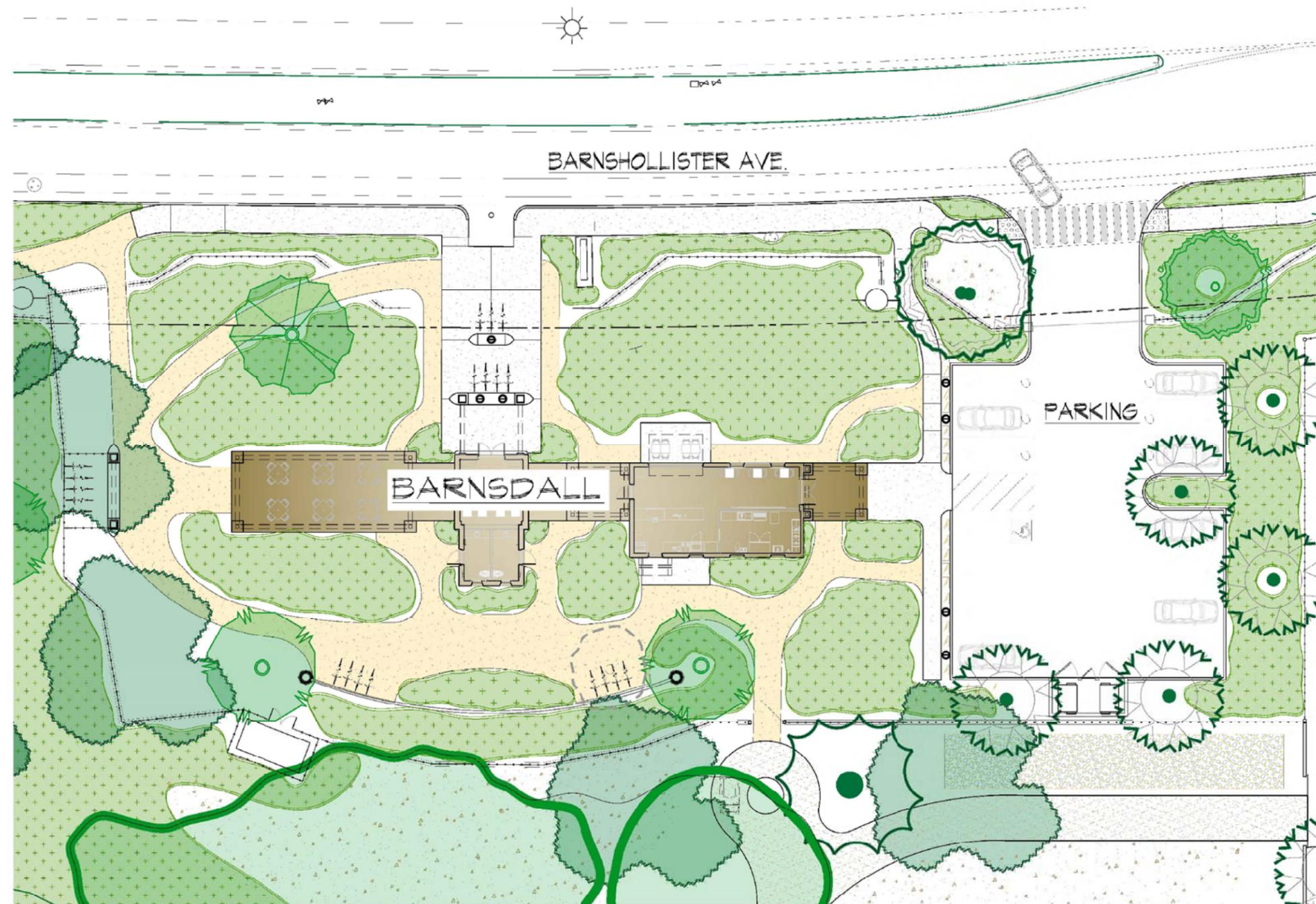
SCALE	DATE	DRAWN BY
AS NOTED	8 OCT 2022	GZ

## BARNSDALL / MAINT. PARKING DIAGRAMS

DRAWING NO.

1 BARNSDALL / MAINTENANCE YARD PARKING DIAGRAM

PROJECT N°  
 SCALE: 3/64" = 1'-0"



BARNSDALL BUILDING @ 7825 HOLLISTER AVE.

VICINITY MAP



PROJECT INFORMATION

PARCEL ADDRESS: 7825 HOLLISTER AVE.  
GOLETA, CA. 93117

APN: 079-210-059  
ZONE: OSAR  
GROSS LOT AREA: APPROX. 192.93 Ac.

EXISTING GROSS BUILDING AREA:  
MAIN STRUCTURE = 200 sq.ft.

PROPOSED BUILDING AREA:  
BARNSDALL RESTORATION = 349 sq.ft.  
CAFE = 695 sq.ft.  
TOTAL = 1,044 sq.ft.

SCOPE OF WORK

The existing 349 SF historic Barnsdall-Rio Grande gas station will be restored and adapted as a support building for the proposed 695 SF Rio Grande Cafe, a quick stop for golfers and passersby, with a 727 SF new detached trellis structure to support outdoor seating. An adjacent 14 space lot will support the cafe. New planting & durable pathways will be installed for ingress & egress.

GRADING EST.

CLT.	0 - 0.1 YDS.	IMPORT	0 - 0.1 YDS.
FILL	0 - 0.1 YDS.	EXPORT	0 - 0.1 YDS.
TOTAL	0 - 0.1 YDS.		

CONTACT INFORMATION

**OWNER:**  
SANDPIPER GOLF TRUST, LLC  
CATHY HWANG  
280 CHESTNUT AVE.  
WESTMONT, IL 60559  
630.455.7716

**ARCHITECT:**  
WINICK ARCHITECTS INC.  
BARRY WINICK  
404 GARDEN STREET  
SANTA BARBARA, CA 93101 805.770.3400

**LANDSCAPE ARCHITECT:**  
EARTHFORM DESIGN  
SAM MAPHIS IV  
1227 DE LA VINA ST.  
SANTA BARBARA CA. 93101  
ph: (805) 963-2006 fax: (805) 963-8335  
sam@earthform.com

Sheet Index

L-0	COVER SHEET
L-1	PRELIMINARY SITE LAYOUT PLAN
L-2	PRELIMINARY LIGHTING PLAN

PROGRESS PRINT  
NOT FOR CONSTRUCTION



REVISIONS BY

**EARTHFORM DESIGN**  
LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN  
1227 DE LA VINA ST. SANTA BARBARA, CA 93101  
PH: (805) 963-2006 FAX: (805) 963-8335  
sam@earthform.com

COVER SHEET

BARNSDALL BUILDING  
7825 HOLLISTER AVE.  
GOLETA, CA. 93117

DATE: 01/13/26  
SCALE: 1"=10'-0"  
DRAWN: N.T.  
BY: SANDPIPER  
PROJECT: BARNSDALL BUILDING

The landscape architect and his consultants do not warrant or guarantee the accuracy and completeness of the work product herein beyond a reasonable diligence. If any mistakes, omissions, or discrepancies are found to exist within the work product, the landscape architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to rectify them. Failure to promptly notify the landscape architect of such conditions shall relieve the landscape architect from any responsibility for the consequences of such discrepancies. Actions without the knowledge and consent of the landscape architect or its consultants. All the landscape architect's work product or recommendations shall remain the property of the landscape architect and his consultants. This plan and design are the exclusive property of Earthform Design and shall not be used or reproduced without the landscape architect's written consent.





*Thank you.*



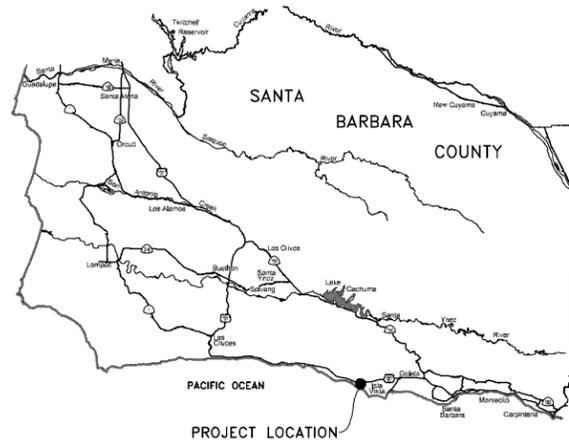
HOLLISTER AVENUE

# SANDPIPER GOLF CLUB

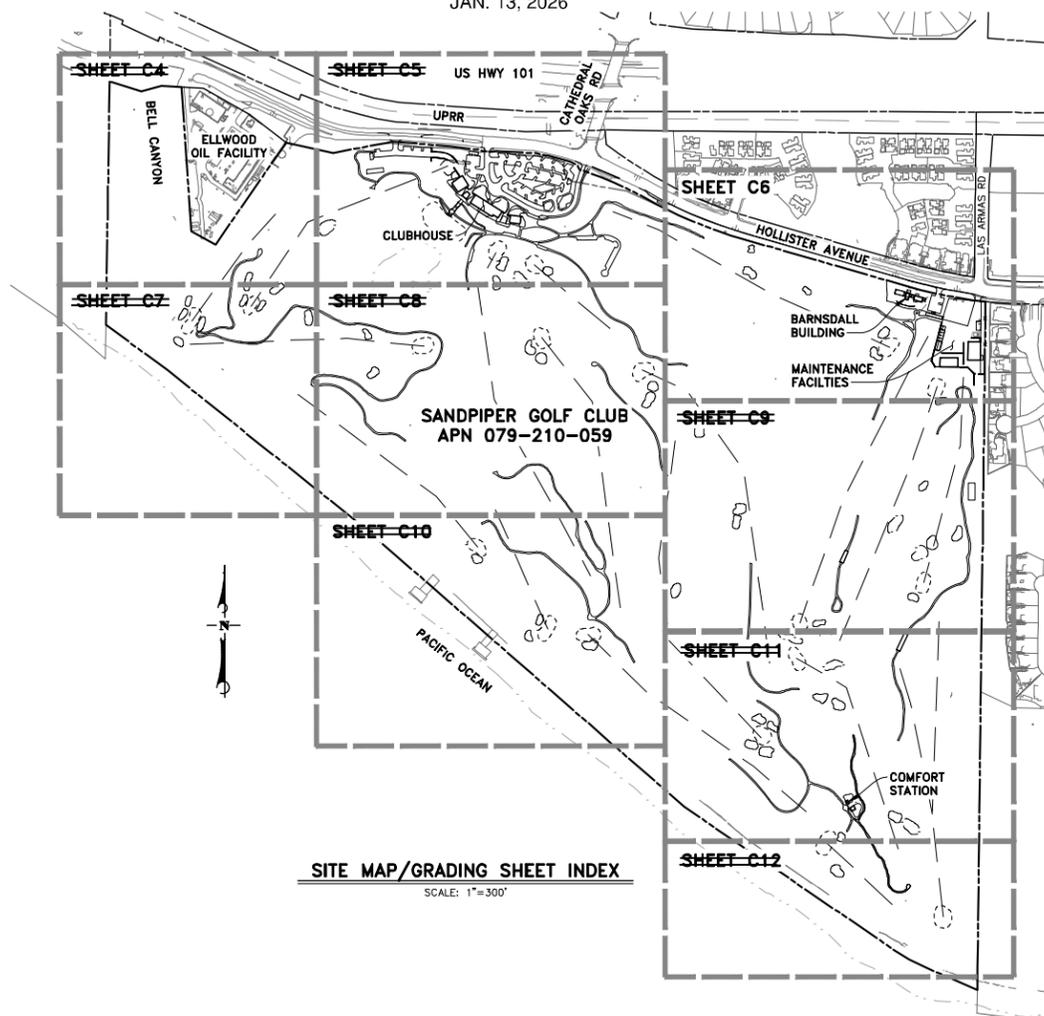
## PRELIMINARY IMPROVEMENT PLANS

### HPC BARNSDALL SUBMITTAL

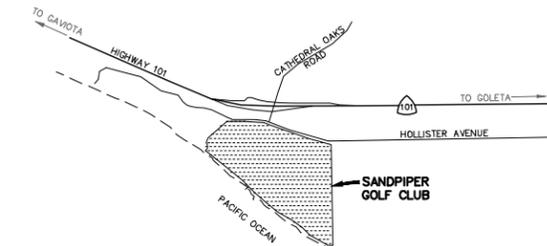
JAN. 13, 2026



VICINITY MAP  
SCALE: N.T.S.



SITE MAP/GRADING SHEET INDEX  
SCALE: 1"=300'



AREA MAP  
SCALE: N.T.S.



#### CONTACT INFORMATION

**OWNER**  
SANDPIPER GOLF TRUST, LLC  
CONTACT: CATHY HWANG  
280 CHESTNUT AVENUE  
WESTMONT, IL 60059  
(630) 455-7716

**AGENT**  
SUZANNE ELLEDGE PLANNING & PERMITTING SERVICES, INC  
CONTACT: STEVE WELTON  
1625 STATE STREET, SUITE 1  
SANTA BARBARA, CA 93101  
(805) 966-2758

**CIVIL ENGINEER**  
STANTEC CONSULTING SERVICES, INC  
CONTACT: GERMANY SALTS  
200 E. CARRILLO STREET, SUITE 101  
SANTA BARBARA, CA 93101  
(805) 963-9532

**GOLF COURSE ARCHITECT**  
DOAKGOLF INC  
CONTACT: TOM DOAK  
530 6TH STREET  
TRAVERSE CITY, MI 49686  
(231) 218-0390

**SURVEYOR**  
STANTEC CONSULTING SERVICES, INC  
CONTACT: DANIEL EISENGART  
200 E. CARRILLO STREET, SUITE 101  
SANTA BARBARA, CA 93101  
(805) 963-9532

**BUILDING ARCHITECT**  
WNICK ARCHITECTS, INC  
CONTACT: BARRY WNIK  
404 GARDEN STREET  
SANTA BARBARA, CA 93101  
(805) 770-3400

**GEOTECHNICAL ENGINEER**  
CAMPBELL GEO, INC  
CONTACT: STEVE CAMPBELL  
327-A EAST HALEY STREET  
SANTA BARBARA, CA 93101  
(805) 965-5003

**LANDSCAPE ARCHITECT**  
EARTHFORM DESIGN  
CONTACT: SAM MAPPHIS  
1227 DE LA VINA STREET  
SANTA BARBARA, CA 93101  
(805) 965-2006

#### UTILITY PROVIDER INFORMATION

**SEWER**  
GOLETA WEST SANITARY DISTRICT  
PO BOX 4  
GOLETA, CA 93116  
(805) 968-2617

**ELECTRIC**  
SOUTHERN CALIFORNIA EDISON  
PO BOX 800  
ROSEMEAD, CA 91770  
(805) 655-4505

**WATER**  
GOLETA WATER DISTRICT  
4699 HOLLISTER AVENUE  
GOLETA, CA 93110  
(805) 964-6761

**CABLE**  
COX CABLE  
22 SOUTH FAIRVIEW AVE  
GOLETA, CA 93114  
(805) 681-3844

**GAS**  
SOUTHERN CALIFORNIA GAS  
PO BOX 818  
GOLETA, CA 93116  
(805) 681-8048

**COMMUNICATIONS**  
FRONTIER  
1800 SOLAR DR  
OXNARD, CA 93036  
(805) 964-8303

#### LEGEND, SYMBOLS, & ABBREVIATIONS

---	PROJECT BOUNDARY	---	COURSE FAIRWAY	EX	EXISTING
---	EXISTING EASEMENT	---	COURSE BUNKER	FF	FINISH FLOOR
---	SETBACK	---	COURSE GREEN	FG	FINISH GRADE
---	GRADING LIMITS	---	COURSE TEE BOX	FS	FINISH SURFACE
70	EXISTING MAJOR CONTOUR	---	GRATED CATCH BASIN INLET	FH	FIRE HYDRANT
62	EXISTING MINOR CONTOUR	---	SEWER MANHOLE	FL	FLOW LINE
70	PROPOSED MAJOR CONTOUR	---	WATER METER	HP	HIGH POINT
68	PROPOSED MINOR CONTOUR	---	FIRE HYDRANT	INV	INVERT
SD	PROPOSED STORM DRAIN	---	BACKFLOW PREVENTOR	PA	PLANTER AREA
S	PROPOSED SEWER	---	DIRECTION OF SURFACE DRAINAGE	PROP.	PROPOSED
W	PROPOSED WATER	---	AC PAVEMENT	PUE	PUBLIC UTILITY EASEMENT
X	EXISTING FENCE	---	CONCRETE PAVEMENT	PVT	PRIVATE
G	EXISTING GAS LINE	---	ENHANCED CONCRETE PAVEMENT	SCO	SEWER CLEANOUT
-SD-	EXISTING STORM DRAIN	---	DG OR GRAVEL	SMH	SEWER MANHOLE
S	EXISTING SEWER MAIN	---	TURFBLOCK	TG	TOP OF GRATE
-W-	EXISTING WATER MAIN	---		TYP	TYPICAL
-E-	EXISTING ELECTRIC	---		U.N.O.	UNLESS NOTED OTHERWISE
-OHW-	EXISTING OVERHEAD WIRE	---		A	SECTION DESIGNATION
---	EXISTING EDGE OF PAVEMENT	---		S	SHEET WHERE SECTION IS SHOWN
---	COURSE ACCESSIBLE PATH	---			
---	ACCESSIBLE PATH OF TRAVEL	---			

#### SHEET INDEX

C1	TITLE SHEET
C2	EXISTING CONDITIONS MAP & DEMOLITION PLAN
C3	SITE PLAN & GOLF COURSE ACCESSIBILITY
C6	GRADING & DRAINAGE PLANS
C14	SECTIONS
C16	DETAILS
C17	HOLLISTER AVENUE STREET IMPROVEMENT PLAN
C19	PROPOSED UTILITY PLAN
C20	PARKING DIMENSIONS/VEHICULAR ACCESS PLAN

#### EARTHWORK

PRELIMINARY EARTHWORK ESTIMATES (ALL VOLUMES ARE CUBIC YARD):

	CLUBHOUSE & PARKING	BARNSDALL COMPLEX	MAINTENANCE YARD	GOLF COURSE	TOTAL
RAW CUT:	26,500	500	3,000	56,500	86,500
RAW FILL:	0	0	0	56,000	56,000
OVER-EXCAVATION:	18,500	1,500	6,500	0	26,500
SHRINKAGE & LOSSES:	4,000	500	1,500	24,500	30,500
IMPORT:	0	0	0	24,000	24,000
EXPORT:	22,500	0	1,500	0	24,000

#### SURVEYOR'S NOTES

**AERIAL TOPOGRAPHY**  
TOPOGRAPHIC MAPPING WAS COMPILED AT A SCALE OF 1"=20' WITH A 1 FOOT CONTOUR INTERVAL USING STANDARD PHOTOGRAMMETRIC METHODS AND PROCEDURES BY VERTICAL MAPPING RESOURCES FROM AERIAL PHOTOGRAPHY ACQUIRED JUNE 9, 2020.

**BOUNDARY NOTES**  
THAT PORTION OF PROPERTY BOUNDARY SHOWN HEREON IS BASED ON A FIELD RETRACEMENT OF THE WESTERLY BOUNDARY OF THAT CERTAIN PARCEL MAP (BEING THE EASTERLY ADJONER TO THE SUBJECT PROPERTY) RECORDED IN PARCEL MAP BOOK 58 AT PAGE 44, SANTA BARBARA COUNTY RECORDER.

**BASIS OF BEARINGS AND COORDINATES**  
THE BEARINGS AND HORIZONTAL COORDINATES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), NAD83(2011), ZONE 5, EPOCH 2017.50, DEFINED LOCALLY BY GEODETIC TIES TO GPS STATIONS: "COPR", "P519", & "LJRN" PER THAT CERTAIN PROJECT REPORT: "CALIFORNIA SPATIAL REFERENCE SYSTEM CSRS EPOCH 2017.50 (NAD83), YEHUDA BOCK, PENG FANG, AND GREGORY R. HELMER, JANUARY 4, 2018", AS SIGNED BY JOHN CANAS, PLS ON JANUARY 25, 2018, AND A TRUNCATED VERSION OF TABLE 1, VERSION 2, RELATED TO SAID REPORT AND REFERENCED UNDER PUBLICATIONS/DELIVERABLES, ITEM (1) IN SAID REPORT; SAID REPORT BEING ON FILE AT THE SCRIPPS ORBIT AND PERMANENT ARRAY CENTER/CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).

**VERTICAL DATUM**  
THE ORTHOMETRIC HEIGHTS (ELEVATIONS) SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) VIA GEODETIC TIES TO SAID STATION "COPR" HAVING A GEODETIC REFERENCE POINT (GRP) ORTHOMETRIC HEIGHT (ELEVATION) OF 45.467 FEET AS PER THE 2018 MONTECITO HIGH PRECISION GEODETIC CONTROL NETWORK RECORDED IN RECORD OF SURVEY BOOK 212 AT PAGES 48 THROUGH 52, INCLUSIVE. SAID HEIGHTS ARE BASED ON INTERPOLATING NATIONAL GEODETIC SURVEY'S "GEOID12B" GEOID MODEL AND APPLYING SAID COMPUTED GEOID HEIGHT TO CONTROL STATION COMPUTED ELLIPSOID HEIGHTS.

DESIGN: WFG; CHECKED: GSE; PLOT DATE: 7/25/2023 1:02:48 PM; PLOT BY: Command, Westvity; 42-ENG; SAVE DATE: 7/25/2023 6:36:51 AM



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES

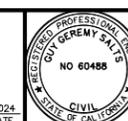


Know what's below.  
Call before you dig.

NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
SANDPIPER GOLF TRUST, LLC  
280 CHESTNUT AVENUE  
WESTMONT, IL 60059

PREPARED BY:  
**Stantec**  
200 East Corvillo Street, Suite 101, Santa Barbara, CA 93101  
Phone: (805) 963-9532  
GUY GERMANY SALTS 60488 6/30/2024  
PROJECT ENGINEER R.C.E. EXP. DATE



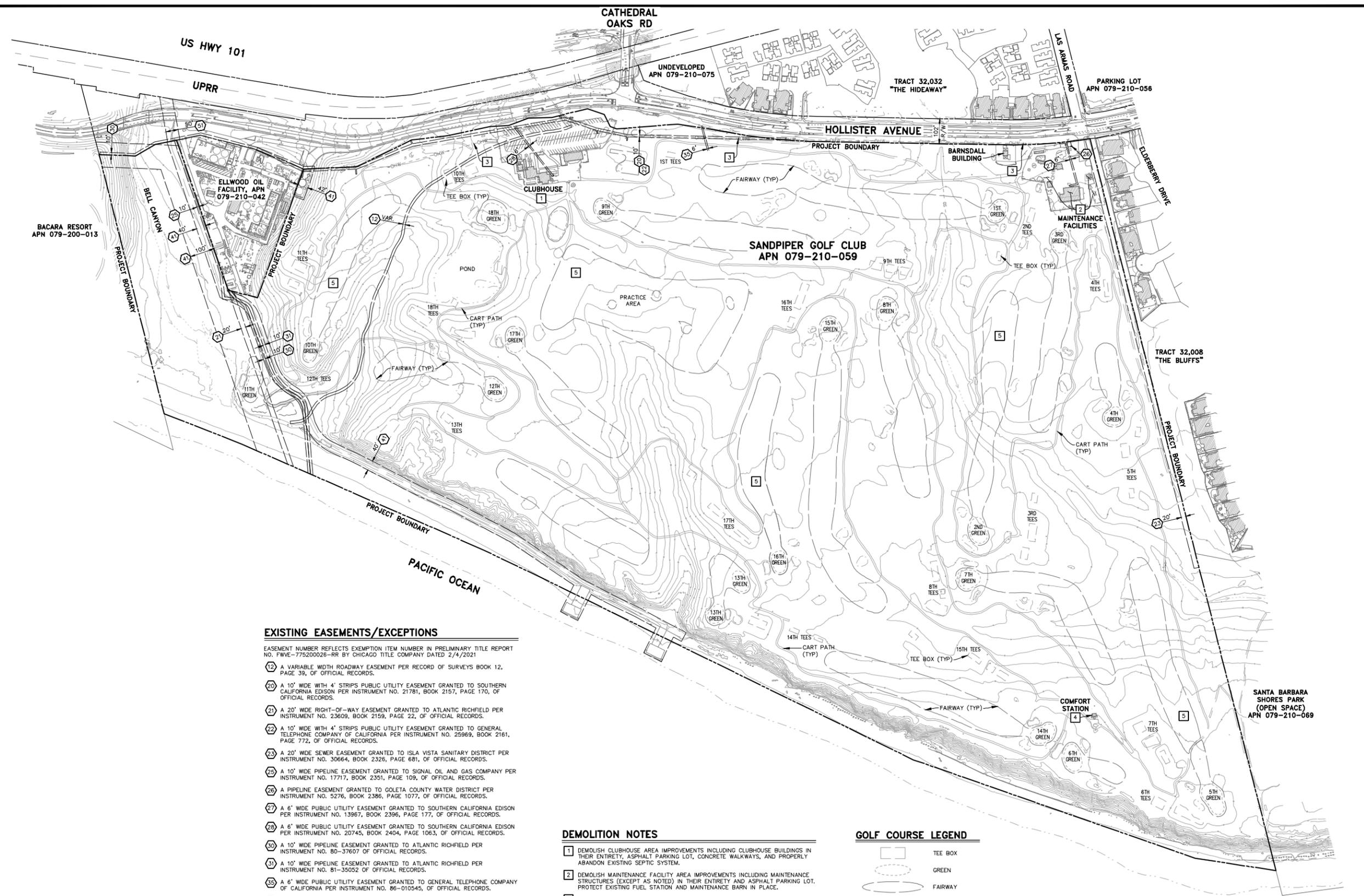
TITLE SHEET  
PRELIMINARY IMPROVEMENT PLANS  
SANDPIPER GOLF CLUB  
GOLETA, CA

STANTEC PROJECT NO.  
2042588200  
SHEET  
C1 OF C20  
PLAN DATE  
7/26/2023

PRELIMINARY

DRAWING NO.: Proj0616\_0820\_01.dwg; User: gysal; Date: 7/26/2023 11:41:11 AM

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.



**EXISTING EASEMENTS/EXCEPTIONS**

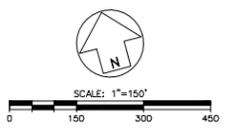
- EASEMENT NUMBER REFLECTS EXEMPTION ITEM NUMBER IN PRELIMINARY TITLE REPORT NO. FWVE-775200026-RR BY CHICAGO TITLE COMPANY DATED 2/4/2021
- 12 A VARIABLE WIDTH ROADWAY EASEMENT PER RECORD OF SURVEYS BOOK 12, PAGE 39, OF OFFICIAL RECORDS.
  - 20 A 10' WIDE WITH 4' STRIPS PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON PER INSTRUMENT NO. 21781, BOOK 2157, PAGE 170, OF OFFICIAL RECORDS.
  - 21 A 20' WIDE RIGHT-OF-WAY EASEMENT GRANTED TO ATLANTIC RICHFIELD PER INSTRUMENT NO. 23609, BOOK 2159, PAGE 22, OF OFFICIAL RECORDS.
  - 22 A 10' WIDE WITH 4' STRIPS PUBLIC UTILITY EASEMENT GRANTED TO GENERAL TELEPHONE COMPANY OF CALIFORNIA PER INSTRUMENT NO. 25969, BOOK 2161, PAGE 772, OF OFFICIAL RECORDS.
  - 23 A 20' WIDE SEWER EASEMENT GRANTED TO ISLA VISTA SANITARY DISTRICT PER INSTRUMENT NO. 30664, BOOK 2326, PAGE 681, OF OFFICIAL RECORDS.
  - 24 A 10' WIDE PIPELINE EASEMENT GRANTED TO SIGNAL OIL AND GAS COMPANY PER INSTRUMENT NO. 17717, BOOK 2351, PAGE 109, OF OFFICIAL RECORDS.
  - 26 A PIPELINE EASEMENT GRANTED TO GOLETA COUNTY WATER DISTRICT PER INSTRUMENT NO. 5276, BOOK 2386, PAGE 1077, OF OFFICIAL RECORDS.
  - 27 A 6' WIDE PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON PER INSTRUMENT NO. 13967, BOOK 2396, PAGE 177, OF OFFICIAL RECORDS.
  - 28 A 6' WIDE PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON PER INSTRUMENT NO. 20745, BOOK 2404, PAGE 1063, OF OFFICIAL RECORDS.
  - 30 A 10' WIDE PIPELINE EASEMENT GRANTED TO ATLANTIC RICHFIELD PER INSTRUMENT NO. 80-37607 OF OFFICIAL RECORDS.
  - 31 A 10' WIDE PIPELINE EASEMENT GRANTED TO ATLANTIC RICHFIELD PER INSTRUMENT NO. 81-35052 OF OFFICIAL RECORDS.
  - 35 A 6' WIDE PUBLIC UTILITY EASEMENT GRANTED TO GENERAL TELEPHONE COMPANY OF CALIFORNIA PER INSTRUMENT NO. 86-010545, OF OFFICIAL RECORDS.
  - 41 AN EASEMENT FOR THE PURPOSES OF WATER STORAGE TANKS, INGRESS & EGRESS, A 40' WIDE PIPELINE AND INGRESS & EGRESS EASEMENT, A 40' WIDE AND TWO 80' WIDE INGRESS & EGRESS AND STRUCTURES EASEMENT, A 100' WIDE PIPELINE AND INGRESS & EGRESS EASEMENT, A 300' WIDE LANDSCAPE EASEMENT (NOT PLOTTABLE), GRANTED TO ATLANTIC RICHFIELD COMPANY PER INSTRUMENT NO. 90-064798.
  - 51 A 10' WIDE PIPELINE EASEMENT GRANTED TO ELLWOOD PIPELINE INC. PER INSTRUMENT NO. 2010-10685 OF OFFICIAL RECORDS.

**DEMOLITION NOTES**

- 1 DEMOLISH CLUBHOUSE AREA IMPROVEMENTS INCLUDING CLUBHOUSE BUILDINGS IN THEIR ENTIRETY, ASPHALT PARKING LOT, CONCRETE WALKWAYS, AND PROPERLY ABANDON EXISTING SEPTIC SYSTEM.
- 2 DEMOLISH MAINTENANCE FACILITY AREA IMPROVEMENTS INCLUDING MAINTENANCE STRUCTURES (EXCEPT AS NOTED) IN THEIR ENTIRETY AND ASPHALT PARKING LOT. PROTECT EXISTING FUEL STATION AND MAINTENANCE BARN IN PLACE.
- 3 COORDINATE WITH UTILITY COMPANIES TO UNDERGROUND EXISTING OVERHEAD UTILITIES.
- 4 DEMOLISH EXISTING COMFORT STATION BUILDINGS IN THEIR ENTIRETY. PROPERLY ABANDON EXISTING SEPTIC SYSTEM.
- 5 CLEAR AND GRUB EXISTING LANDSCAPING PER LIMITS OF LANDSCAPE ARCHITECT'S IMPROVEMENT PLANS.

**GOLF COURSE LEGEND**

- TEE BOX
- GREEN
- FAIRWAY
- CART PATH
- BUILDING



NO.	DATE	REVISION BLOCK	APPD.	PREPARED FOR:	PREPARED BY:	STANTEC PROJECT NO.
				SANDPIPER GOLF TRUST, LLC 280 CHESTNUT AVENUE WESTMONT, IL 60099	<b>Stantec</b> 300 East Corliss Street, Suite 101, Santa Barbara, CA 93101 Phone: (805) 963-9532 GUY GERMAY SALTS 60488 6/30/2024 PROJECT ENGINEER R.C.E. EXP. DATE	2042588200
<p><b>EXISTING CONDITIONS MAP AND DEMOLITION PLAN PRELIMINARY IMPROVEMENT PLANS SANDPIPER GOLF CLUB</b></p> <p>GOLETA, CA</p>						<p>SHEET <b>C2</b> OF <b>C20</b></p> <p>PLAN DATE 7/26/2023</p>

DESIGN: MFC CHECKED: GSE  
 42-ENG SAVE DATE: 7/26/2023 6:42:33 AM PLOT DATE: 7/26/2023 8:16:05 AM  
 PLOT BY: Command, Monterey



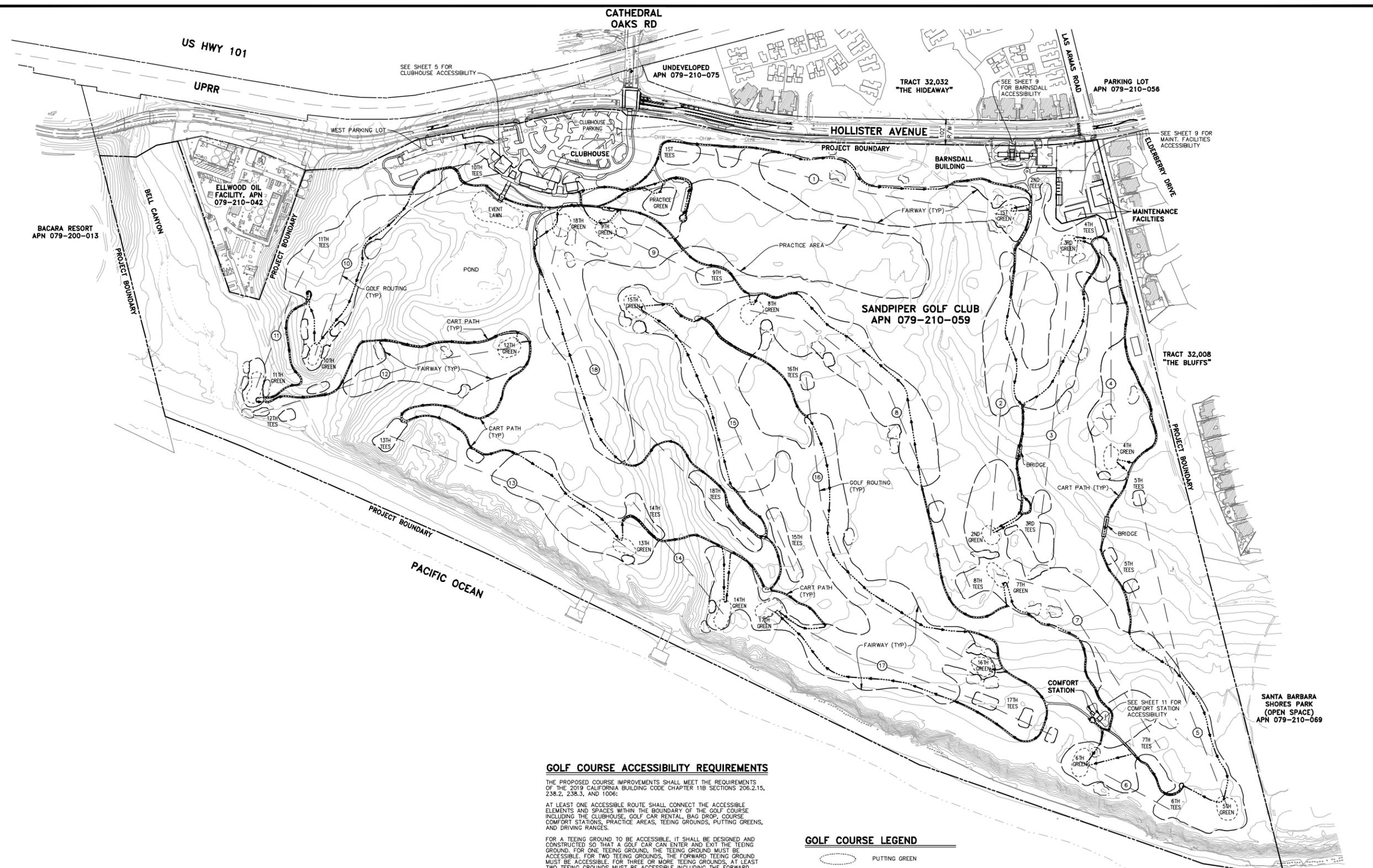
FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES

0 1 2 3

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.

PRELIMINARY

Drawing: \\projects\3682\drawing\prelim\_arp\3682\_prelim\_11.dwg  
 Date: 7/26/2023 10:58:11 AM



**GOLF COURSE ACCESSIBILITY REQUIREMENTS**

THE PROPOSED COURSE IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE CHAPTER 11B SECTIONS 206.2.15, 238.2, 238.3, AND 1006:

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT THE ACCESSIBLE ELEMENTS AND SPACES WITHIN THE BOUNDARY OF THE GOLF COURSE INCLUDING THE CLUBHOUSE, GOLF CAR RENTAL, BAG DROP, COURSE COMFORT STATIONS, PRACTICE AREAS, TEEING GROUNDS, PUTTING GREENS, AND DRIVING RANGES.

FOR A TEEING GROUND TO BE ACCESSIBLE, IT SHALL BE DESIGNED AND CONSTRUCTED SO THAT A GOLF CAR CAN ENTER AND EXIT THE TEEING GROUND. FOR ONE TEEING GROUND, THE TEEING GROUND MUST BE ACCESSIBLE. FOR TWO TEEING GROUNDS, THE FORWARD TEEING GROUND MUST BE ACCESSIBLE. FOR THREE OR MORE TEEING GROUNDS, AT LEAST TWO TEEING GROUNDS MUST BE ACCESSIBLE INCLUDING THE FORWARD TEEING GROUND.

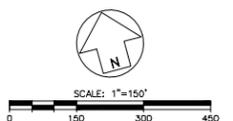
PUTTING GREENS SHALL BE DESIGNED AND CONSTRUCTED SO THAT A GOLF CAR CAN ENTER AND EXIT THE PUTTING GREEN.

AT LEAST 5%, BUT NO FEWER THAN 1, OF THE PRACTICE PUTTING GREENS, PRACTICE TEEING GROUNDS, AND TEEING STATIONS AT THE DRIVING RANGE SHALL BE DESIGNED AND CONSTRUCTED SO THAT A GOLF CAR CAN ENTER AND EXIT THE AREA.

THE CLEAR WIDTH OF GOLF CAR PASSAGES SHALL BE 48 INCHES MINIMUM. WHERE CURBS OR BARRIERS ARE CONSTRUCTED TO PREVENT GOLF CARS FROM ENTERING A FAIRWAY, OPENINGS 60 INCHES WIDE MINIMUM SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 75 FEET.

**GOLF COURSE LEGEND**

- PUTTING GREEN
- FAIRWAY
- COURSE ROUTING
- HOLE NUMBER
- COURSE ACCESSIBLE ROUTE



NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
SANDPIPER GOLF TRUST, LLC  
280 CHESTNUT AVENUE  
WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
Phone: (805) 963-9532  
GUY GEREY SALTS 60488 6/30/2024  
PROJECT ENGINEER R.C.E. EXP. DATE



**SITE PLAN & GOLF COURSE ACCESSIBILITY PRELIMINARY IMPROVEMENT PLANS SANDPIPER GOLF CLUB**  
GOLETA, CA

STANTEC PROJECT NO. 2042588200  
SHEET C3 OF C20  
PLAN DATE 7/26/2023

DESIGN: MFC CHECKED: GSE  
 42-ENG SAVE DATE: 7/25/2023 1:02:48 PM PLOT BY: Command, Waverly PLOT DATE: 7/26/2023 6:39:13 AM



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES  
0 1 2 3

PRELIMINARY

Drawing: \\projects\3682\drawing\prelim\_001\3682\_prelim\_01.dwg  
 4

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.

**EXISTING EASEMENTS/EXCEPTIONS**

- EASEMENT NUMBER REFLECTS EXEMPTION ITEM NUMBER IN PRELIMINARY TITLE REPORT NO. FWVE-775200026-RR BY CHICAGO TITLE COMPANY DATED 2/4/2021
- 20 A 10' WIDE WITH 4' STRIPS PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON PER INSTRUMENT NO. 21781, BOOK 2157, PAGE 170, OF OFFICIAL RECORDS.
  - 22 A 10' WIDE WITH 4' STRIPS PUBLIC UTILITY EASEMENT GRANTED TO GENERAL TELEPHONE COMPANY OF CALIFORNIA PER INSTRUMENT NO. 25969, BOOK 2161, PAGE 772, OF OFFICIAL RECORDS.
  - 23 A 20' WIDE SEWER EASEMENT GRANTED TO ISLA VISTA SANITARY DISTRICT PER INSTRUMENT NO. 30664, BOOK 2326, PAGE 681, OF OFFICIAL RECORDS.
  - 26 A PIPELINE EASEMENT GRANTED TO GOLETA COUNTY WATER DISTRICT PER INSTRUMENT NO. 5276, BOOK 2386, PAGE 1077, OF OFFICIAL RECORDS.
  - 27 A 6' WIDE PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON PER INSTRUMENT NO. 13967, BOOK 2396, PAGE 177, OF OFFICIAL RECORDS.

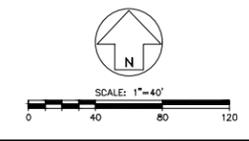


DESIGN: MFC, CHECKED: GSE, PLOT DATE: 7/26/2023 8:49:09 AM, PLOT DATE: 7/26/2023 1:02:18 PM, PLOT BY: Camard, Westery



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES

0 1 2 3



MATCHLINE - SEE SHEET C9

NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
SANDPIPER GOLF TRUST, LLC  
280 CHESTNUT AVENUE  
WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
200 East Coville Street, Suite 101, Santa Barbara, CA 93101  
Phone: (805) 963-9532  
GUY GEREY SALTS 60488 6/30/2024  
PROJECT ENGINEER R.C.E. EXP. DATE



**GRADING AND DRAINAGE PLAN**  
**PRELIMINARY IMPROVEMENT PLANS**  
**SANDPIPER GOLF CLUB**  
GOLETA, CA

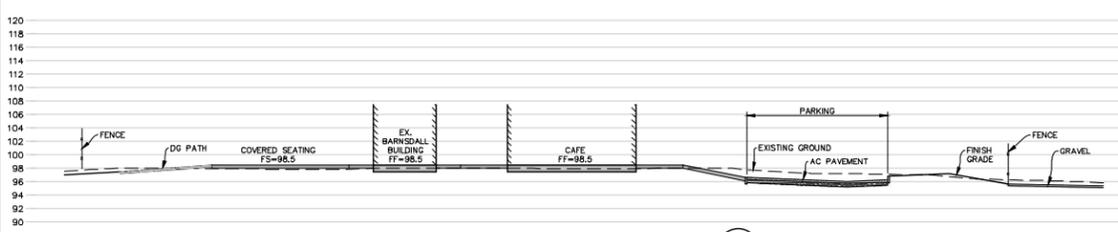
STANTEC PROJECT NO.  
2042588200  
SHEET  
**C6** OF **C20**  
PLAN DATE  
7/26/2023

PRELIMINARY

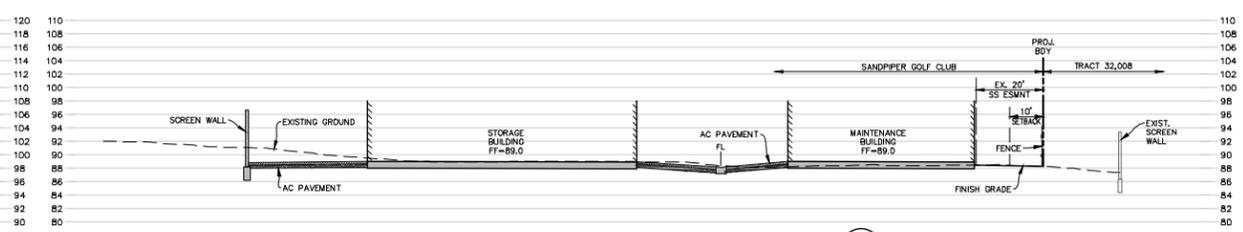
DRAWN BY: vprojeta\_5682; DRAWING TITLE: amp\_5682; PREPARED BY: gsd

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.

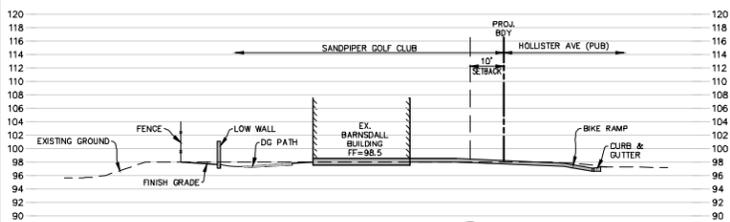
DESIGN: MFC CHECKED: GSE  
 42-ENG SAVE DATE: 7/26/2023 6:47:06 AM PLOT DATE: 7/26/2023 8:30:42 AM PLOT BY: Command, Weerthy



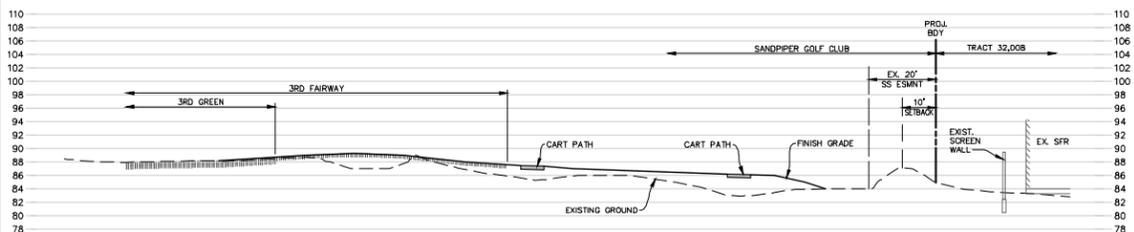
**SECTION M-6**  
 SCALE: HORZ: 1"=20' VERT: 1"=10'



**SECTION N-6**  
 SCALE: HORZ: 1"=20' VERT: 1"=10'



**SECTION P-6**  
 SCALE: HORZ: 1"=20' VERT: 1"=10'



**SECTION R-6**  
 SCALE: HORZ: 1"=20' VERT: 1"=10'



FOR REDUCED PLANS  
 ORIGINAL SCALE IN INCHES



Know what's below.  
 Call before you dig.

NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
 SANDPIPER GOLF TRUST, LLC  
 280 CHESTNUT AVENUE  
 WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
 200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
 Phone: (805) 963-9532  
 GUY GEREMY SALTS 60488 6/30/2024  
 PROJECT ENGINEER R.C.E. EXP. DATE

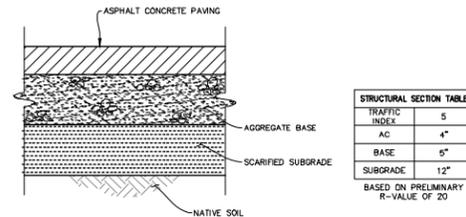


**SECTIONS**  
**PRELIMINARY IMPROVEMENT PLANS**  
**SANDPIPER GOLF CLUB**  
 GOLETA, CA

STANTEC PROJECT NO.  
 2042588200  
 SHEET  
**C14** OF **C20**  
 PLAN DATE  
 7/26/2023

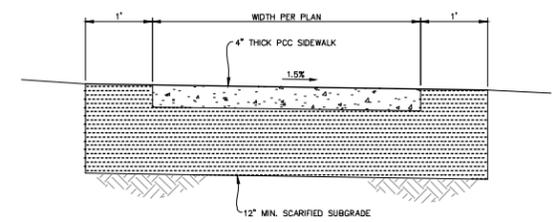
PRELIMINARY

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC



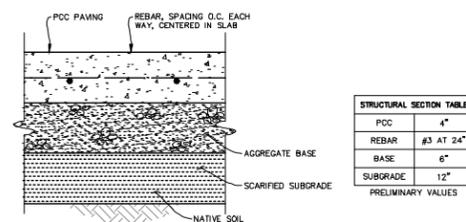
- NOTES:
1. INSTALL EMULSIFIED ASPHALT "FOG SEAL" PER COUNTY OF SANTA BARBARA SPECIFICATIONS.
  2. ASPHALT CONCRETE INSTALLATION SHALL FOLLOW CALTRANS STANDARD SPECIFICATIONS, SECTION 39.
  3. AGGREGATE BASE AND SUBGRADE SOILS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
  4. STRUCTURAL SECTIONS SHOWN ARE PRELIMINARY. R-VALUE TESTS SHALL BE PERFORMED AT THE COMPLETION OF GRADING TO DETERMINE FINAL STRUCTURAL SECTION.

**PRELIMINARY AC PAVEMENT SECTION**  
N.T.S.



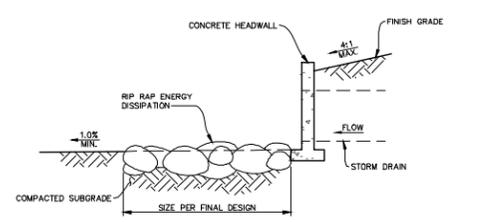
- NOTES:
1. INSTALL WEAKENED PLANE JOINTS AT 5' MAXIMUM SPACING PER DETAIL "C", THIS SHEET.

**TYPICAL CART PATH SECTION**  
N.T.S.

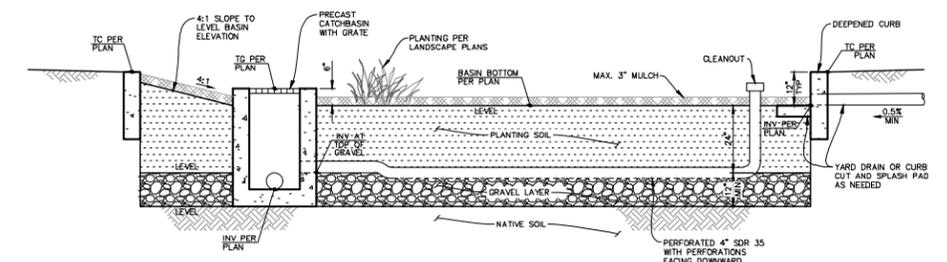


- NOTES:
1. AGGREGATE BASE AND SUBGRADE SOILS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
  2. WEAKENED PLANE JOINTS AND EXPANSION JOINTS WILL BE REQUIRED.
  3. FINAL PAVEMENT SECTION WILL MEET GEOTECHNICAL REQUIREMENTS

**PRELIMINARY CONCRETE PAVEMENT SECTION**  
N.T.S.



**STORM DRAIN OUTLET WITH RIP RAP**  
N.T.S.



- NOTES:
1. PLANTING SOIL MIX PER LANDSCAPE ARCHITECT'S PLAN AND PER SANTA BARBARA COUNTY PROJECT CLEAN WATER SPECIFICATIONS.
  2. GRAVEL LAYER TO BE CLASS II PERMEABLE MATERIAL PER CALTRANS SPECIFICATION 68-2.02(F)(3), MINIMUM 12" THICK, MAXIMUM 48" THICK
  3. NATIVE SOIL SHALL BE UNCOMPACTED AND RIPPED TO LOOSEN IF REQUIRED.
  4. ALL LAYERS TO BE LEVEL ACROSS BASIN EXCEPT WHEN TOP SOIL IS SLOPED AGAINST CURB AT 4:1 MAX WHERE SHOWN ON PLANS.

**TYPICAL BIORETENTION BASIN SECTION**  
N.T.S.

DESIGN: WFC; CHECKED: GSE; PLOT DATE: 7/26/2023 8:46:39 AM; 42-ENG; SAVE DATE: 7/25/2023 1:03:11 PM; PLOT BY: Command, Waverly



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES

NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
SANDPIPER GOLF TRUST, LLC  
280 CHESTNUT AVENUE  
WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
Phone: (805) 963-9532  
GUY GEREY SALTS 60488 6/30/2024  
PROJECT ENGINEER R.C.E. EXP. DATE



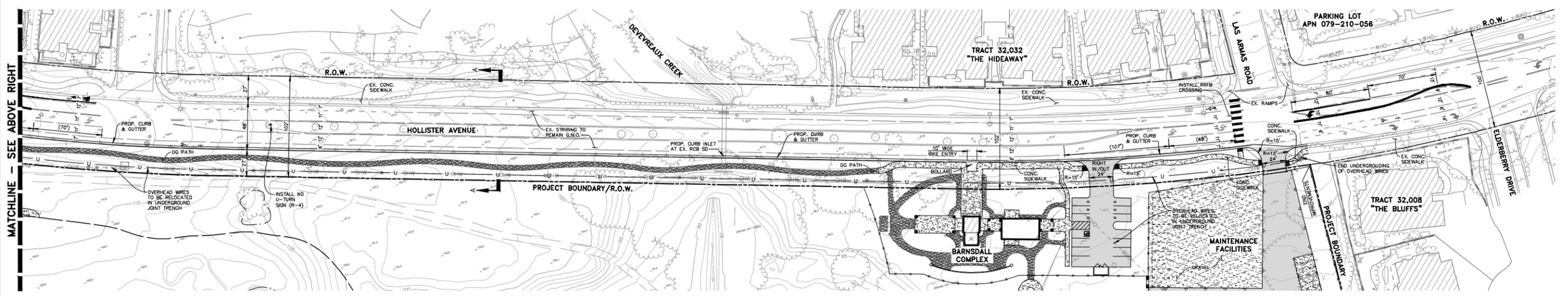
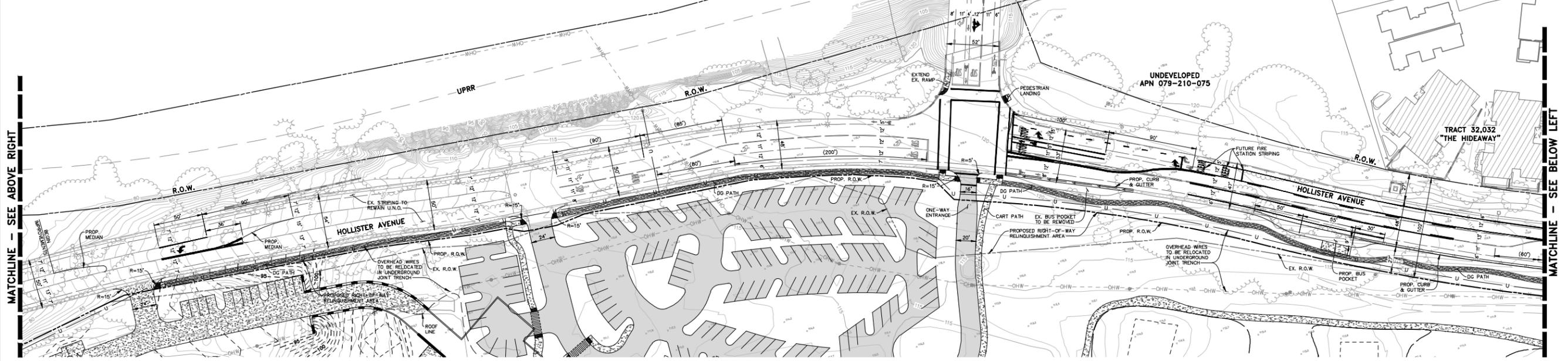
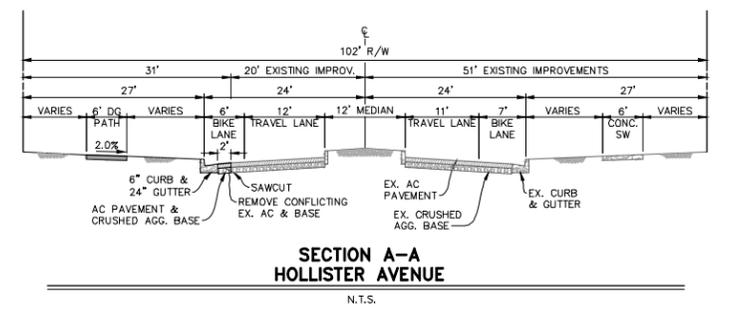
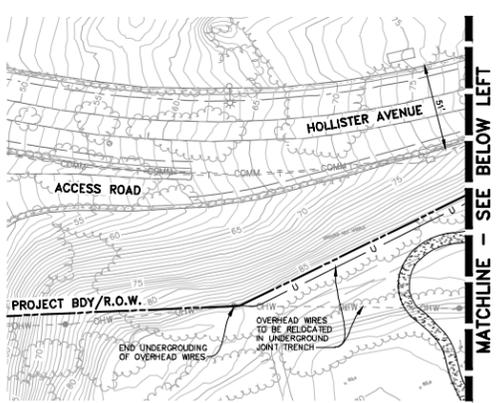
DETAILS  
**PRELIMINARY IMPROVEMENT PLANS**  
SANDPIPER GOLF CLUB  
GOLETA, CA

STANTEC PROJECT NO.  
2042588200  
SHEET  
**C16** OF **C20**  
PLAN DATE  
7/26/2023

PRELIMINARY

DRAWING: C:\projects\3682\drawing\prelim\amp\3682\_prelim\_gol\_dsl.dwg

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC



DESIGN: MFC  
CHECKED: GSE  
42-ENG: SAVE DATE: 7/25/2023 1:03:04 PM  
PLOT DATE: 7/26/2023 6:43:53 AM  
PLOT BY: Command, Westway



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES



SCALE: 1"=40'

NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
SANDPIPER GOLF TRUST, LLC  
280 CHESTNUT AVENUE  
WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
Phone: (805) 963-9532  
GUY GERMAY SALTS 60488 6/30/2024  
PROJECT ENGINEER R.C.E. EXP. DATE



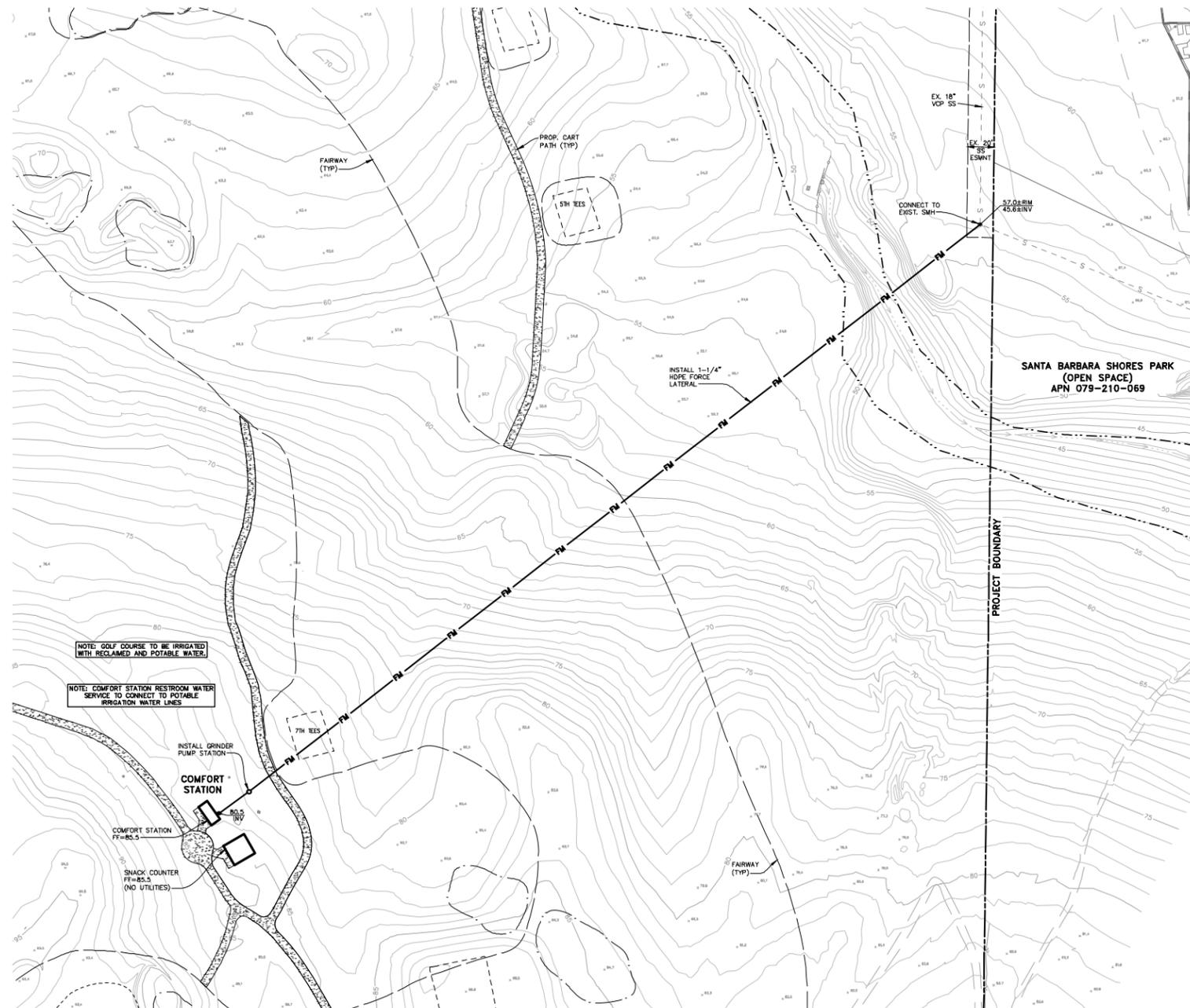
**HOLLISTER AVENUE  
STREET IMPROVEMENT PLAN  
PRELIMINARY IMPROVEMENT PLANS  
SANDPIPER GOLF CLUB**  
GOLETA, CA

STANTEC PROJECT NO.  
2042588200  
SHEET  
C17 OF C20  
PLAN DATE  
7/26/2023

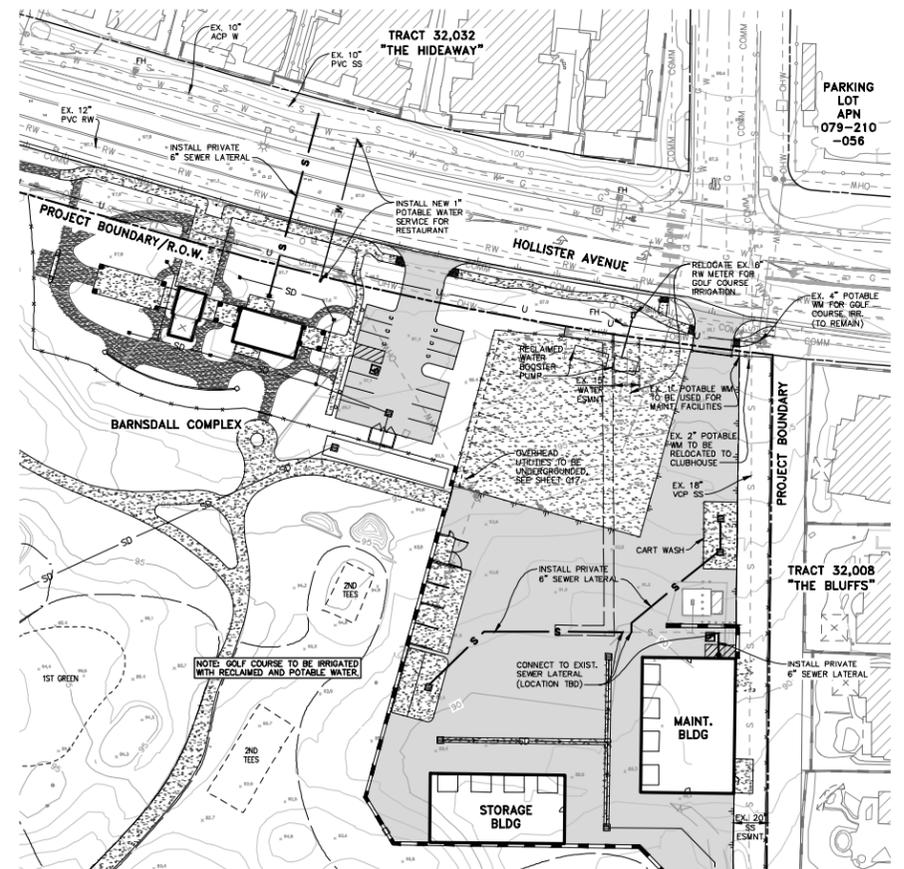
PRELIMINARY

DRWING: \\projects\3682\drawing\prelim\amp\3682\_prelim\_01.dwg

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.



COMFORT STATION UTILITY PLAN



BARNSDALL & MAINTENANCE UTILITY PLAN

DESIGN: MFC CHECKED: GSE  
 42-ENG SAVE DATE: 7/25/2023 1:02:22 PM PLOT DATE: 7/26/2023 8:36:08 AM



Know what's below.  
 Call before you dig.

FOR REDUCED PLANS  
 ORIGINAL SCALE IN INCHES



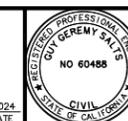
SCALE: 1"=40'



NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
 SANDPIPER GOLF TRUST, LLC  
 280 CHESTNUT AVENUE  
 WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
 200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
 Phone: (805) 963-9532  
 GUY GEREY SALTS 60488 6/30/2024  
 PROJECT ENGINEER R.C.E. EXP. DATE



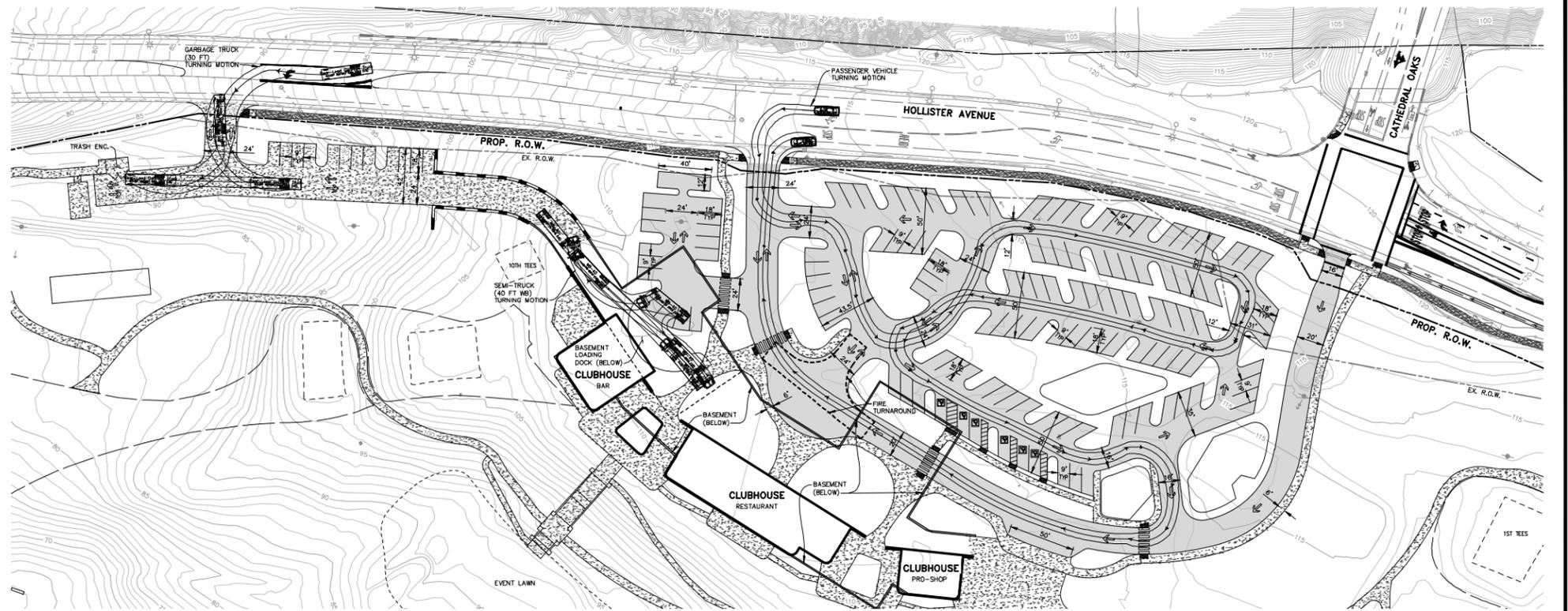
PROPOSED UTILITY PLAN  
 PRELIMINARY IMPROVEMENT PLANS  
 SANDPIPER GOLF CLUB  
 GOLETA, CA

STANTEC PROJECT NO.  
 2042588200  
 SHEET  
**C19** OF **C20**  
 PLAN DATE  
 7/26/2023

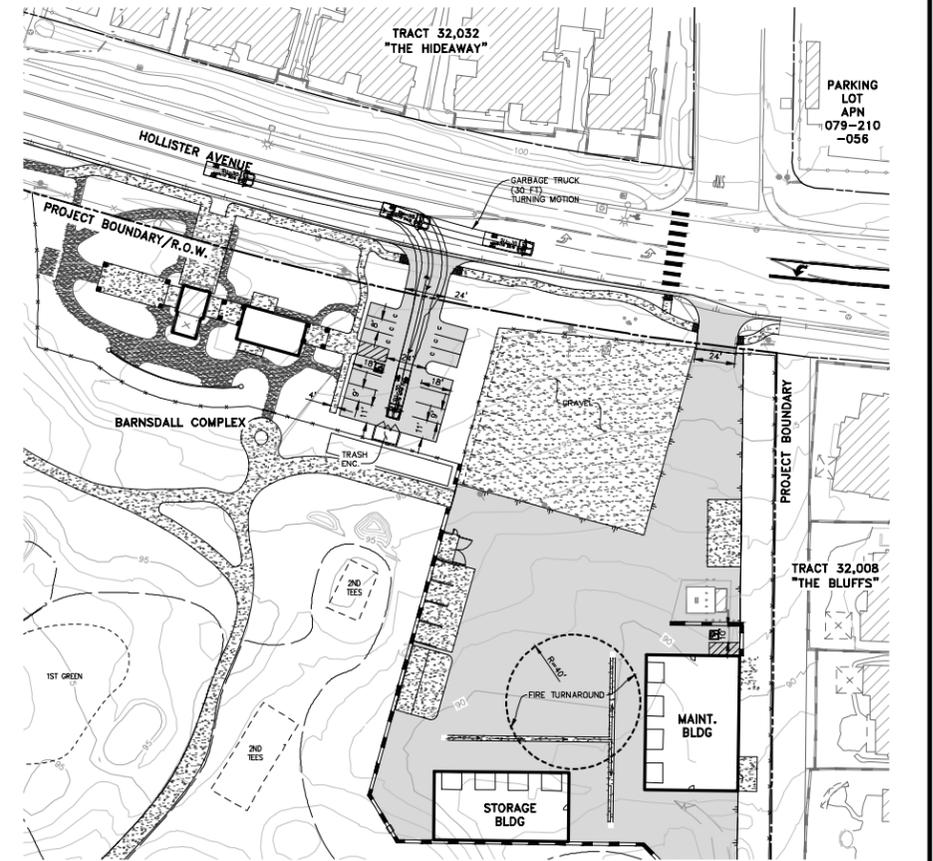
PRELIMINARY

DRWING: Projects\3682\Drawing\prelim\mpg\3682\_prelim\_util.dwg

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.



CLUBHOUSE & WEST PARKING LOT



BARNSDALL & MAINTENANCE BUILDINGS

DESIGN: MFC CHECKED: GSE  
 42-ENG SAVE DATE: 7/26/2023 6:42:12 AM PLOT BY: Command, Waverly PLOT DATE: 7/26/2023 8:23:06 AM



FOR REDUCED PLANS  
 ORIGINAL SCALE IN INCHES



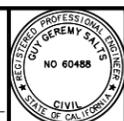
SCALE: 1"=40'



NO.	DATE	REVISION BLOCK	APPD.

PREPARED FOR:  
 SANDPIPER GOLF TRUST, LLC  
 280 CHESTNUT AVENUE  
 WESTMONT, IL 60099

PREPARED BY:  
**Stantec**  
 200 East Corliss Street, Suite 101, Santa Barbara, CA 93101  
 Phone: (805) 963-9532  
 GUY JEREMY SALTS 60488 6/30/2024  
 PROJECT ENGINEER R.C.E. EXP. DATE



**PARKING DIMENSIONS/  
 VEHICULAR ACCESS PLAN  
 PRELIMINARY IMPROVEMENT PLANS  
 SANDPIPER GOLF CLUB**  
 GOLETA, CA

STANTEC PROJECT NO.  
 2042588200  
 SHEET  
**C20** OF C20  
 PLAN DATE  
 7/26/2023

PRELIMINARY

DRWING: C:\projects\3682\drawing\prelim\amp\3682\_prelim\_trsf.dwg

ATTENTION: IF THIS DOCUMENT IS PROVIDED AS A COURTESY IN AN ELECTRONIC FORMAT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF THE PROFESSIONAL WORK PRODUCT. ONLY A HARD COPY DOCUMENT THAT IS SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC CONSTITUTES THE PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE HARD COPY MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT INFORMATION. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY AN AUTHORIZED PROFESSIONAL EMPLOYEE OF STANTEC. COPYRIGHT 2016, STANTEC CONSULTING SERVICES INC.

## **Attachment C**

### **EIR Mitigation Measures**

## ATTACHMENT C

### DRAFT EIR MITIGATION MEASURES FOR POTENTIAL IMPACTS TO THE HISTORIC BARNSDALL BUILDING

#### NOI-2 Construction Vibration Reduction Measures

Prior to the issuance of Zoning Clearance for grading and building permit, the City of Goleta Planning and Environmental Review Director or designee shall verify that the construction plans include the following requirements:

- For paving activities within 42 feet of the Barnsdall Rio Grande Gas Station, a static roller shall be used in lieu of a vibratory roller.
- For grading and earthwork activities within 20 feet of the Barnsdall Rio Grande Gas Station, off-road equipment shall be limited to 100 horsepower or less.

**Plan Requirements and Timing:** The Planning and Environmental Review Director or designee shall confirm the requirements are included on the grading and building permits prior to the issuance of Zoning Clearance for grading and building permits.

**Monitoring:** The City shall monitor compliance with the requirements of the vibration reduction measure periodically during grading and construction activities within 50 feet of Barnsdall Rio Grande Gas Station.

#### CUL-1 Architectural Monitoring for Barnsdall Rio Grande Gas Station

The project applicant shall retain a Secretary of Interior's Professionally Qualified architectural historian and/or the City's Urban Historian (qualified historian) to ensure the project implementation utilizes the Secretary of Interior's Standards for Rehabilitation and guidelines from the National Park Service including:

- *Preservation Brief #9, The Repair of Historic Wood Windows*
- *Preservation Brief #10, Exterior Paint Problems on Historic Woodwork*
- *Preservation Brief #32, The Preservation and Repair of Historic Stuccowork*
- *Preservation Brief #45, Preserving Historic Wood Porches*

The project applicant shall provide proof of retainment of the qualified historian to the City of Goleta's Planning and Environmental Review Director prior to the issuance of Zoning Clearance for the building permit for the renovation of the Barnsdall Rio Grande Gas Station. The requirement shall be referenced in the construction plans for the Rio Grande Coffee Shop intended for use by the construction contractor(s).

Prior to the start of renovation of the Barnsdall Rio Grande Gas Station, the qualified historian shall review the replacements, materials, finishes, designs, colors, textures, and other visual qualities for consistency with the Secretary of Interior's Standards for Rehabilitation. During renovation of the Barnsdall Grande Gas Station, the qualified historian shall conduct weekly spot checks to monitor construction progress for consistency with the Standards for Rehabilitation. Monitoring may be increased or reduced as deemed necessary by the qualified historian with approval by the City of Goleta's Planning and Environmental Review Director, or designee. The qualified historian shall have the authority to halt work if

inconsistent with the Standards for Rehabilitation and develop a plan to revise the work for consistency with the Standards for Rehabilitation in consultation with the City and contractor(s).

Throughout the renovation of the Barnsdall Rio Grande Gas Station, the qualified historian shall submit a weekly update to the City of Goleta's Planning and Environmental Review Director to document compliance. The update shall include date of monitoring, project progress, compliance or non-compliance with the Standards for Rehabilitation, and necessary actions to ensure compliance with the Standards for Rehabilitation.

**Plan Requirements and Timing.** Prior to renovation of the Barnsdall Rio Grande Gas Station, the project applicant shall retain a qualified historian. The qualified historian shall review project plans for replacements, materials, finishes, designs, colors, textures, and other visual qualities for consistency with the Secretary of Interior's Standards for Rehabilitation prior to and during renovation of the Barnsdall Rio Grande Gas Station. Proof of retainment shall be provided to the City of Goleta's Planning and Environmental Review Director prior to the issuance of Zoning Clearance for the building permit for the renovation of the Barnsdall Rio Grande Gas Station.

**Monitoring.** Throughout the renovation of the Barnsdall Rio Grande Gas Station, the qualified historian shall submit a weekly update to the City of Goleta's Planning and Environmental Review Director to document compliance. The update shall include date of monitoring, project progress, and compliance or non-compliance with the Standards for Rehabilitation, and necessary actions to ensure compliance with the Standards for Rehabilitation. The City of Goleta's Planning and Environmental Review Director, or designee, shall review the weekly updates.

## **Attachment D**

### **Phase 2 Historic Report**

**PHASE 2**

**RECEIVED**

**HISTORIC RESOURCES REPORT**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division

**For**

**Barnsdall-Rio Grande Gasoline Station  
City of Goleta Landmark A**

**7825 Hollister Avenue (APN 079-210-059)**

**City of Goleta, California**

**Prepared for**

**Winick Architects  
c/o  
Steven Welton, SEPPS  
[steve@sepps.com](mailto:steve@sepps.com)**

**Prepared by**

**Pamela Post, Ph.D., Senior Author, and Timothy Hazeltine**

**POST/HAZELTINE ASSOCIATES  
213 West Anapamu Street, Unit A,  
Santa Barbara, CA 93101**

805-682-5751  
[posthazeltine@cox.net](mailto:posthazeltine@cox.net)

August 5, 2022

TABLE OF CONTENTS

<b>Section</b>	<b>Page</b>
<b>1.0 INTRODUCTION</b> .....	1
1.1 Regulatory Setting.....	3
1.2 City of Goleta Preservation Ordinance and Polices.....	6
1.3 Designations .....	7
1.4 Summary of Findings .....	7
<b>2.0 Site History</b> .....	7
2.1 History of the Barnsdall Gas Station .....	7
2.2 Morgan, Walls & Clements (1923 -1937).....	9
2.3 Octavius Weller Morgan II (1886-1951) .....	10
2.4 Stiles O. Clements (1883-1966) .....	10
<b>3.0 SITE DESCRIPTION</b> .....	11
3.1 The Gas Station .....	11
3.2 Boundary Wall .....	12
3.3 Other Features.....	13
3.4 Adjacent Feature.....	13
<b>4.0 IDENTIFICATION OF SIGNIFICANT HISTORIC RESOURCES</b> .....	13
4.1 Re-Evaluation of Integrity .....	13
4.2 Eligibility for Listing in the California Register of Historical Resources .....	13
4.3 Summary Statement of Significance .....	14
<b>5.0 ANALYSIS OF THE PROPOSED PROJECT</b> .....	15
<b>6.0 SUMMARY AND CONCLUSIONS</b> .....	18
<b>10.0 BIBLIOGRAPHY, REFERENCE,S AND SOURCES</b> .....	19
<b>Appendix A (Project Plans)</b> .....	n.p.
<b>Appendix B (Historic Photographs)</b> .....	n.p.
<b>Appendix C (Existing Conditions)</b> .....	n.p.

NOV 30 2022

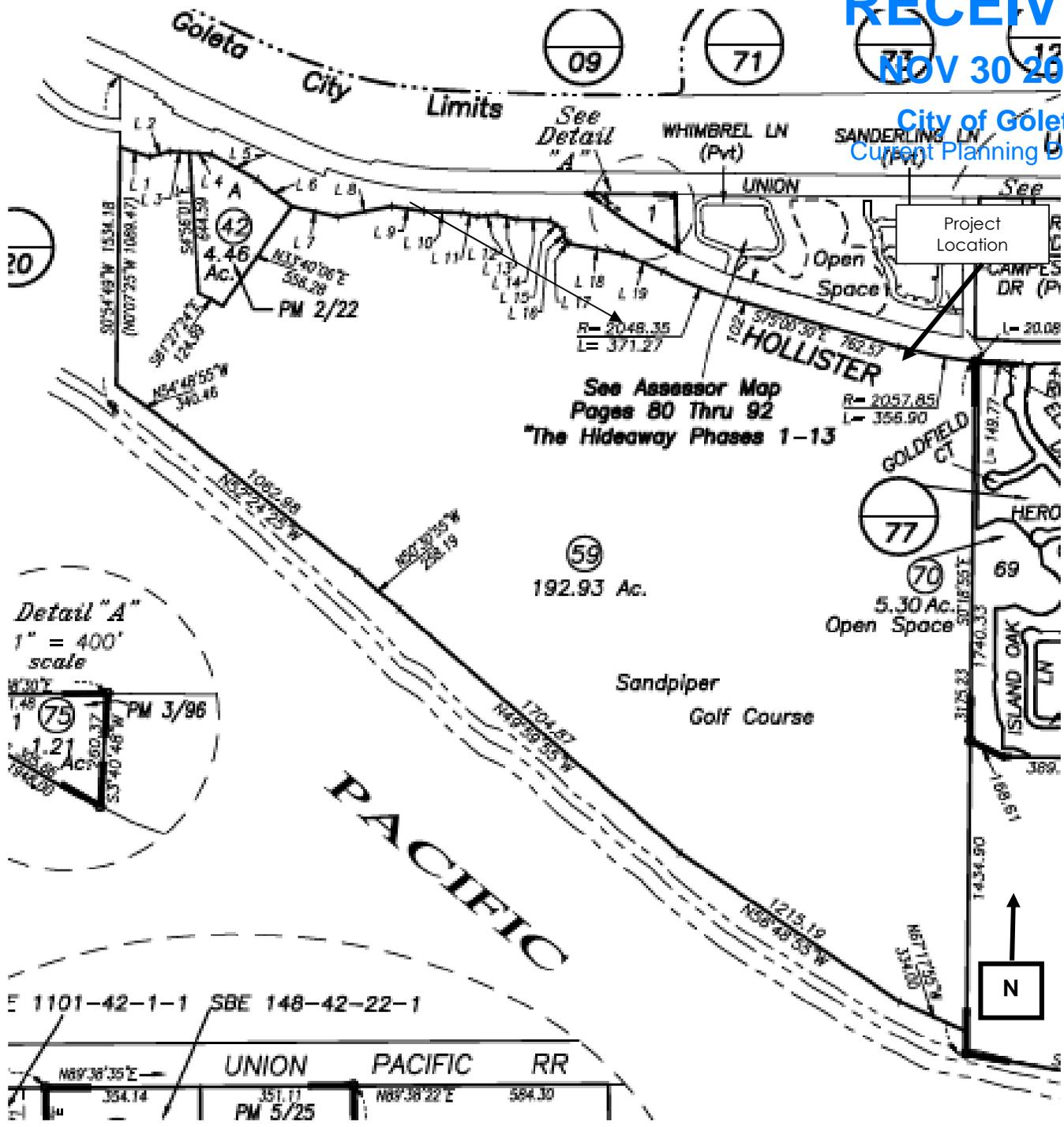
City of Goleta  
Current Planning Division

1.0 INTRODUCTION

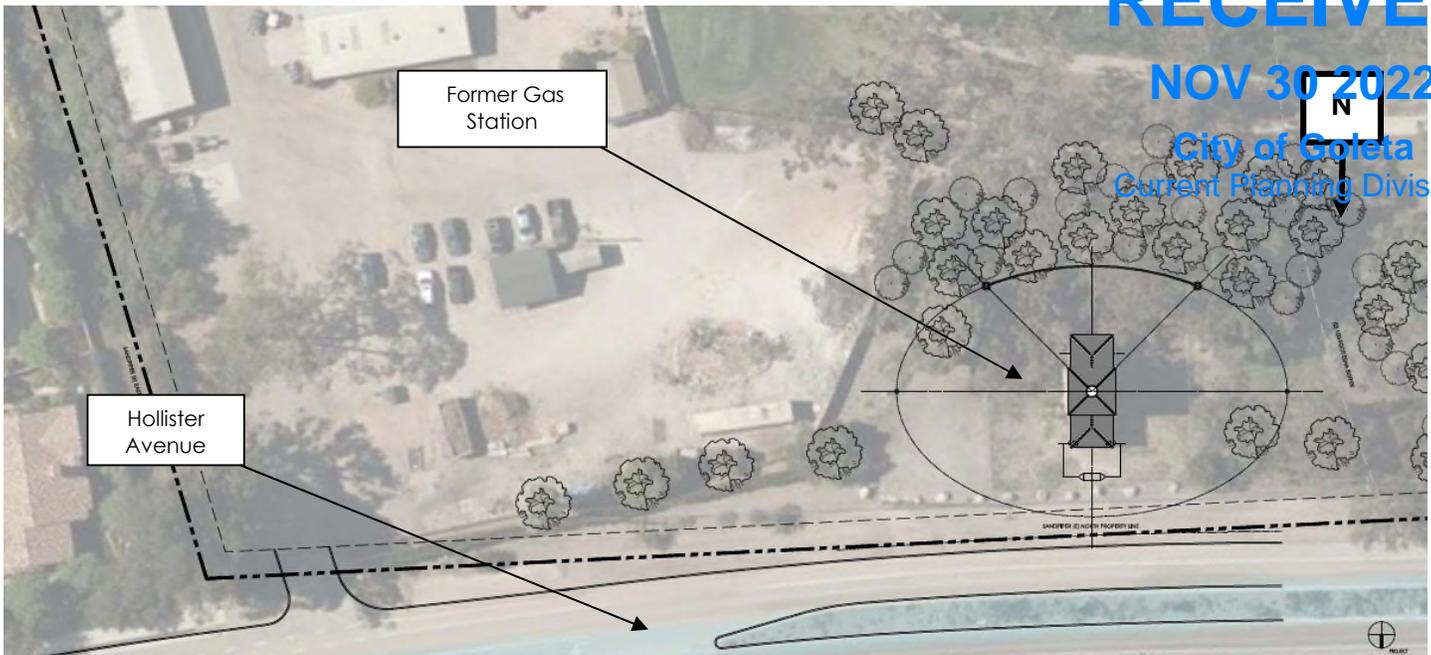
This Phase 2 Historic Resources Report for 7825 Hollister Avenue (APN 079-210-059), a property located in the City of Goleta, in Santa Barbara County, California. The applicant proposes an adaptive reuse and restoration of the former gas station building and the construction of a detached pergola and a detached commercial building. The project parcel is the location of the Barnsdall-Rio Grande Gas Station, a designated City of Goleta Landmark (Landmark #3). This report fulfills the requirement for historic resource design review of proposed alterations or modifications to designated landmarks outlined in the City of Goleta Historic Preservation Ordinance. Pamela Post, Ph.D., senior author, and Timothy Hazeltine prepared this report.



Map 1, Location Map for Project Parcel  
(2018 Dos Pueblos Canyon Quadrangle Map, 7.5 Series, United State Geographical Survey)



Map 2, Assessor Parcel Map



Map 3, Existing Site Plan (Winick Architects)

**1.2 Regulatory Setting**

California Environmental Quality Act (CEQA)

Section 21084.1 of the Public Resources Code provides the framework for determining whether a resource is a historic resource for CEQA purposes. Historic resources that are listed in or eligible for listing in the California Register of Historical Resources (California Register), that are, *per se*, significant other resources that are officially designated on a local register, or that are found to be significant by the State Historic Preservation Officer (SHPO) under Section 5024.1(j) of the Public Resources Code are presumed to be significant. According to CEQA, in determining potential impacts on historical resources under CEQA, projects are reviewed using the Secretary of the Interior's Standards (Standards). A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of an historical resource would be materially impaired." The setting of a resource should also be considered in that it too may contribute to the significance of the resource, as impairment of the setting could affect the significance of a resource. Material impairment occurs when a project:

1. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;
2. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or

3. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

CEQA Section 15064.5 defines historical resources as follows:

- (1) A resource listed in or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources Commission (State CEQA Guidelines Section 5024.1, Title 14 CCR, Section 4850 et seq.).

There are several ways in which a resource can be listed in the California Register, which are codified under Title 14 CCR, Section 4851.

- A resource can be listed in the California Register by the State Historical Resources Commission.
- If a resource is listed in or determined eligible for listing in the National Register of Historic Places (National Register), it is automatically listed in the California Register.
- If a resource is a California State Historical Landmark, from No. 770 onward, it is automatically listed in the California Register.

- (2) A resource included in a local register of historical resources, as defined in section 5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

The requirements outlined in PRC 5024.1 (g) for historical resources surveys are: A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all the following criteria:

- The survey has been or will be included in the State Historic Resources Inventory.
- The survey and the survey documentation were prepared in accordance with office [of Historic Preservation] procedures and requirements.
- The resource is evaluated and determined by the office [of Historic Preservation] to have a significance rating of Category 1 to 5 on DPR Form 523.
- If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be “historically significant” if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852). The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, is not included in a local register of historical resources (pursuant to section 5020.1 (k) of the Public Resources Code) or is identified in an historical resources survey (meeting the criteria in section 5024.1 (g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1 (j) or 5024.1.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to determine whether or not a project of new development or rehabilitation adversely impacts an “historical resource.” Section 15064.5(b)(3) states:

*“Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.”*

Section 15064.5(a)(4) of the CEQA Guidelines states:

*“The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to Section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in Section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code Sections 5020.1(j) or 5024.1.”*

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development. These include impacts to listed or potential historic resources. The California Environmental Quality Act (CEQA) mandates that a proposed project's impacts to historic resources be assessed. Historic resources are defined in Public Resource Code as follows:

*§5020.1: “Properties listed in or determined eligible for listing in the California Register of Historical Resources.” In order to be eligible for listing, a resource must meet one or more of the following criteria to be eligible for listing: A) Is associated with events that have made a significant contribution to the broad patterns of California's History and Cultural Heritage. B) Is associated with the lives of persons important in our past; C) Embodies the distinctive characteristics of type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; and D) Has yielded or may be likely to yield information important to history or prehistory.”*

*§5021.1(k): Properties included in “local registers of historic resources.” According to Section 5021.k local registers include the following: “a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution. Generally, local registers can be defined as either properties designated as landmarks per local ordinances (or*

resolutions), or properties included in a survey of historical resources that meets the standards of the Office of Historic Preservation (SHPO) for such studies.

The register also includes properties that have formally been listed in the National Register of Historic Resources or determined eligible for listing in the National Register of Historic Places. Properties eligible for listing in the National Register must meet one of the following criteria to be eligible for listing:

- A) are associated with events that have made significant contributions to the broad patterns of our history;
- B) are associated with the lives of persons significant in our past;
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguished entity whose components may lack individual distinction;
- D) have yielded or may be likely to yield information important in prehistory or history.

The following policies enacted by the County of Santa Barbara guided the identification of potential significant historic resources and evaluation of potential project impacts to significant historic resources outlined in this report.

**1.3 City of Goleta Preservation Ordinance and Policies**

The City of Goleta Historic Preservation and Cultural Resources Ordinance was approved by the City Council on April 5, 2022, via Resolution 22. On April 5, 2022, the City of Goleta adopted Resolution 22-10, Adopting the Historic Context Statement and Designation the Historic Landmarks List and Historic Resources Inventory (Case No. 16-092). The following section of the Historic Preservation and Cultural Resources Ordinance guide the assessment:

*Section D, Criteria and Procedure for Historic Preservation Commission and Design Review Board Review of Alterations:*

1. *Historic Preservation Review. The review and decision on the design review for projects involving historic resources will be undertaken by the Design Review Board as outlined in Section 15.58.060, with a recommendation from the Historic Preservation Commission. The Historic Preservation Commission will review the application materials and make a recommendation to the Design Review Board for consideration prior to Preliminary Review as Outlined in subsection 17.58.060 (B).*
2. *Required Findings. The Historic Preservation Commission shall make recommendations, and the Design Review Board shall decide based on of the following findings:*
  - a. *The proposed alteration is found to be consistent with any applicable design standards or guidelines adopted by the City Council; or*
  - b. *In the absence of applicable design standards or guidelines, the proposed alteration is found to be consistent with relevant Secretary of the Interior’s Standards for the Treatment of Historic Properties, or;*

- c. *There is sufficient evidence, including evidence provided by the Applicant, that denial of the proposed alteration would cause immediate hardship because of conditions unique to the specific property.*

#### 1.4 Designations

The Barnsdall Gas Station was designated a City of Goleta under Section D of City Council Resolution 22-10 on April 5, 2022:

*Add 7825 Hollister Avenue, Barnsdall-Rio Grande Gasoline Station to the Historic Resources Inventory and designate as a Goleta Landmark under Sections 17.33.020 and 17.33.040. Section D. Findings to Add 7825 Hollister Avenue (Barnsdall-Rio Grande Gasoline station) to the Historic Resources Inventory and designate the property as a City of Goleta Landmark (Sections 17.33.020 and 17.33.040).*

- 1) *The Barnsdall-Rio Grande Gasoline Station located at 7825 Hollister Avenue has been identified as a historic resource as part of the Citywide Historic Resource Survey, conducted using accepted professional practices by the Qualified Preservation Professionals at Historic Resources Group. Further, the Barnsdall-Rio Grande Gasoline Station was previously designated as Landmark #29 by the County of Santa Barbara prior to January 1, 2021. Therefore, in accordance with Section 17.33.020(A), the property meets the criteria established by the City of Goleta to be placed on the Goleta's Historic Resources Inventory.*

#### 1.5 Summary of Findings

A review of the proposed project which includes restoration of the former gas station and its boundary wall and construction of a compatible detached restaurant space and detached pergola has concluded the project is consistent with the Secretary of the Interior's Standards for Rehabilitation and the City of Goleta Historic Preservation Ordinance.

#### 2.0 SITE HISTORY

The following historic context and site history provides textual and visual information for evaluating project impacts to the designated historic resource.

##### 2.1 History of the Barnsdall Oil Company-Rio Grande Oil Company Gas Station

The genesis of the Barnsdall Oil Company-Rio Grande Oil Company gas station in Goleta, California, began in the late 1920s when test wells were sunk in Tecolote Canyon in an effort to discover oil. However, this effort was short-lived and was soon abandoned when they encountered salt water. Shortly after, Frank Morgan, a geologist working for Rio Grande Oil Company, urged his employer to obtain exploration rights to drill on Ellwood Terrace, a property owned by Kate Den Bell and the Luton-Bell family heirs to Nicolas Den's Rancho Los Dos Pueblos. When Bell died in 1927, her heirs sold the rights to drill on Ellwood Terrace to the Rio Grande Oil Company. The following year, Rio Grande entered into a partnership with the Barnsdall Oil Company to share in the cost of oil exploration. On

June 1, 1928, Rio Grande Oil Company and Barnsdall Oil Company drilled their first well, Luton-Bell No. 1, named in honor of Kate Den Bell. Luton-Bell No. 1 proved highly successful in producing high volumes of oil, and soon plans were made to sink more wells. By April 1930, the Ellwood oil field "was home to 28 oil wells, netting about 42,000 barrels of oil per week, or about 1,500 barrels per week" (Scott-McIntosh Petroleum, Incorporated Collection, circa-1925-1930, Department of Special Collections, University of California, Santa Barbara, Davidson Library) Appendix B, Figures 1 & 2). The oil strike made the Barnsdall-Rio Grande oil companies "major players on the New York Stock Exchange, and almost overnight, they were the county's biggest taxpayer. At one time, Ellwood was the most productive oil field in the world, yielding over 100 million barrels of oil in over three decades" (<https://goletahistory.com/ellwood-gasstation/>).

Within a year of drilling Luton-Bell No. 1, the two oil companies began infrastructural development, constructing administrative offices, worker's housing, and storage sheds to support the oil facility. As a part of their expansion program, a gas station was planned to be located near the entrance to the oil fields. In considering its design, Barnsdall-Rio Grande wanted the gas station to be a showpiece, reflective of its growing position as a major player in the oil industry. Located on Hollister Avenue at the western end of the Goleta Valley, the gas station, when completed, would occupy "a gateway position for Coast Highway travelers entering or exiting the Santa Barbara area." Hollister Avenue would function as the State Highway until 1947 (Coombs et al. 1986: 93).

During the pre-World War II era, gas stations were usually utilitarian and functional in design, (Appendix B, Figure 3). The Barnsdall-Rio Grande gas station is an example of a high style, Period Revival style gas station in Santa Barbara County. The station served as a signature piece for the Barnsdall-Rio Grande's brand. In 1929, the prestigious Los Angeles architectural firm of Morgan, Walls & Clements was hired to provide a design for the gas station; Andrew Jensen was the general contractor (Coombs et al., 1986: 91). The gas station was designed in an iteration of the Spanish Colonial Revival style, an almost ubiquitous architectural motif in Santa Barbara County between the 1920s and early 1930s.

The Barnsdall Oil Company-Rio Grande Oil Company gas station was completed in 1929 in a design that melded Moorish detailing with the formal characteristics of the Spanish Colonial Revival style (Appendix B, Figures 4 - 8). The Moorish detailing, evident in the large blue and white ceramic tiles, was the work of the Pyramid Tile Company of Santa Barbara. The company, which is still in operation as Pyramid Marble Tile and Masonry, was founded in 1928 by two tile setters, Philip Dannenfelzer and Jack Morey, just a year before the gas station was built (Coombs et al., 1986: 93; <https://www.pyramidmtm.com/history>).

In addition to the gas station, a five-foot-high curved masonry wall was constructed to the rear of the station with octagonal piers to hold spotlights and hoses for water and compressed air. To draw the attention of travelers, two flag poles were erected, one for the American flag and one for the California flag, as well as a tall, tower-like structure in the form of an oil derrick with the words "Barnsdall & Rio Grande" emblazoned in paint and neon (Coombs and Olsen, 1985: 12 - 13) (Appendix B, Figure 9). Interestingly, the oil derrick sign has a similar design relationship with that of the oil derrick sign atop the Richfield Building in Los Angeles, completed by Morgan Walls & Clements in 1928, a year before they built the gas station (Appendix B, Figure 10).

In 1931, the gas station won an award for landscaping in the first "Competition for Improvement in Appearance of Service Stations." This award was followed by two more awards, in 1934 and in 1937, where it won a three-star rating from a program to improve the appearance of gas stations (*Montecito Journal*, February 26, 2015: 29).

Shortly after the gas station was completed, a restaurant was built on an adjacent lot. Named the Spud Inn, it was designed in a reductive interpretation of the Spanish Colonial Revival style. The name "spud" was used thematically as a tie to the nearby oil fields because "spud" is a play on the term for starting an oil well. The appellation did not last long, however, and shortly after, the restaurant was renamed El Bar Rio Café and, by 1931, the Wheeler Inn, after its owners, Laurence, and Hilda Wheeler (Coombs, 1985: 15) (Appendix B, Figure 11). The Wheelers soon added an apartment to the restaurant and, with the cessation of Prohibition in 1933, a liquor store. It was reputedly said that the Wheeler Inn was one of the favorite stop-offs for William Randolph Hearst and his companion, Marion Davies, as they traveled between San Simeon and Los Angeles (*Montecito Journal*, February 26, 2015: 29) (The restaurant, apartment, and liquor store have since been demolished). In 1947, the new State Highway was built, bypassing the old highway on Hollister Avenue. The realignment of the highway so drastically reduced the gas station's business that it closed in the early 1950s. For the next 20 years, the station's underground storage tanks continued to be used to store fuels for Rio Grande's bulk plant in the adjacent Ellwood oil fields. The use of the underground tanks for oil storage was discontinued in 1972 when the gas station and its surrounding property were permanently closed. Since then, the gas station has remained shuttered and enclosed by fencing (Figures 12 - 15). In June 2003, Sandpiper Golf Trust, LLC purchased the Barnsdall gas station. On April 5, 2022, the Barnsdall gas station was designated a City of Goleta Landmark, per Resolution 22-10, April 5, 2022.

## 2.2 Morgan, Walls & Clements (1923-1937)

The architectural firm of Morgan, Walls, and Clements was in practice from 1923 to 1937. The company's principals were Octavius Weller Morgan II and Stiles O. Clements (John A. Walls died in 1922). The firm was located in Los Angeles, where they received the bulk of their commissions. Of the two partners, Stiles O. Clements, who received his architectural training at the Ecole des Beaux-Arts in Paris, was the firm's principal designer and particularly adept at working in the Spanish Colonial Revival style, as well as the more contemporary Art Deco and Streamline Moderne styles (<https://www.laconservancy.org/architects/morgan-walls-and-clements;> ([https://en.wikipedia.org/wiki/Morgan,\\_Walls\\_%26\\_Clements;](https://en.wikipedia.org/wiki/Morgan,_Walls_%26_Clements;))). Like his architect father, Octavius Morgan II was active in his professional community, serving as an officer for the Southern California chapter of the AIA and as president of the Allied Architects Association, a nonprofit organization that focused on municipal design. Morgan, Walls, and Clements worked primarily on large commercial projects, including one of their most prestigious commissions, the Art Deco-designed Richfield Tower in Los Angeles (Built in 1928, the Richfield Tower was demolished in 1969). Other prominent commissions included: the Olive J. Cobb Building, Los Angeles (1924); El Captain Theater, Los Angeles (1926); Belasco Theater, Los Angeles (1926); Mayan Theater, Los Angeles (1927); Chapman Plaza, Los Angeles, (1929); Samson Tire and Rubber Factory, Commerce, California (1929-1930); Adamson House, Malibu, California (1930); Leimert Theater Leimert Park, California (1931);

Pellissier Building and Wiltern Theater, Los Angeles (1931); Dominguez-Wilshire Building, Los Angeles (1931); Jefferson High School, Los Angeles (1935); and KEHE Radio Building, Los Angeles (1936) (demolished 2003) ([https://en.wikipedia.org/wiki/Morgan,\\_Walls\\_%26\\_Clements](https://en.wikipedia.org/wiki/Morgan,_Walls_%26_Clements); [https://en.wikipedia.org/wiki/Stiles\\_O.\\_Clements](https://en.wikipedia.org/wiki/Stiles_O._Clements)). The firm of Morgan, Walls, and Clements dissolved in 1937 when Stiles O. Clements left the partnership to form an independent practice.

### **2.3 Octavius Weller Morgan, II (1886-1951)**

Octavius Weller Morgan, II was born in Los Angeles on January 2, 1886, to parents Octavius Morgan and Margaret Susan Weller. As a child, Octavius lived with his parents in Los Angeles until he attended Stanford University (*Los Angeles Times* obituary, May 19, 1951: 17). On November 4, 1912, Octavius married Maria Arriola in Los Angeles at 26. The couple eventually had four sons, Octavius (born 1913); Carlos (1917); Perry (1920); and Robert (1924) (*History of Pasadena and Beyond*; ancestry.com). By 1917, Octavius Morgan II was a partner at the firm of Morgan, Walls, and Morgan, which comprised his father, Octavius Morgan, John Walls, and himself (*History of Pasadena and Beyond*; ancestry.com). In 1922, John Walls died. The following year, in 1923, Octavius Morgan II formed a new partnership with Stiles O. Clements. Retaining the name of Walls, the two men established the firm of Morgan, Walls, and Clements, and for the next 14 years, it would prove to be one of the most successful early 20<sup>th</sup>-century architectural firms in Los Angeles. Morgan, Walls, and Clements dissolved in 1937 when Stiles O. Clements left to create his firm. In the 1940 census, Octavius lists his occupation as a contractor. Octavius Weller Morgan II died on May 17, 1951, in Los Angeles at 65 (*History of Pasadena and Beyond*; ancestry.com).

### **2.4 Stiles O. Clements (1883-1966)**

Stiles Oliver Clements was born on March 2, 1883, in Centerville, Maryland, to parents Thomas O. Clements (1852-1908) and Mary Hubbard (1856-1935) (Clements Family Tree; ancestry.com). As Stiles grew up, he lived with his parents and younger brother, Thomas E. H. Clements (Born 1886), in Delaware. In circa-1901, Stiles attended the Drexel Institute of Technology in Philadelphia and then the Massachusetts Institute of Technology (MIT) in Cambridge. Following graduation from MIT, he received his architectural training at the École des Beaux-Arts, Paris. In 1908, Stiles' father, Thomas, died at 56. With the 25-year-old Stiles now the head of the household, the family continued to live in Delaware for a few more years while Stiles worked for several architectural firms in New York City. In 1911, Stiles moved to Los Angeles at the age of 28. Five years after moving to California, Stiles married Ida M. McAvoy (1885-1960) in Los Angeles on February 4, 1916 ([pcad.lib.washington.edu/person/116/](http://pcad.lib.washington.edu/person/116/)). After their marriage, Stiles and Ida lived briefly in San Diego. By 1920, they had moved back to Los Angeles. The couple would eventually have four children, Robert (1918-1987); Mary Evangeline (1920-2001); Harold (1922-2006); and Margaret (1924-2009) (Clements Family Tree; ancestry-com).

By at least 1922, Stiles was working as an architect in the firm of Morgan, Walls, and Morgan. One of the firm's partners, John A. Walls, died that year. Following his death, Stiles formed a partnership, in 1923, with Octavius Weller Morgan II. It is assumed that when Stiles and the younger Morgan formed their partnership, the senior Morgan retired. In 1935, Stiles and his family moved to a house at 708 North Linden Avenue in Beverly Hills, where Stiles continued to live for next 31 years until his death in

1966. Morgan, Walls & Clements remained active as a firm until 1937, when Stiles decided to leave and form his independent architectural practice, Stiles O. Clements and Associates, Architects-Engineers, which remained in practice from 1937 until 1955. In 1955, Stiles and his son, Robert formed a new firm, creating Stiles O. and Robert O. Clements, Architects-Engineers; this partnership lasted until Stiles' retirement in 1965 ([pcad.lib.washington.edu/person/116/](http://pcad.lib.washington.edu/person/116/)). Stiles O. Clements died in Los Angeles on January 15, 1966, at the age of 82 (Stiles' wife, Ida, preceded him in death in Los Angeles six years earlier, on July 27, 1960) (Clements Family Tre; [ancestry.com](http://ancestry.com)). In addition to his work, Stiles was an avid horseman. He was a co-founder of Los Angeles Beautiful and a member of the Downtown Garden Club in Los Angeles. A lasting legacy, in addition to his impressive portfolio of architectural commissions, Stiles founded the Los Angeles Trees-in-the-Streets program ([pcad.lib.washington.edu/person/116/](http://pcad.lib.washington.edu/person/116/)).

### 3.0 SITE DESCRIPTION

#### 3.1 Station

The wood frame building was designed as a two-story tower with a one-story canopy sheltering the station's gas pumps and entry door projecting the tower's north elevation (street façade) and a shallow one-story wing housing restrooms projecting off the tower's south (rear) elevation. The building is sheathed in rough-cast plaster. Roofs are shallow-pitched hipped types with flush eaves. Roofs are covered in s-shaped terra cotta tiles. Fenestration, which is documented by period photographs was composed of paired three-light casements. Restroom doors appear to have been flush panel types with porthole style windows. The appearance of the original entry door is not documented by accessible period photographs.

The tower element features a low-pitched pyramidal roof capped by a hexagonal cupola with a dome. The cupola features rectangular opening covered by grillwork. The tower's flush eaves are embellished with a Churrigueresque style plaster-cast reliefs that extend around the deeply-set rondel style windows. Just below each of the elevations' rondel windows is painted the gas station's name, "Barnsdall Oil Co., and below that, Rio Grande Oil Co."

The north elevation's canopy is capped by a shallow hipped roof supported by plastered Tuscan style piers at its north end and Tuscan style pilasters at its south end. The piers are set on a slightly raised concrete pad that was once the location of the station's gas pumps. Wood beams with decorative scrollwork extend from around all three sides of the canopy. The canopy's ceiling is sheathed in tongue-and-groove wood sheathing inset with circular openings for lighting. The hipped roof features slightly extended eaves supported by scrolled rafter tails. A rectangular opening at the center of the elevation provides access to the interior. Currently, this opening is covered by plywood sheeting. When it was built, the base of the elevation was sheathed in square, blue and white ceramic tiles that also surrounded the door opening. Most of the original tiles have been removed and replaced by paintwork emulating the design of the missing tilework.

The south elevation is the rear of the building. It is composed of a one-story wing projecting off the building's tower. The one-story wing, which is capped by a hipped roof covered in terra cotta tiles,

sheltered the station's restrooms. Its first floor features two rectangular windows surrounded by a band of decorative tilework that forms a decorative wainscoting around the base of the building.

Large blue and white ceramic tiles, applied in a simple geometric pattern, afford strong bands of color to the tower's base and around its window and door surrounds. Just below each of the elevations' rondel windows is painted the gas station's name, "Barnsdall Oil Co.," and below that "Rio Grande Oil Co." All of the building's original fenestration has been removed, and its openings covered in plywood.

#### North Elevation (Street Façade)

The north elevation (street façade) comprises a two-story tower with an attached porte-cochere. The tower and porte-cochere are covered with shallow-hipped roofs covered in s-shaped terra cotta tiles; carved wood rafter tails project from under the porte-cochere's eave line. Doric-inspired engaged pilasters are located at the east and west ends of the tower and help support the roof of the attached porte-cochere. Blue and white tiles are applied at the base and around the tower's entry door. Two plastered piers, capped by simple Doric-inspired capitals, help support the north end of the porte-cochere.

#### South Elevation

The south elevation comprises the attached porte-cochere, the two-story tower, and the attached one-story wing. Decorative elements include the same ornamental elements as on the north elevation, including the plastered Churrigueresque banding under the eave line a deep-revealed rondel window, painted signage, and blue and white ceramic tiles applied to the base of the tower and the attached one-story wing, as well as the window surround of the tower and the door surround of the one-story wing.

#### East Elevation

This elevation is comprised of the tower flanked on its north by the canopy and on its south by the one-story restroom wing. The tower element features a rectangular window with the same style tilework as the south elevation. The restroom wing features a rectangular door opening.

#### West Elevation

The west elevation mirrors the design of the east elevation with a door opening at its south end. It features a rectangular window near its center point.

#### Alterations

- Most, if not all, of the original fenestration and doors have been removed.
- Much of the tilework has been damaged or lost. Much of the missing tilework has been replaced with painted copies of the tiles.
- The original gas pumps have been removed.

### 3.2 Boundary Wall

A plastered masonry wall, with a shallow curved configuration, is set behind the gas station. The wall features a scalloped top with two Art Deco style piers at its east and west end that house dispensers for water and air. Originally, flag poles flanked either side of the gas station. The base of one of the flagpoles survives to the east of the gas station.

#### Alterations

- A rectangular opening near the east end of the wall may have been the location of a gate door.

### 3.3 Other Features

Low concrete curbing extends in a shallow oval configuration, defining the edge of an oval driveway extending around the south, east and west sides of the gas station. The bases of flagpoles are located off the east and west sides of the driveway. The flagpoles flanked either side of the gas station. Remnants of concrete paving extend beneath the gas station's canopy and off the north end of the canopy. fragments of the gas station's asphalt paving extend around all four sides of the building.

#### Alterations

- A derrick style sign located east of the gas station has been removed. Fragments of sandstone scattered near the street frontage may be remnants of this feature.

### 3.4 Adjacent Features

An equipment yard located east of the gas station has been at this location since the 1930s. A detached Mediterranean style building housing a restaurant that was once located west of the gas station was demolished sometime in the 1970s or before.

## 4.0 IDENTIFYING SIGNIFICANT HISTORIC RESOURCES

### 4.1 Re-Evaluation of Integrity

A resurvey of the property completed in January of 2022 confirmed the gas station and its environs retains integrity of location, design, setting, materials, workmanship, feeling and association it possessed in 2019 when it was assessed as part of the Citywide Historic Resource Survey conducted by Historic Resources Group. Therefore, the project property retains sufficient integrity to convey those qualities and attributes that qualified the property for listing as a City of Goleta Landmark.

### 4.2 Eligibility for Listing in the California Register of Historical Resources

#### Eligibility for Listing in the California Register of Historical Resources

*For purposes of this section, the term "historical resources" shall include the following:*

---

Post/Hazeltine Associates  
Phase 2 Historic Resources Report  
Barnsdall Gas Station, 7825 Hollister Avenue (APN 079-210-059)  
City of Goleta, California  
August 5, 2022

- 1.) A resource listed in or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).
- 2.) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code, or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
- 3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852), including the following:
  - 3a Is associated with events that have significantly contributed to the broad patterns of California's history and cultural heritage.
  - 3b Is associated with the lives of persons important in our past;
  - 3c Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or;
  - 3d Has yielded or may be likely to yield information important in prehistory or history.

Criterion 1: A resource listed in or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).

The gas station and its contributing features do not appear to be listed in the California Register of Historical Resources, nor has it been deemed eligible for listing by the State Historical Resources Commission. Therefore, the property does not meet Criterion 1.

Criterion 2: A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code, or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

The study property, a designated City of Goleta Landmark, meets Criterion 2:

#### **4.3 Summary Statement of Significance**

The study property is a designated City of Goleta Landmark and is eligible for listing in the California Register of Historical Resources. Therefore, the study property is a significant historic resource for City review.

## 5.0 ANALYSIS OF THE PROPOSED PROJECT

The proposed project to repurpose the existing building as a coffee shop and electric car and bicycle charging station includes the following measures. Please note that project plans are found in Appendix A of this report:

### Former Gas Station

The applicant proposes to rehabilitate the exterior of the 349.5 SF (Net) gas station to its historic appearance as documented by period photographs. This would include the following:

- Replicate the missing exterior ceramic tilework to match the original in dimension, placement, color, and placement;
- Repair exterior plasterwork to match the original in texture, color, and material;
- Repair the roof assembly, including its rafter tails to match the original in design, finish, dimensions, and appearance;
- Replace damaged or missing terra cotta roof tiles to match the originals;
- Repair or replicate the original windows in design, profile, materials, and glazing pattern;
- Repair or replace (if too deteriorated to repair the restroom doors to closely match the originals while meeting universal access requirements;
- Install new front doors to match the originals in overall appearance while meeting the requirements for universal access;
- Replace windows on the east and west elevation with single doors with divided-lights;
- Repair existing cast plasterwork and replace missing decorative plasterwork to match the originals as documented by surviving ornamentation;
- Repair the rooftop cupola to its original appearance;
- Restyle the painted lettering to read "Barnsdall Oil Co. Rio Grande Coffee to serve as signage for the coffee shop and recharging station;
- Remodel the interior for use as a coffee shop. This would include installation of a metal staircase leading to the top of the tower; and
- Install replica period style gas pumps at the north end of the canopy. The replicated pumps would function as electric bike charging stations.

### Retail Space

The applicant proposes the construction of a detached 696.5 SF (Net) building to the east of the gas station. The new building would be set within the footprint of the original ovoid driveway. The building, with its flat, parapeted roof, plastered walls, and wood pergolas, is designed as reductive interpretation of the Spanish Colonial Revival style. Construction of the building would require removal of remaining fragments of asphalt paving, a section of concrete curbing and the relocation of a flagpole base.

### Pergola

The applicant proposes construction of a Mediterranean style detached wood pergola style structure west of the gas station. The structure would be set within the footprint of the original ovoid

driveway. Construction of the building would require removal of remaining fragments of asphalt paving, a section of concrete curbing and the relocation of a flagpole base.

Secretary of the Interior's Standards for Rehabilitation

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The property historically functioned as a gas station with a detached building located just to the west housing a restaurant. The proposed project would continue these historic uses related to transportation with the gas station converted to retail use, the construction of a detached building housing a coffee shop to the east of the gas station and the installation of electric charging stations for cars and bicycles. The proposed project would alter the setting of the gas station by building over portions of the ovoid driveway and relocating two flagpole bases. Some of the driveway's concrete curbing would remain in-situ. The remainder of the asphalt paving would be replaced with surfacing materials, and plantings while maintaining the driveway's ovoid form and configuration. The proposed interior alterations would not remove significant fabric as the building's tower was a utilitarian space without character-defining architectural embellishments. Exterior alterations would include resizing the restroom door openings to meet ADA requirements and replacing windows on the east and west elevations with single doors to provide additional access to the building's interior.

Analysis

The removal of two windows (one on the east elevation and one on the west elevation) and their replacement with double doors would remove the lower portions of two original window openings. These alterations are compatible because the new door openings will be fit, as closely as possible, to the width of the existing windows and the doors' pattern of divided lights would emulate the windows divided lights. Widening the restroom doors, which meets the guidance set forth in Preservation Brief #32 (*Making Historic Properties Accessible*). Loss of historic fabric would be minimal as the original windows no longer exist and much of the original tilework has been removed. While the ovoid driveway would be altered with new plantings and a pergola and retail building, the overall form of the driveway would remain. Therefore, the proposed project, which would preserve almost all of the building's existing materials and design features, meets Criterion A.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Implementation of the proposed project would remove or alter several hardscape features including sections of concrete curbing, deteriorate asphalt paving, two windows on the gas station buildings, and resizing two restroom doors located on the building's side elevations. The façade of the building, its footprint, and primary design features, and materials would be retained, repaired, or recreated. Repurposing the original location of the gas pumps as an electric bike charging station and the installation of charging stations for vehicles off the east and west sides of the ovoid

driveway would maintain the historic use of the resource as a transportation-related property. Changes to the ovoid driveway would alter the appearance of this feature while maintaining its configuration and function as the historic property's dominant circulation element. The placement of the new building and pergola would maintain a distinct separation between the historic building and new construction which would minimize impacts to the station's setting. Therefore, the proposed project would meet Standard 2.

*3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose the addition of building materials from other historic properties or conjunctural features. Therefore, Standard 3 does not apply to the project.

*4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The project does not proposed changes to design features that have achieved historic significance in their own right. Therefore, Standard 4 does not apply to the project.

*5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Implementation of the project would return the gas station building to a close approximation of its historic appearance. Loss of historic materials would be confined to portions of two window openings on the building's east and west elevation and the installation of ADA compliant doors on the street facade. Therefore, the proposed project, which would preserve, repair, or recreate almost all of the building's character-defining materials and design features meets Standard 5.

*6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed project incorporates the of following measures to ensure the repair of historic building fabric:

- Remaining original windows will be repaired rather than replaced following the guidance in National Park Service Bulletin 9, *The Repair of Historic Wood Windows*, will be implemented;
- Repair and repainting of the canopy structure will follow the guidance set forth in *Preservation Brief #10, Exterior Paint Problems on Historic Woodwork* and *Preservation Brief #45, Preserving Historic Wood Porches*.
- Repair of historic stuccowork shall follow the guidance outlined in *Preservation Brief #32, The Preservation and Repair of Historic Stuccowork*.
- Repainting exterior cladding, trimwork, window and door frames and window units will follow

the guidance, including employment of cleaning and stripping (if required) methods consistent with guidance in Bulletin #10. To ensure adherence with this guidance, the contractor shall work in consultation with a City-approved historian and/or the City's Urban Historian to identify appropriate methods.

- General Guidance: If historic building fabric is too deteriorated to repair, replacement material will, to the maximum extent feasible, match the historic building materials in dimension, profile, finish, and materials;
- Because the project incorporates the measures outlined under National Park Service Bulletins 9, 10 and 45, it meets Standard 6. To ensure these measures have been implemented a City-approved historian shall monitor the project and provide updates to the City's Urban Historian regarding the implementation of these measures.

The implantation of the above measures would ensure the historic property retains its contributing design features and materials and would therefore, meet the guidance under Standard 6.

*7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Provided the measures outlined above under Standard 6 are implemented, the proposed project would mee Standard 7.

*8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The application of Standard 8 is beyond the purview of this report.

*9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed project would restore the exterior of the gas station building to a close approximation of its historic appearance and retain almost of the surrounding hardscape features that characterized the setting of the building. New construction is modest in scale, detached from the historic building, and compatible in materials, and design with the historic property. Therefore, the proposed project would meet Standard 9 provided the guidance detailed above, under Standard 6 is implemented.

*10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired: (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

Loss of historic fabric is confined to portions of two windows, the front doors, and sections of concrete curbing. The other proposed alterations are reversible as the detached pergola land retail building could be removed without affecting the physical or design integrity of the gas station building. Therefore, the proposed project meets Standard.

NOV 30 2022

City of Goleta  
Current Planning Division

## 6.0 SUMMARY AND CONCLUSIONS

This Phase 2 Historic Resources Report evaluated the property at 7825 Hollister Avenue, which is the location Barnsdall Gas Station, a designated City of Goleta Landmark. This report fulfills the requirement for an assessment of alterations of significant historic resources outlined in the City of Goleta Historic Preservation Ordinance. This study has concluded that proposed project would meet the Secretary of the Interior's Standards for the Treatment of Historic Properties provided the guidance detailed in Section 5.6 of this report is implemented. Provided the guidance is implemented, implementation of the proposed project would not impair the designated historic resource identified in this report and project impacts would be considered less than significant.

## 7.0 BIBLIOGRAPHY, REFERENCES, AND SOURCES

### Published Sources and Professional Reports Consulted:

#### Web Sources

[https://en.wikipedia.org/wiki/Morgan,\\_Walls\\_%26\\_Clements](https://en.wikipedia.org/wiki/Morgan,_Walls_%26_Clements)

[https://en.wikipedia.org/wiki/Stiles\\_O.\\_Clements](https://en.wikipedia.org/wiki/Stiles_O._Clements)

<https://goletahistory.com/ellwood-gasstation/>

<https://www.laconservancy.org/architects/morgan-walls-and-clements>

<https://www.pyramidmtm.com/history>

[pcad.lib.washington.edu/person/116/](http://pcad.lib.washington.edu/person/116/)

Andree, Herb, and Noel Young

1975 *Santa Barbara Architecture: From Spanish Colonial to Modern*,  
Santa Barbara: Capra Press.

Coombs, Gary, et al

1986 *Those Were the Days: Landmarks of Old Goleta*: Goleta: Institute for American  
Research.

Coombs, Gary, and Phyllis J. Olsen

1985 *Sentinel at Ellwood* (pamphlet).

Gerhard and Winter

1977 *A Guide to Architecture in Los Angeles and Southern California*. Peregrine Smith.

Historic Resources Group

Survey of The City of Goleta.

*The Independent*, as cited in the text.

---

Post/Hazeltine Associates

Phase 2 Historic Resources Report

Barnsdall Gas Station, 7825 Hollister Avenue (APN 079-210-059)

City of Goleta, California

August 5, 2022

Los Angeles Times, as cited in text.

McAlester, Virginia, and Lee McAlester  
1993 *A Field Guide to American Houses*. Alfred A. Knopf, New York.

Montecito Journal  
February 26, 2015. "Roadside Improvements and a Service Station" by Hattie Beresford.

Myrick, David.  
2001 *The Days of the Great Estates of Montecito and Santa Barbara: Volume II: The Days of the Great Estates*. Glendale, California.

National Park Service  
1991 Brochure, Preservation Assistance Division, Washington D.C.

1995 *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Brochure, Preservation Assistance Division, Washington D.C.

Staats, Phillip H.  
1990 *California Architecture in Santa Barbara*. Architectural Book Publishing Company, Stamford, Connecticut. Reprint of 1929 publication.

Other Sources

Clements Family Tree; ancestry-com.

Historic Resources Group  
City of Goleta: Citywide Historic Context Statement.

History of Pasadena and Beyond; ancestry.com.

Morgan Family Tree; ancestry.com.

Obituary for Octavius Weller Morgan III: Stanford University.

Scott-McIntosh Petroleum, Incorporated Collection, circa-1925-1930, Department of Special Collections, University of California, Santa Barbara, Davidson Library.

United States Census (1940).

Web Sources

[https://en.wikipedia.org/wiki/Morgan,\\_Walls\\_%26\\_Clements](https://en.wikipedia.org/wiki/Morgan,_Walls_%26_Clements)

[https://en.wikipedia.org/wiki/Stiles\\_O.\\_Clements](https://en.wikipedia.org/wiki/Stiles_O._Clements)

<https://goletahistory.com/ellwood-gasstation/>

---

Post/Hazeltine Associates  
Phase 2 Historic Resources Report  
Barnsdall Gas Station, 7825 Hollister Avenue (APN 079-210-059)  
City of Goleta, California  
August 5, 2022

<https://www.laconservancy.org/architects/morgan-walls-and-clements>

<https://www.pyramidmtm.com/history>

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division

---

Post/Hazeltine Associates  
Phase 2 Historic Resources Report  
Barnsdall Gas Station, 7825 Hollister Avenue (APN 079-210-059)  
City of Goleta, California  
August 5, 2022

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division

## **Appendix A**

## **Project Plans**

Date: 5 August, 2022

**BARNSDALL RIO GRANDE SERVICE STATION  
ENHACEMENTS PROJECT STATISTICS**

Existing square footage (original bldg):  
349.5 SF (Net)

Proposed square footage for the new building:  
695.2 SF (Net)

Proposed square footage for the pergola:  
17'-9" x 41'-0" overall (727 SF Aprox.)

Official street address:  
7825 Hollister Ave, Goleta, CA 93117

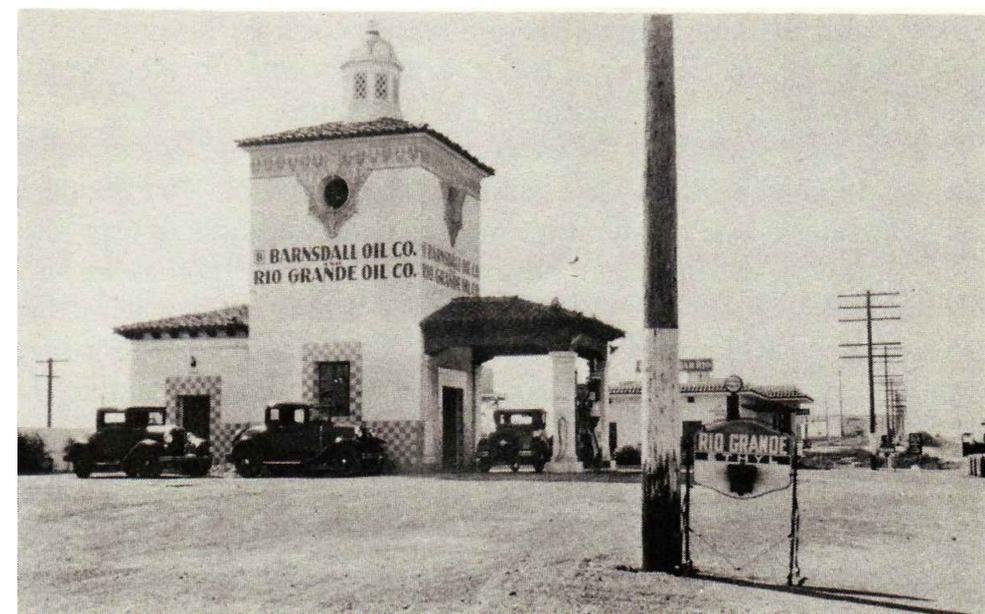
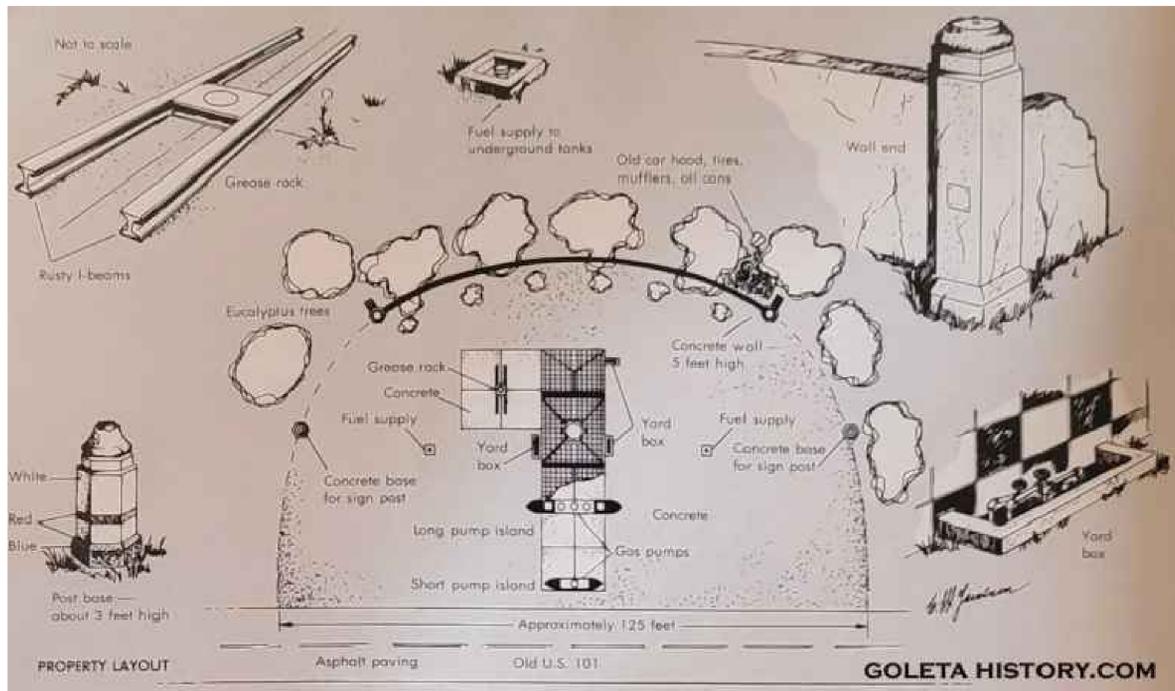
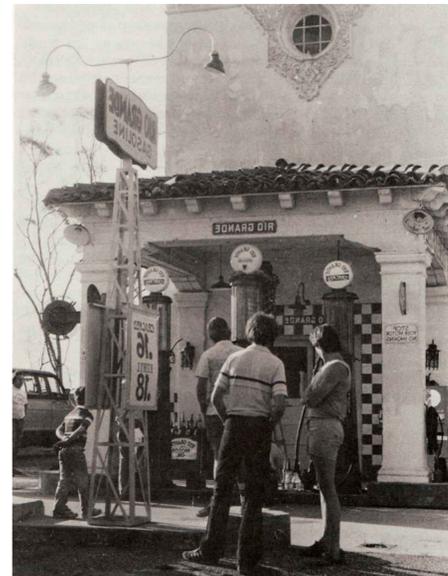
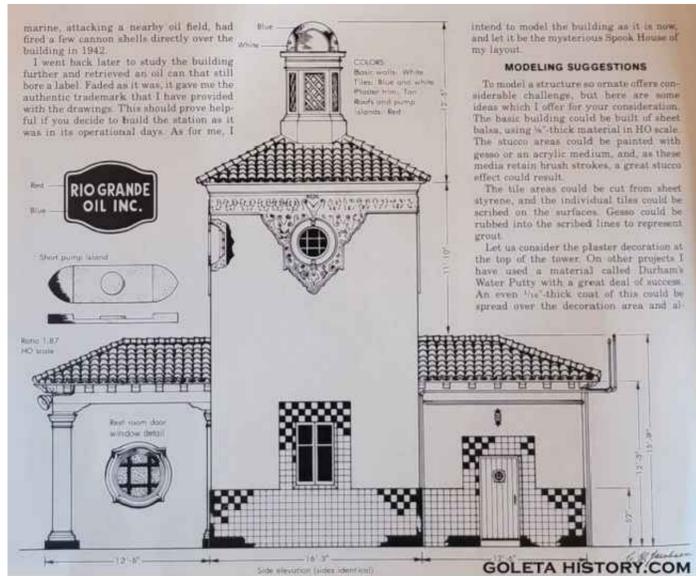
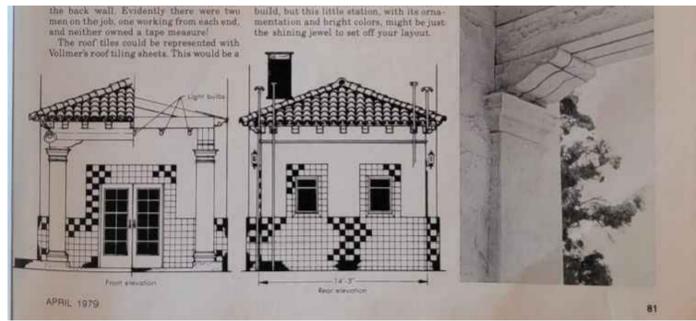
Official project applicant:  
Sandpiper Golf Trust, LLC

Contact info for project:  
Bill Medel, Owner's Representative  
[wemedelco@verizon.net](mailto:wemedelco@verizon.net)

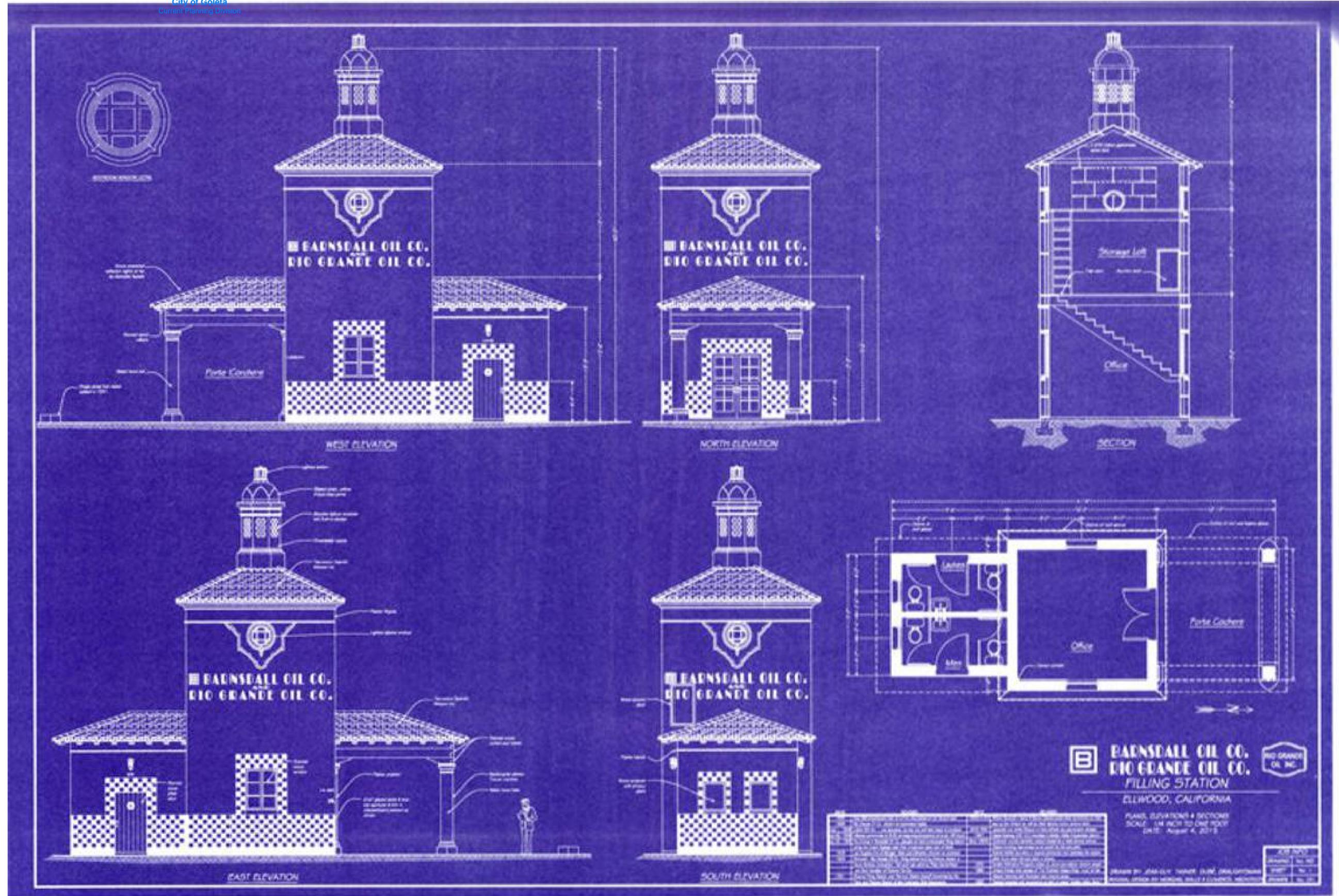
Architect:  
Barry Winick, Winick Architects Inc.  
404 Garden St., Santa Barbara, CA, 93101

Landscape architect:  
Sam Maphis, Earthform Design.  
1227 De La Vina St., Santa Barbara, CA, 93101

Materials for hardscape and paving:  
All hardscape and paving materials to be proposed shall be consistent with historical precedent.







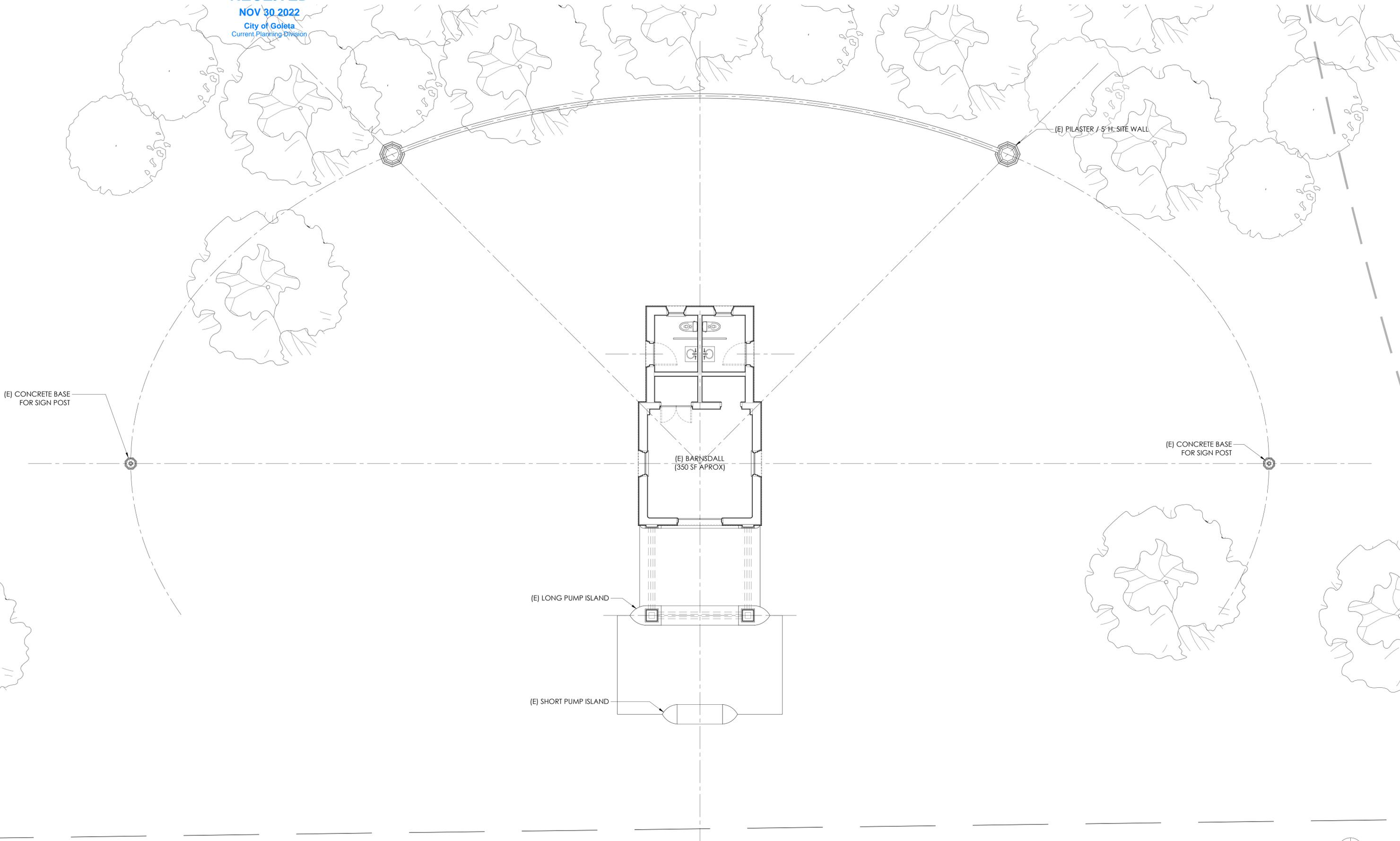
RECEIVED

NOV 30 2022

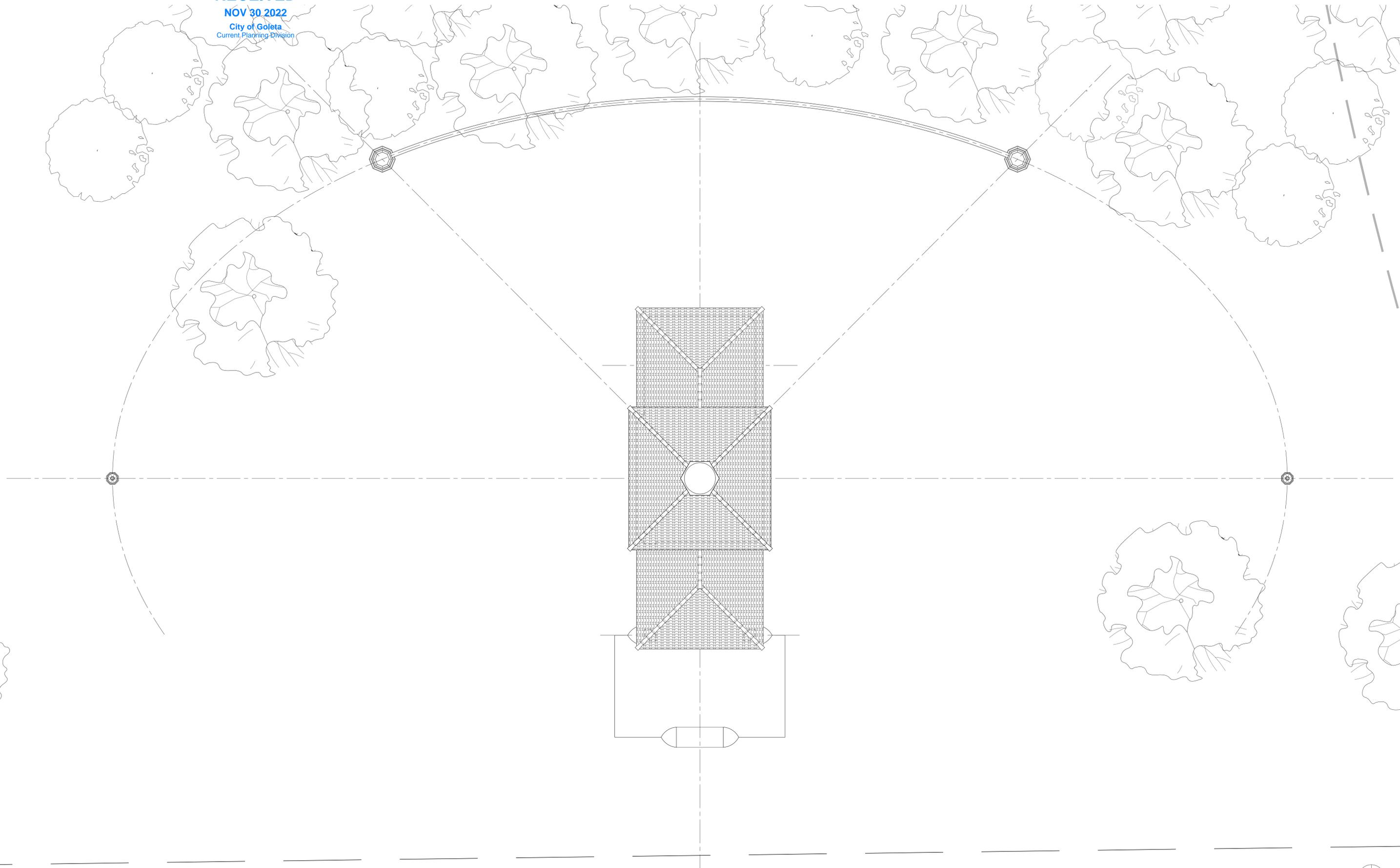
City of Goleta  
Current Planning Division



RECEIVED  
NOV 30 2022  
City of Goleta  
Current Planning Division



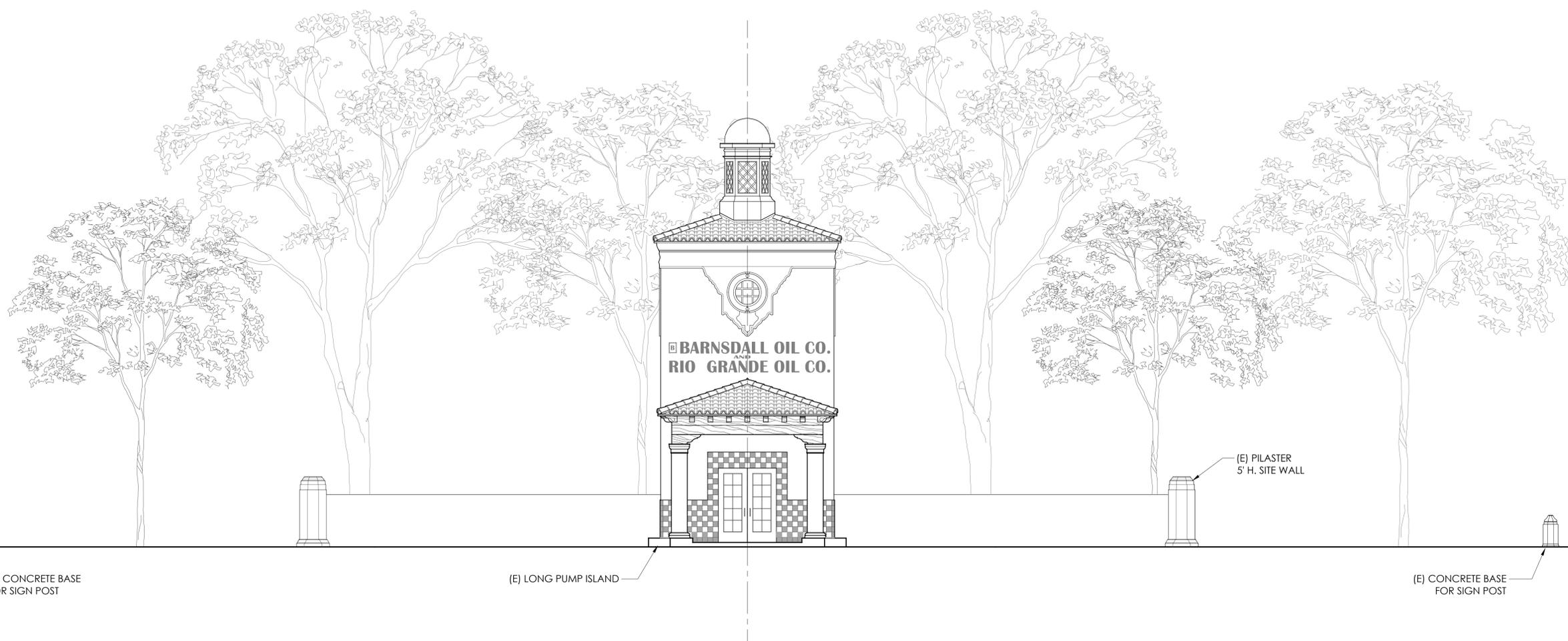
RECEIVED  
NOV 30 2022  
City of Goleta  
Current Planning Division



RECEIVED

NOV 30 2022

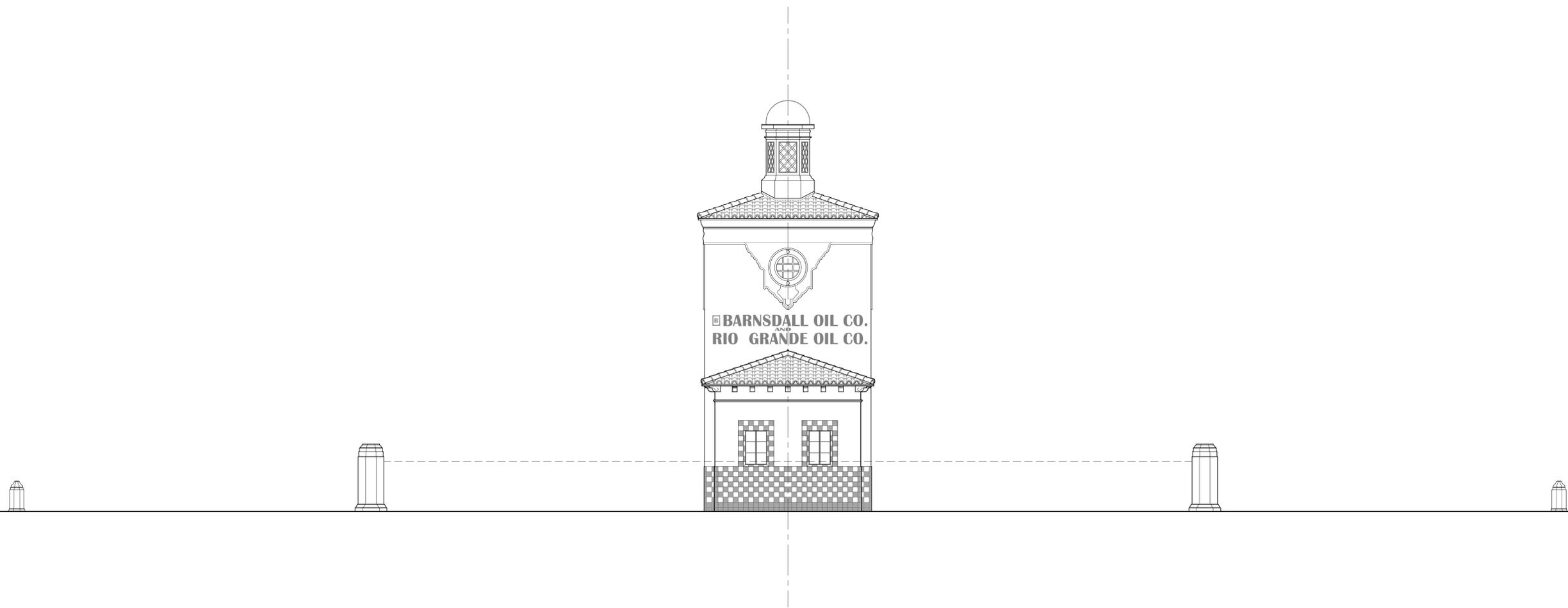
City of Goleta  
Current Planning Division



RECEIVED

NOV 30 2022

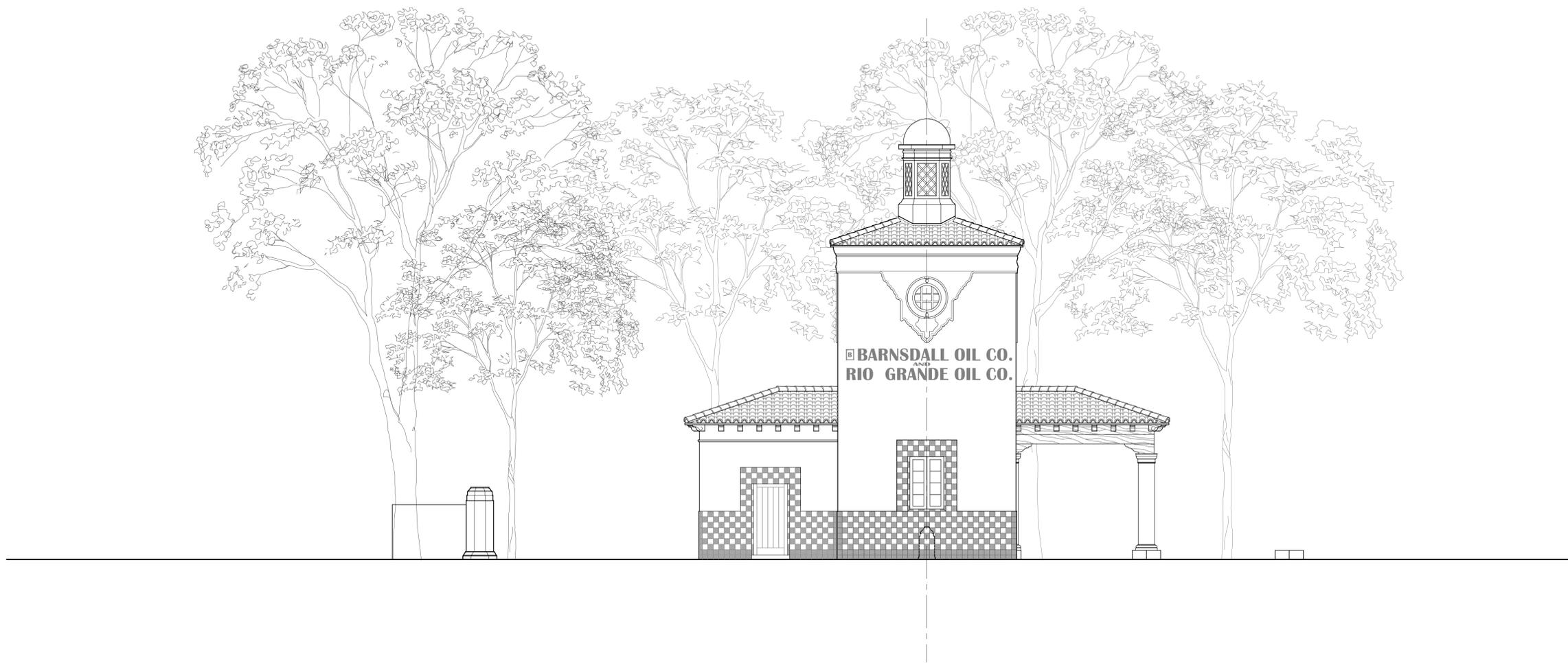
City of Goleta  
Current Planning Division



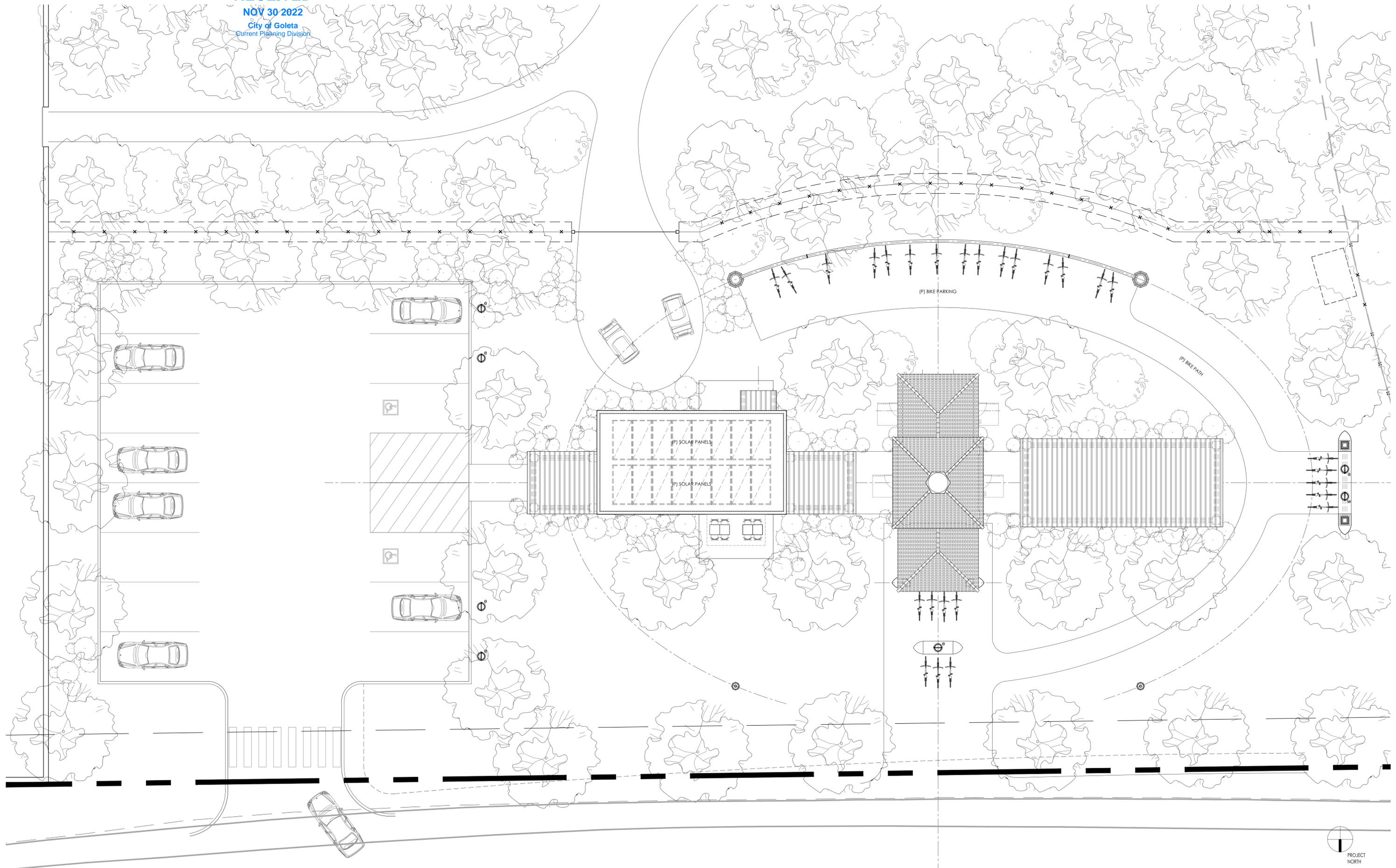
RECEIVED

NOV 30 2022

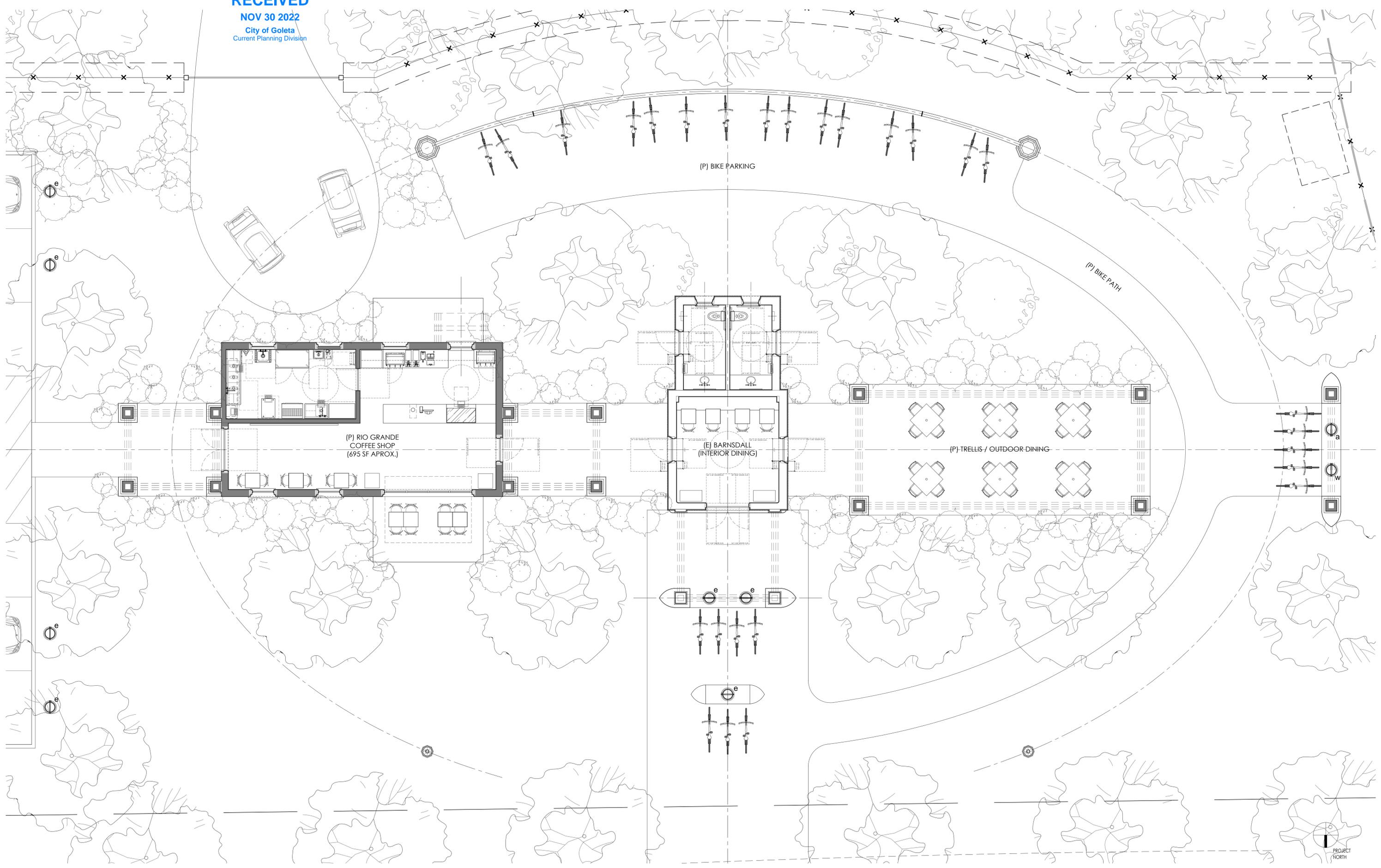
City of Goleta  
Current Planning Division



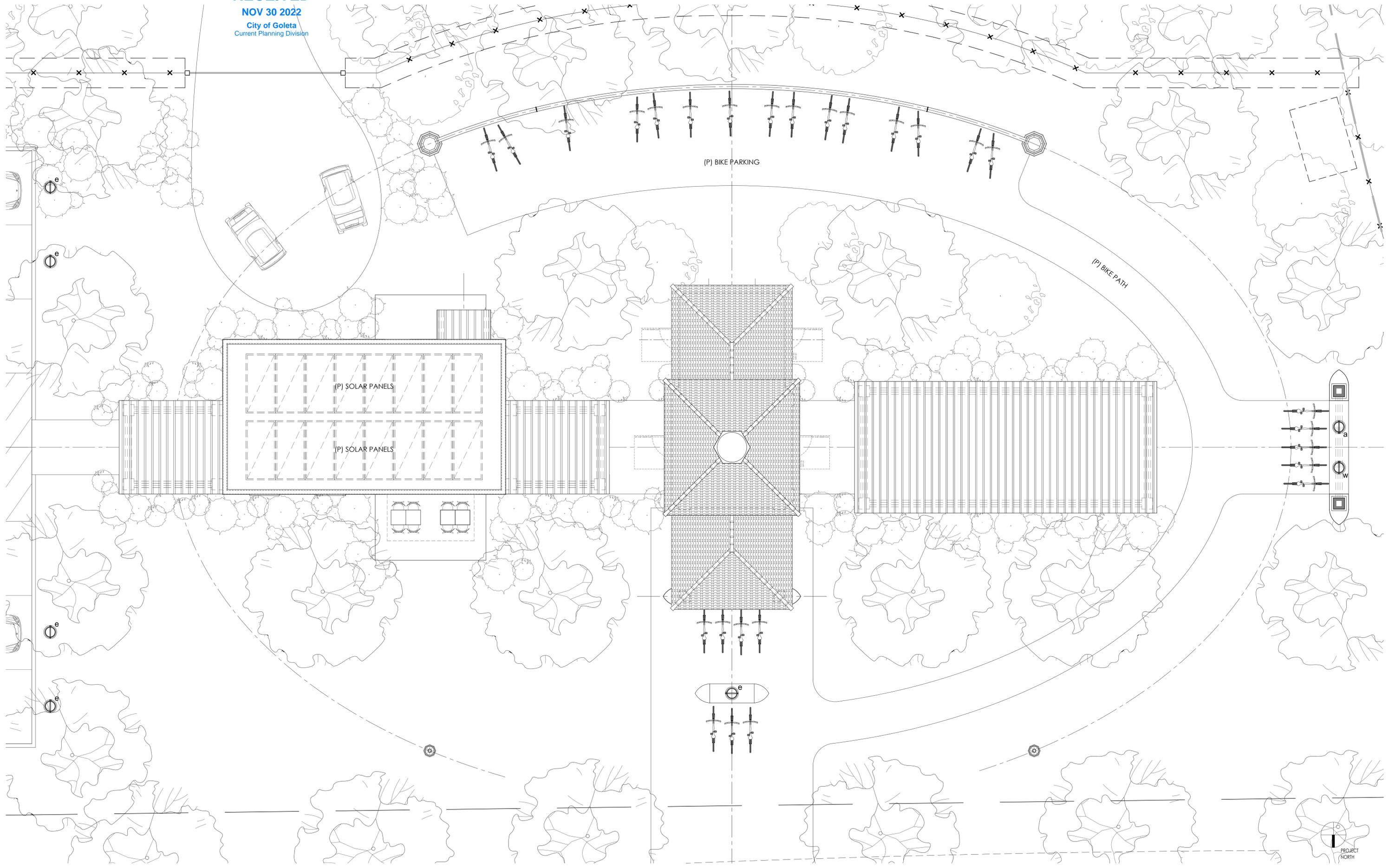




RECEIVED  
NOV 30 2022  
City of Goleta  
Current Planning Division



RECEIVED  
NOV 30 2022  
City of Goleta  
Current Planning Division



RECEIVED

NOV 30 2022

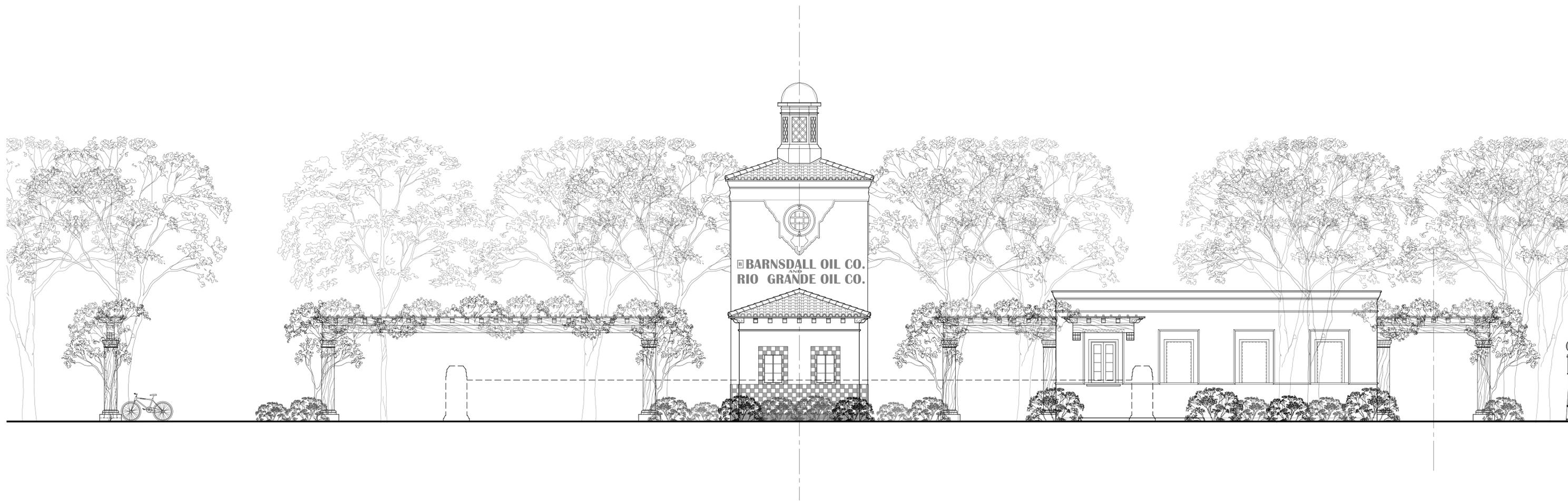
City of Goleta  
Current Planning Division



RECEIVED

NOV 30 2022

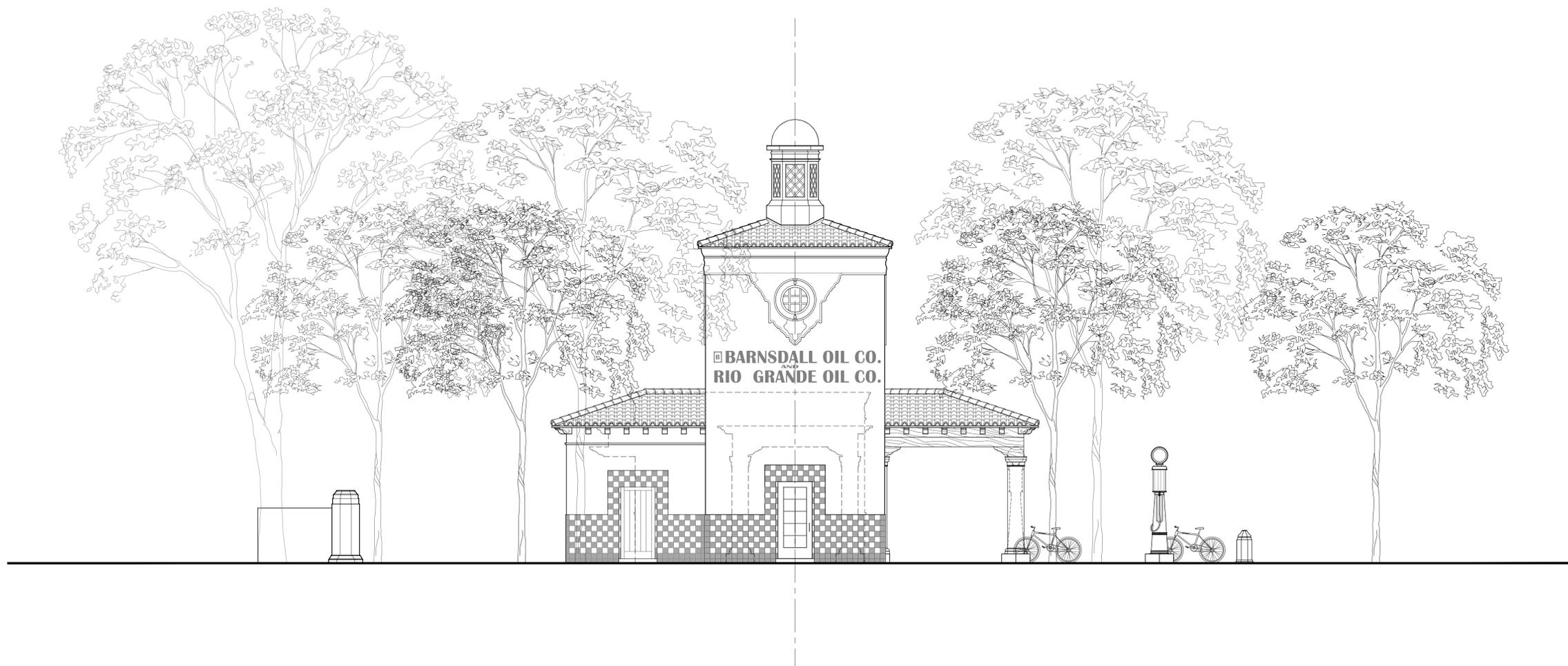
City of Goleta  
Current Planning Division



RECEIVED

NOV 30 2022

City of Goleta  
Current Planning Division



RECEIVED

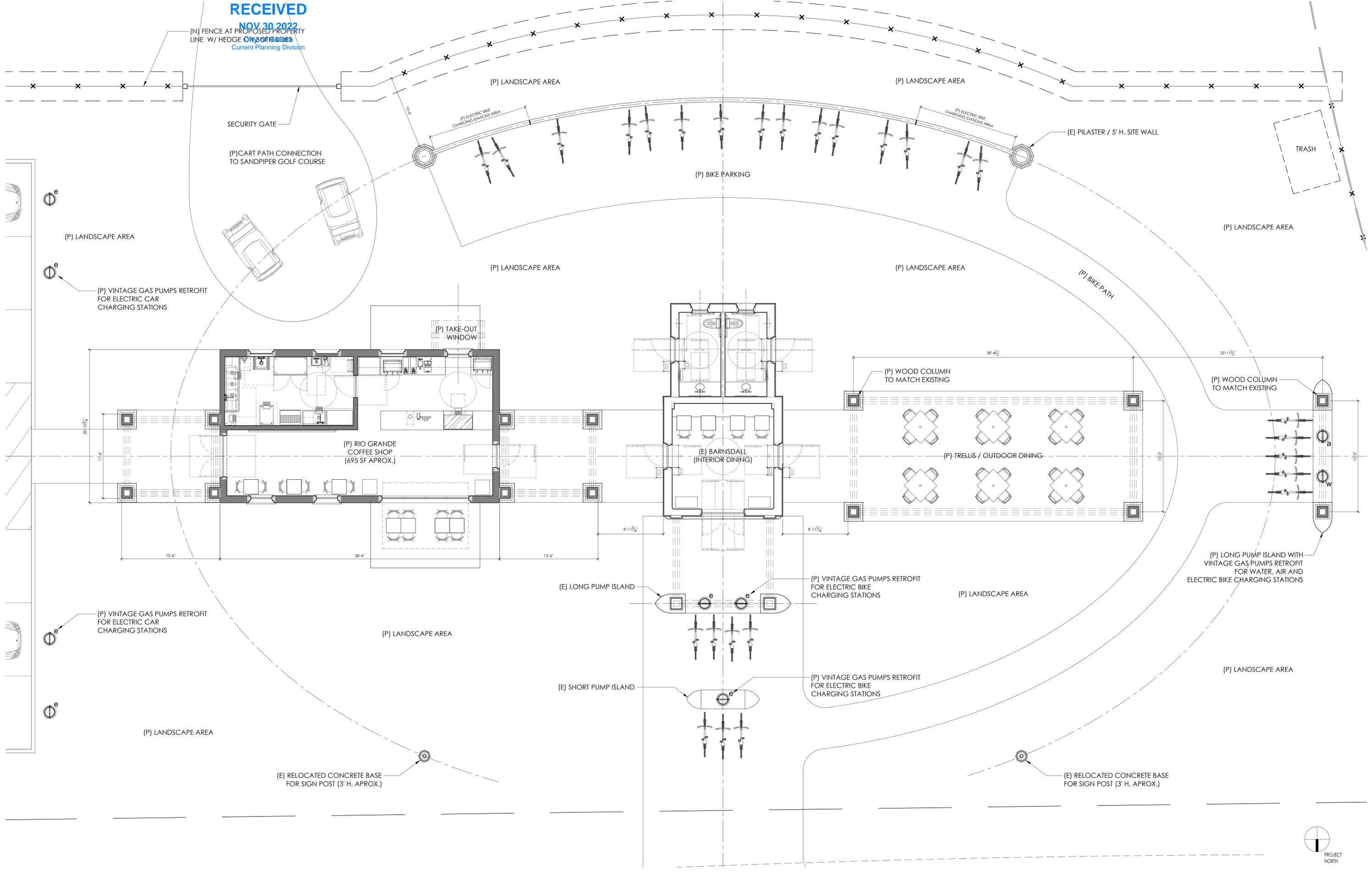
NOV 30 2022

City of Goleta  
Current Planning Division



RECEIVED

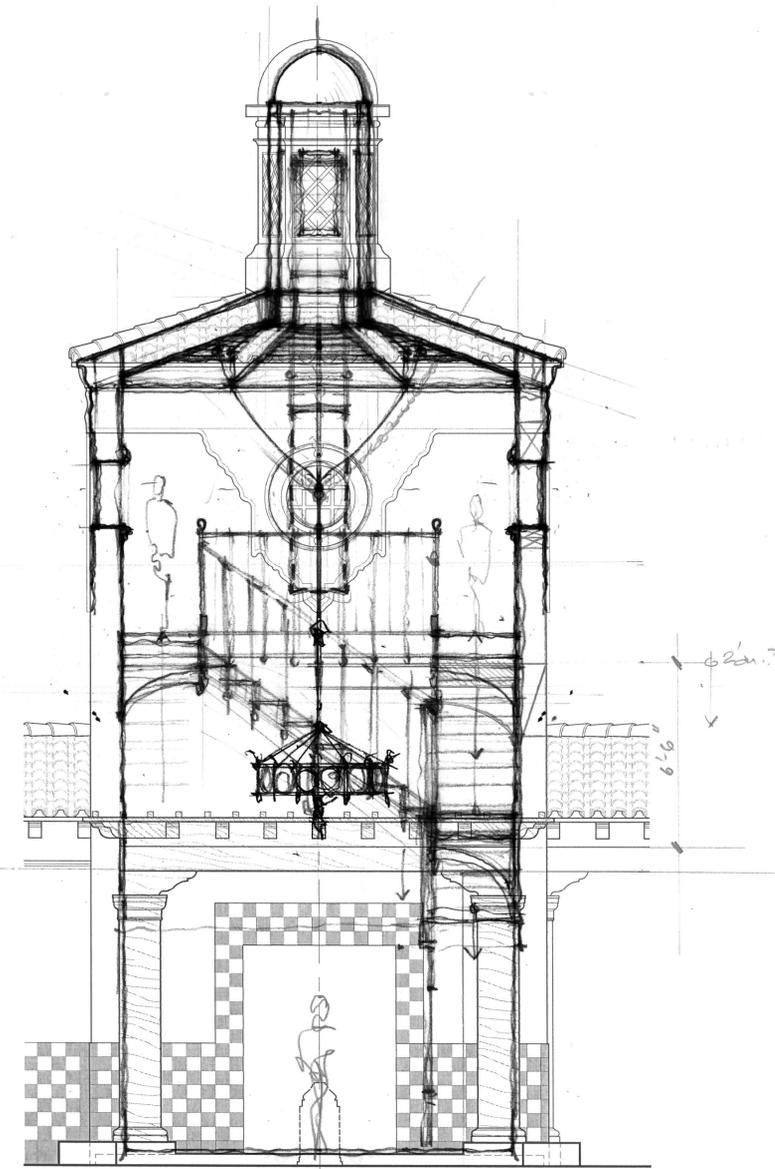
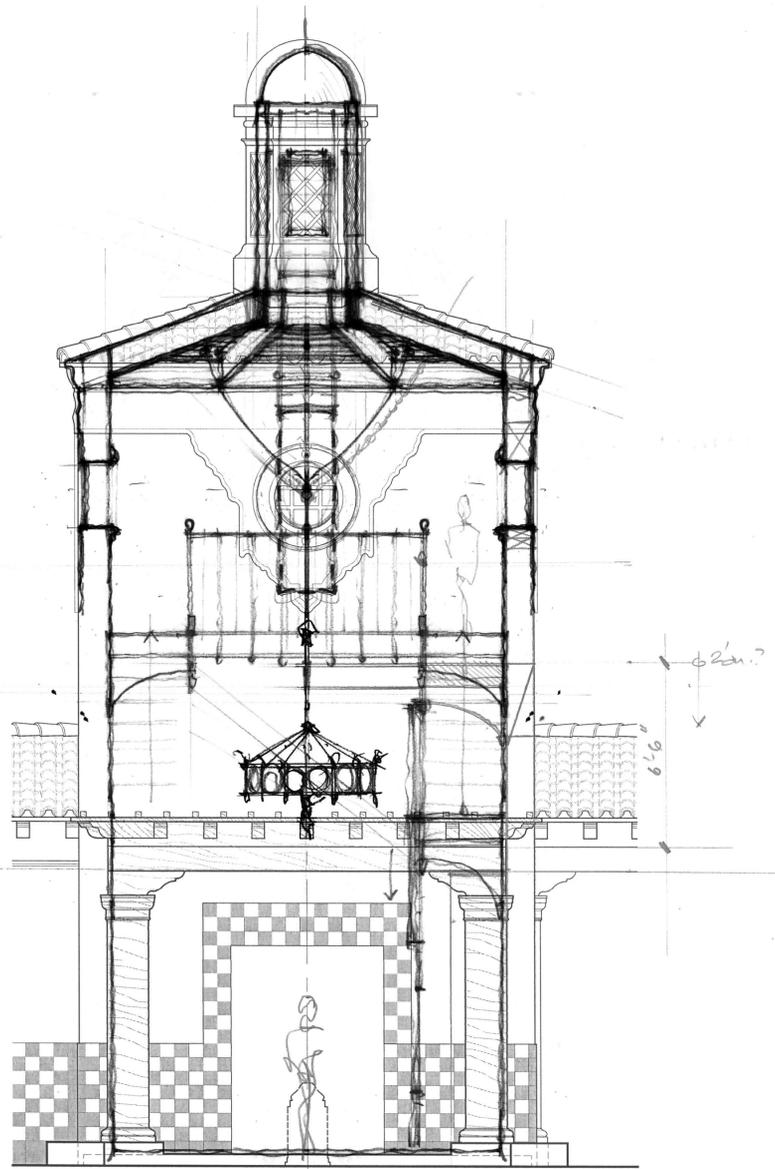
NOV 30 2022  
ON BEHALF OF  
Current Planning Division



RECEIVED

NOV 30 2022

City of Goleta  
Current Planning Division



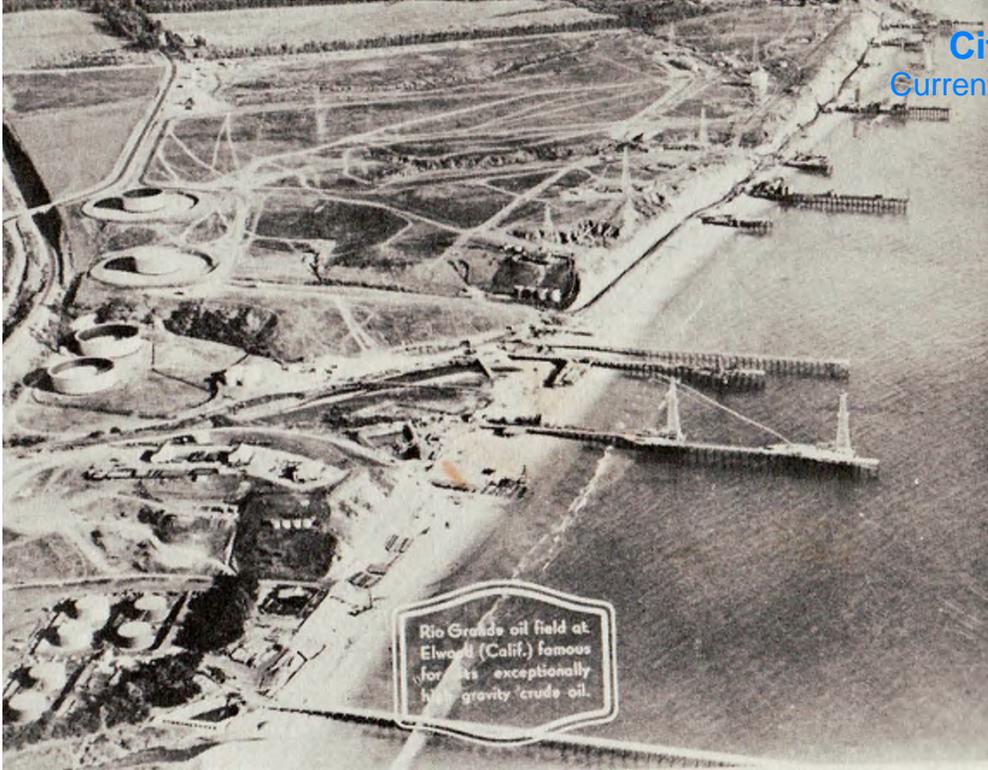
**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division

**Appendix B**

**Historic Photographs**



**Figure 1, Ellwood Terrace oil fields**  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))



**Figure 2, Ellwood Terrace oil fields**  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))



Figure 3, Typical Circa-1920s Gas Station  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))

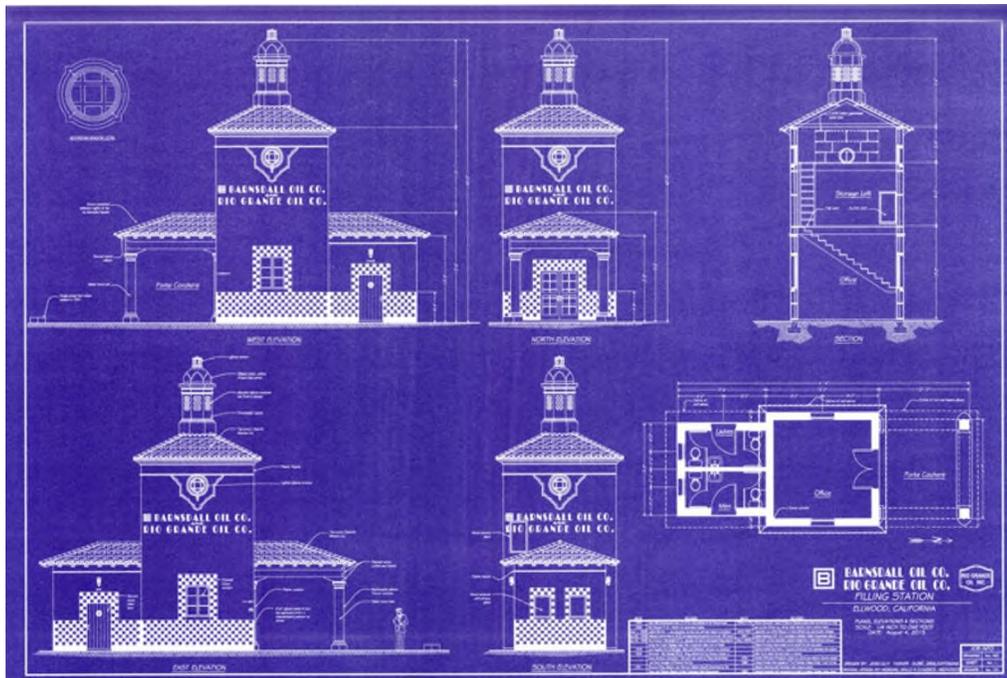


Figure 4, Architectural Plans documenting the Barnsdall-Rio Grande Gas Station  
Designed by Morgan, Walls & Clements (Built 1927)

NOV 30 2022

City of Goleta  
Current Planning Division



Figure 5, Barnsdall Gas Station (Photo: Circa-1930)  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))



Figure 6, Barnsdall-Rio Grande Gas Station (Photo: Circa-1930-1935)  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))



**Figure 7, Barnsdall-Rio Grande Gas Station (Photo: Circa-1930)**  
**(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))**



**Figure 8, Barnsdall-Rio Grande Gas Station (Photo: Circa-1930)**  
**(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))**

NOV 30 2022

City of Goleta  
Current Planning Division



Figure 9, Barnsdall-Rio Grande Gas Station with flagpole in the background (Photo:  
Circa 1930)

(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))

**NOV 30 2022**

**City of Goleta  
Current Planning Division**



**Figure 10, Richfield Tower, Los Angeles  
By Morgan, Walls & Clements (Built 1928)**



**Figure 11, Wheeler Inn (Photo: Circa-1940)  
(Photo courtesy of Gary Coombs and Phyllis Olsen, *Sentinel at Ellwood* (1985))**

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division

**Appendix C**

**Existing Conditions**



**Photograph 1, North and partial west elevation, looking southeast**

**RECEIVED**

**NOV 30 2022**

**City of Goleta  
Current Planning Division**



**Photograph 2, Oblique view of the north elevation's canopy, looking southwest**

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division



**Photograph 3, Oblique view of the north elevation, looking southeast**

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division



**Photograph 4, Oblique view of the northeast corner of the canopy, looking northwest**



**Photograph 5, Oblique view of the northeast corner of the canopy, looking southwest**



**Photograph 6, Oblique view of the northeast corner of the canopy, with a detail of the former location of the gasoline pumps, looking northwest**

**RECEIVED**

**NOV 30 2022**

City of Goleta  
Current Planning Division



**Photograph 7, Detail of the canopy's ceiling**



**Photograph 8, Oblique view of the south elevation looking east**



**Photograph 9, Oblique view of the south elevation looking northwest**



**Photograph 10, East elevation looking northwest**



**Photograph 11, East elevation's tower element, looking west**

**RECEIVED**

**NOV 30 2022**

City of Goleta  
Current Planning Division



**Photograph 12, West elevation, looking southeast**



**Photograph 13, East end of the wall with pier, looking southeast**



**Photograph 14, East end of the wall, looking south**



**Photograph 15, Wall, looking southwest**



**Photograph 16, East end of the wall, looking southwest**



**Photograph 17, Base of flagpole with curbing in foreground, looking east**

**RECEIVED**

**NOV 30 2022**

**City of Goleta**  
Current Planning Division



**Photograph 18, Street frontage, looking north**



**Photograph 19, Street frontage, looking northwest**