



**Agenda Item C.2**  
**CONCEPTUAL/PRELIMINARY/FINAL REVIEW**  
**Meeting Date: September 9, 2025**

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**TO:** Goleta Design Review Board

**SUBMITTED BY:** Christina McGuire, Associate Planner

**SUBJECT:** 7380 Belluno Dr (APN 077-391-024) Residential alterations including second-story decks; Case Nos. 25-0038-DRB, 25-0016-LUP

**DRB ACTIONS FOR CONSIDERATION:**

1. Adopt DRB and CEQA Findings provided as Attachment A;
2. Adopt CEQA Categorical Exemption Section 15303 (e) Accessory Structures (Attachment B); and
3. Conduct Conceptual/Preliminary/Final review and approve (or approve with conditions).

**PROJECT DESCRIPTION:**

This is a request for **Conceptual/Preliminary/Final Review** for residential alterations to the primary dwelling unit in conjunction with the addition of an Accessory Dwelling Unit (ADU) on the property; the ADU is not subject to DRB review. The alterations include flattening of the roof over the garage, adding two second-story decks - one 85 square feet and one 172 square feet - and a newly created 177 square foot covered patio. The proposed second-story 800 square foot ADU was reviewed and issued an ADU permit under 25-0004-ADU.

The alterations of the second-story decks and roof alteration does fall within the DRB's review authority because the floor area is greater than 120 square feet and the height exceeds 12 feet per Goleta Municipal Code (GMC) 17.24.020. The DRB's review of the alteration of the garage roof is required per GMC 17.58.020(3) because the alteration may substantially change the exterior appearance of the structure. The proposed newly covered patio is a result of the new second story deck at the rear of the ADU. The square footage of the ground floor covered patio is included in the Maximum Floor Area calculation Per GMC 17.03.070. The existing primary residence is 1,248 square feet with an attached 438-square foot two-car garage on a 7,405 square foot lot. The proposal will result in overall square footage of less than the Maximum Floor Area allowed of 2,281 square feet. The subject property has a Zoning and General Plan Land Use designation of Residential (RS) and is located in the Inland Zone.

The project was filed by architect Micah Smith, AIA on behalf of Stephanie Newcomb, property owner.

## **DISCUSSION**

The focus of the Design Review Board is to evaluate the proposed non-ADU alterations as shown in the plans. Goleta Municipal Code 17.58.040 states the Design Review Board shall conduct Design Review and make decisions to approve, approve with conditions, or deny the following:

- e. Exterior changes to the main structure that result from an additional residential unit in a single-unit home or in a multiple-unit residential building;

State Law allows the ADU in it's size and location proposed, but the alterations to the main structure require review by the DRB.

## **ENVIRONMENTAL REVIEW (NOE):**

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA because interior and exterior alterations are Categorically Exempt, pursuant to CEQA regulations Accessory Structures §15303(e). The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The residential alterations are minor and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited to residential accessory structures and minor exterior alterations. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as residential alterations are not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the alterations of an existing non-historic commercial building. Additionally, the project's site does not contain any identified significant cultural resources and will not have any ground disturbance.

## **NEXT STEPS AND ASSOCIATED LAND USE ACTION:**

If the DRB grants the applicant's request, the next steps include: (1) 10-day appeal period associated with the Preliminary Design approval, (2) Staff Approval of the Land Use



Permit (LUP), (3) a 10-day appeal period for the LUP, and (4) issuance of building permit after plan check review as needed.

If the DRB action is appealed and the appeal is upheld, DRB's action will be rescinded and the DRB process will start over.

**ATTACHMENTS:**

Attachment A – Findings

Attachment B – CEQA Notice of Exemption

Attachment C – Project Plans

Attachment D – Project Site Photographs

## **ATTACHMENT A**

### **FINDINGS**

**Attachment A**  
**Design Review Findings and California Environmental Quality Act Findings**  
**7380 Belluno Drive**  
**Case No. 25-0038-DRB**

**DESIGN REVIEW FINDINGS (GMC SECTION 17.58.080)**

1. The development will be compatible with the neighborhood, and its size, bulk and scale will be appropriate to the site and the neighborhood.

*The proposed development (roof style change, the roof decks, and patio) are compatible with the neighborhood because they are minor in nature and do not add size, bulk, and scale to the development. Existing nearby homes have garage roof styles consisting of a mix of gable, hip and Dutch gable which is compatible with the neighborhood.*

2. Site layout, orientation, and location of structures, including any signage and circulation, are in an appropriate and harmonious relationship to one another and the property.

*The proposed alterations will not alter the site layout, orientation, or location of the primary dwelling and are appropriate based on the uses on the property.*

3. The development demonstrates a harmonious relationship with existing adjoining development, avoiding both excessive variety as well as monotonous repetition, but allowing similarity of style, if warranted.

*The proposed alterations on the dwelling are in harmony with the site and neighborhood, maintaining similar roof slopes, style and finishes as the existing dwelling.*

4. There is harmony of material, color, and composition on all sides of structures.

*The alterations are proposed in harmony with the site and neighborhood, maintaining similar roof slopes and styles as the existing residence. The new roofing material will match the existing.*

5. Any outdoor mechanical or electrical equipment is well integrated in the total design and is screened from public view to the maximum extent practicable.

*A new mini split outdoor air conditioning (AC) unit is proposed as part of the improvements being made at the site. The new AC unit will be located outside of the east setback and screened from public view.*

6. The site grading is minimized, and the finished topography will be appropriate for the site.

*No grading is proposed as part of the proposed alterations.*

7. Adequate landscaping is provided in proportion to the project and the site with due regard to preservation of specimen and protected trees, and existing native vegetation.

*No new landscaping is proposed as part of the proposed alteration except for the landscaping that is required for the ADU per GMC 17.41.030(7)(c)(i) where water-efficient species will be planted. No trees are proposed to be removed.*

8. The selection of plant materials is appropriate to the project and its environment, and adequate provisions have been made for long-term maintenance of the plant materials.

*No new landscaping is proposed as part of the proposed alterations. New landscaping will be provided with the ADU per GMC 17.41.030(7)(c)(i) where water-efficient species will be planted.*

9. All exterior lighting, including for signage, is well designed, appropriate in size and location, and dark-sky compliant.

*All proposed exterior lighting will be dark sky compliant. Though the ADU isn't under the DRBs purview, the ADU is required to have all exterior lighting directed downward, fully shielded, and full cutoff per GMC 17.41.030(7)(e)*

10. The project architecture will respect the privacy of neighbors, is considerate of private views, and is protective of solar access off site.

*The proposed project components within DRB purview meet the setback requirements of the Title 17. The patio is set back a minimum of 10' from the west property line and more than 5' to the stairs and landing to access the ADU. The ADU's private deck is located in the center of the site, thereby providing maximum privacy for the neighbors. The proposed development is considerate of solar access off site since the development is located 10' from the property line. The new covered patio is located on the rear of the primary residence and is located 5' from the property line in consideration of the neighbors.*

11. The proposed development is consistent with any additional design standards as expressly adopted by the City Council. (Ord. 20-03 § 6).

*The proposed project is not located in a special design district and there are no additional design standards for single dwelling units.*

## **CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING**

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project has been found to be exempt from CEQA because interior and exterior alterations are Categorically Exempt, pursuant to CEQA regulations Accessory Structures § 15303(e). The City of Goleta is acting as the Lead Agency and a Notice of Exemption is proposed to be adopted.

Moreover, none of the exceptions to the categorical exemptions set forth in State CEQA Guidelines section 15300.2 apply to the project. The exception set forth in State CEQA Guidelines section 15300.2(a), Location. Class 11 are qualified by consideration of where the project is to be located and the project is not located in or have an impact on an environmental resource of critical concern that is designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The residential alterations are minor and therefore no new construction will occur that would impact an environmental resource. Section 15300.2(b)'s exception, relating to cumulative impacts, does not apply as there are no other successive projects of the same type in the same place that could result in significant cumulative impacts and the proposal is limited to residential accessory structures and minor exterior alterations. Section 15300.2(c)'s exception does not apply because there are no "unusual circumstances" that apply to the project; as residential alterations are not unusual. Section 15300.2(d)'s exception does not apply because the project is not located near any scenic highways. Section 15300.2(e)'s exception does not apply because the project site and off-site improvement locations do not contain hazardous waste and are not on any list compiled pursuant to Section 65962.5 of the Government Code. Finally, Section 15300.2(f)'s exception does not apply because the project has no potential of causing a substantial adverse change in the significance of a historical resource as it only involves the alterations of an existing non-historic commercial building. Additionally, the project's site does not contain any identified significant cultural resources and will not have any ground disturbance.

**ATTACHMENT B**

**CEQA NOTICE OF EXEMPTION**

**To:** ☐ Office of Planning and Research  
P.O. Box 3044, 1400 Tenth St. Rm. 212  
Sacramento, CA 95812-3044

☒ Clerk of the Board of Supervisors  
County of Santa Barbara  
105 E. Anapamu Street, Room 407  
Santa Barbara, CA 93101

**From:** City of Goleta  
130 Cremona Drive, Suite B  
Goleta, CA 93117



**Subject:** Filing of Notice of Exemption

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**Project Title:**

Residential alterations including second-story accessory decks and ground floor patio  
Case Nos. 25-0038-DRB, 25-0016-LUP

**Project Applicant:**

Micah Smith, AIA of MSA  
On behalf of Stephanie Newcomb, property owner.

**Project Location (Address and APN):**

7380 Belluno Drive  
Goleta, CA 93117  
County of Santa Barbara  
APN: 077-391-024

**Description of Nature, Purpose and Beneficiaries of Project:**

The project includes residential alterations including second-story decks and a newly covered patio on a dwelling unit

The purpose of the proposal is for residential improvements for the property owner and the beneficiary of the project is the property owner.

**Name of Public Agency Approving the Project:**

Design Review Board of the City of Goleta

**Name of Person or Agency Carrying Out the Project:**

Micah Smith, AIA of MSA, on behalf of Stephanie Newcomb, property owner.

**Exempt Status:**

☒ Categorical Exemption: §15303 (e) Accessory Structures

**Reason(s) why the project is exempt:**

Pursuant to the requirements of the California Environmental Quality Act (CEQA) (Public Resources Code, §§ 21000 et seq.), the regulations promulgated thereunder (14 Cal. Code of Regulations, §§ 15000, et seq.), and the City's Environmental Review Guidelines, the project has been found to be exempt from CEQA and a Notice of Exemption is proposed. The City of Goleta is acting as the Lead Agency for this project. The project

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**City of Goleta Contact Person, Telephone Number, and Email:**

Christina McGuire, Associate Planner  
(805) 961-7566  
cmcguire@cityofgoleta.org

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Signature

Title

Date

**If filed by the applicant:**

1. Attach certified document of exemption finding
2. Has a Notice of Exemption been filed by the public agency approving the project?  
☐Yes ☐No

Date received for filing at OPR:

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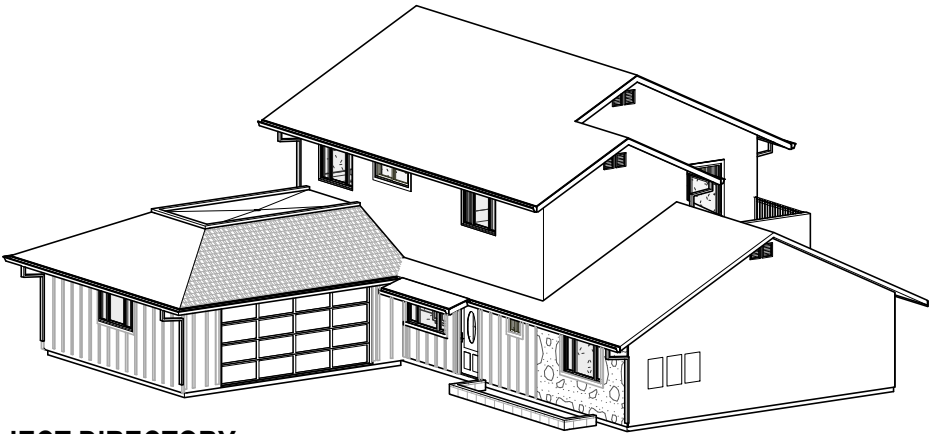
Note: Authority cited: Section 21083 and 211110, Public Resources Code  
Reference: Sections 21108, 21152.1, Public Resources Code

**ATTACHMENT C**

**PROJECT PLANS**

# NEWCOMB ROOF ALTERATION (DRB) ATTACHED DECKS & COVERED PATIO (LUP)

7380 BELLUNO DRIVE, GOLETA, CA 93117



## PROJECT DESCRIPTION

A PROPOSED 172 SF UNCOVERED DECK AND A 85 SF PRIVATE UNCOVERED DECK ADDITION FOR A NEW ADU UNDER SEPARATE PERMIT. A PROPOSED 177 SF COVERED PATIO FOR AN EXISTING SINGLE FAMILY RESIDENCE. A PROPOSED ROOF ALTERATION TO ALLOW FOR FENESTRATION PROPOSED FOR THE NEW ATTACHED ACCESSORY DWELLING UNIT UNDER SEPARATE PERMIT.

## SITE INFORMATION

TRACT: 008007  
COMMUNITY: CITY OF GOLETA  
APN: 077-391-024  
ADDRESS: 7380 BELLUNO DRIVE, GOLETA, CA 93117  
SITE AREA: 7,405 SF  
FIRE HAZARD ZONE: N/A  
ZONING: RS - 8  
LAND USE DESIGNATION: SINGLE-FAMILY LOW DENSITY RESIDENTIAL  
ALLOWABLE DENSITY: --  
UNITS PROPOSED: 1 ((E) TO REMAIN)  
USE: SINGLE FAMILY RESIDENTIAL

BUILDING SETBACKS:	REQUIRED	EXISTING (TO REMAIN)
FRONT:	20 FT	(E) TO REMAIN
SIDE:	5 FT	(E) TO REMAIN
REAR:	25 FT	(E) TO REMAIN

## PARKING DATA

EXISTING (TO REMAIN): GARAGE

## SITE AREA CALCULATION (GROSS S.F.):

EXISTING TO REMAIN:	7,405	
SITE AREA:		
BUILDING FOOTPRINT:	2,032	
HARDSCAPE:	2,225	
LANDSCAPING:	3,148	

## BUILDING INFORMATION

### BUILDING AREA CALCULATION (S.F.):

\*PER Title 17: Zoning § 17.03.070" to define FLOOR AREA

	FLOOR AREA*	GROSS AREA
EXISTING TO REMAIN:		
SINGLE FAMILY RESIDENCE:	1,248	1,295
ATTACHED GARAGE:	438	462
PROPOSED:		
UNCOVERED 2ND FLOOR PRIVATE DECK:	85	95
UNCOVERED 2ND FLOOR REAR DECK ADDITION:	172	178
COVERED PATIO ADDITION:	177	180
ADU under ADU permit #25-0004-ADU :	800	863

## PROJECT DIRECTORY

**OWNER:**  
STEPHANIE NEWCOMB  
7380 BELLUNO DRIVE,  
GOLETA, CA 93117  
626-290-4590  
STEPHANIE.LIN0515@GMAIL.COM

**ARCHITECT:**  
MSA  
MICAH D. SMITH, AIA,  
LICENSE # C33179  
2325 GANADOR CT.  
SAN LUIS OBISPO, CA 93401  
805-704-7118  
MICAH@MSMITH-ARCH.COM

**STRUCTURAL ENGINEER:**  
T&S STRUCTURAL  
MICHELLE MCCOVEY-GOOD, P.E.  
LICENSE # 65495  
1 N CALLE CESAR CHAVEZ  
SUITE 102  
SANTA BARBARA, CA 93101-5619  
TOLL FREE 800.579.3881  
LOCAL 805.730.0303  
MICHELLE@TAYLORSYFAN.COM

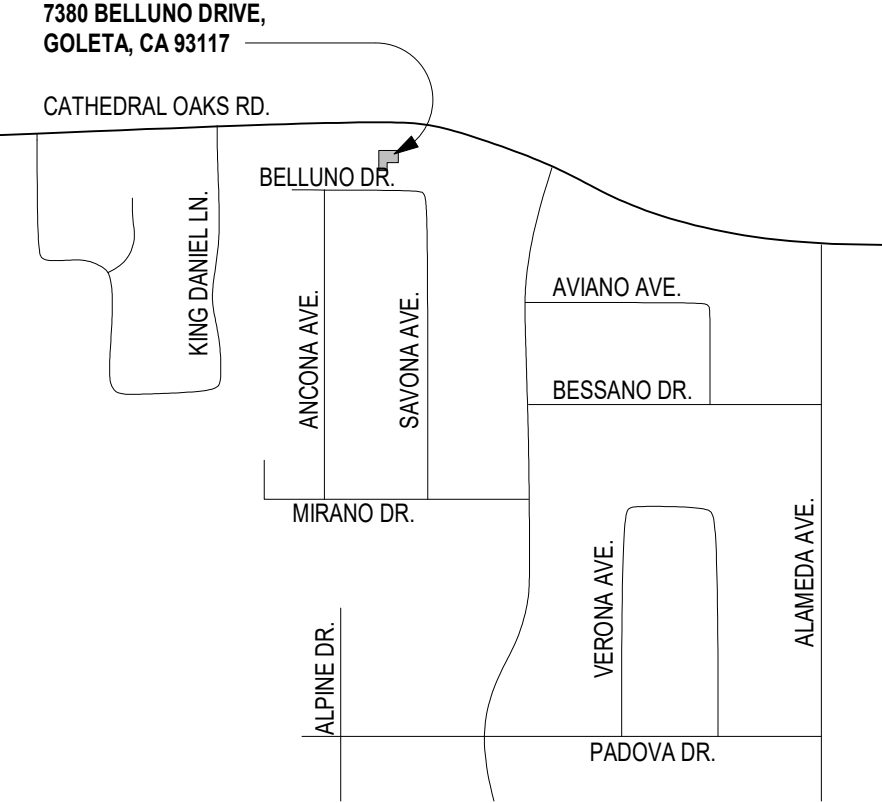
## AGENCIES AND UTILITIES

**UTILITIES:**  
ELECTRICITY: CENTRAL COAST COMMUNITY ENERGY  
GAS: SO CAL GAS  
WATER: GOLETA WATER DISTRICT  
SEWER: GOLETA SANITARY DISTRICT  
TELEPHONE: AT&T  
C.A.T.V. N/A

**CONTRACTOR:**  
R & B CONSTRUCTION SERVICES  
DAN BECERRA  
LICENSE # B596232  
3809 MARIANA WAY  
SANTA BARBARA, CA 93105  
805-729-2340  
DAN.RBCONSTRUCTIONSERVICES@GMAIL.COM

# SHEET INDEX

P1.1	TITLE SHEET
1 - 2	TOPOGRAPHIC SURVEY
P2.1	DEMO AND PROPOSED SITE PLAN
P3.1	SCHEMATIC LOWER FLOOR PLAN - LUP
P4.1	SCHEMATIC UPPER FLOOR PLAN LUP / DRB
P5.1	EXTERIOR ELEVATIONS - LUP
P5.2	EXTERIOR ELEVATIONS - DRB
P5.3	EXTERIOR ELEVATIONS - LUP
P5.4	EXTERIOR ELEVATIONS - DRB
P5.5	EXTERIOR ELEVATIONS - DRB
P6.1	SCHEMATIC SECTIONS - LUP
P6.2	SCHEMATIC SECTION - DRB
P7.1	SCHEMATIC ROOF PLAN - LUP / DRB
P8.1	3D VIEWS
P9.1	COLOR BOARD
TOTAL SHEETS: 15	



GENERAL NOTES

TOPOGRAPHIC FIELD SURVEY CONDUCTED 06-11-2024.

BOUNDARY DATA PER BK 72 PG 16 MAPS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF BELLUNO DRIVE ESTABLISHED FROM THE INTERSECTION OF 4 TAGS ON THE TOP OF CURB AT THE INTERSECTIONS OF BELLUNO DRIVE AND SAVONA AVE AND BELLUNO DRIVE AND ANCONA AVE, THE BEARING BEING N 89°08'45" E PER R, SHOWN HEREON.

THE BENCHMARK FOR THIS SURVEY IS A SET MAG NAIL ALONG BELLUNO DRIVE, ELEVATION= 137.04' NAVD88, SHOWN HEREON.

1 FOOT CONTOUR INTERVAL

LEGEND

AC ASPHALT  
AD AREA DRAIN  
CNC CONCRETE  
CLSTR CLUSTER  
EL ELEVATION  
EM ELEC METER  
FF FINISH FLOOR  
FND FOUND  
FS FINISH SURFACE  
FW FACE OF WALL  
HB HOSE BIB  
AVO AVOCADO  
MB MAIL BOX  
FRT FRUIT/CITRUS  
OHD OVERHEAD ELECTRICITY  
PP POWER POLE  
TW TOP OF WALL  
TRAN TRANSFORMER

R 72 MB 16  
● FOUND MONUMENT PER R  
○ LOCATION OF PROPERTY CORNER PER R

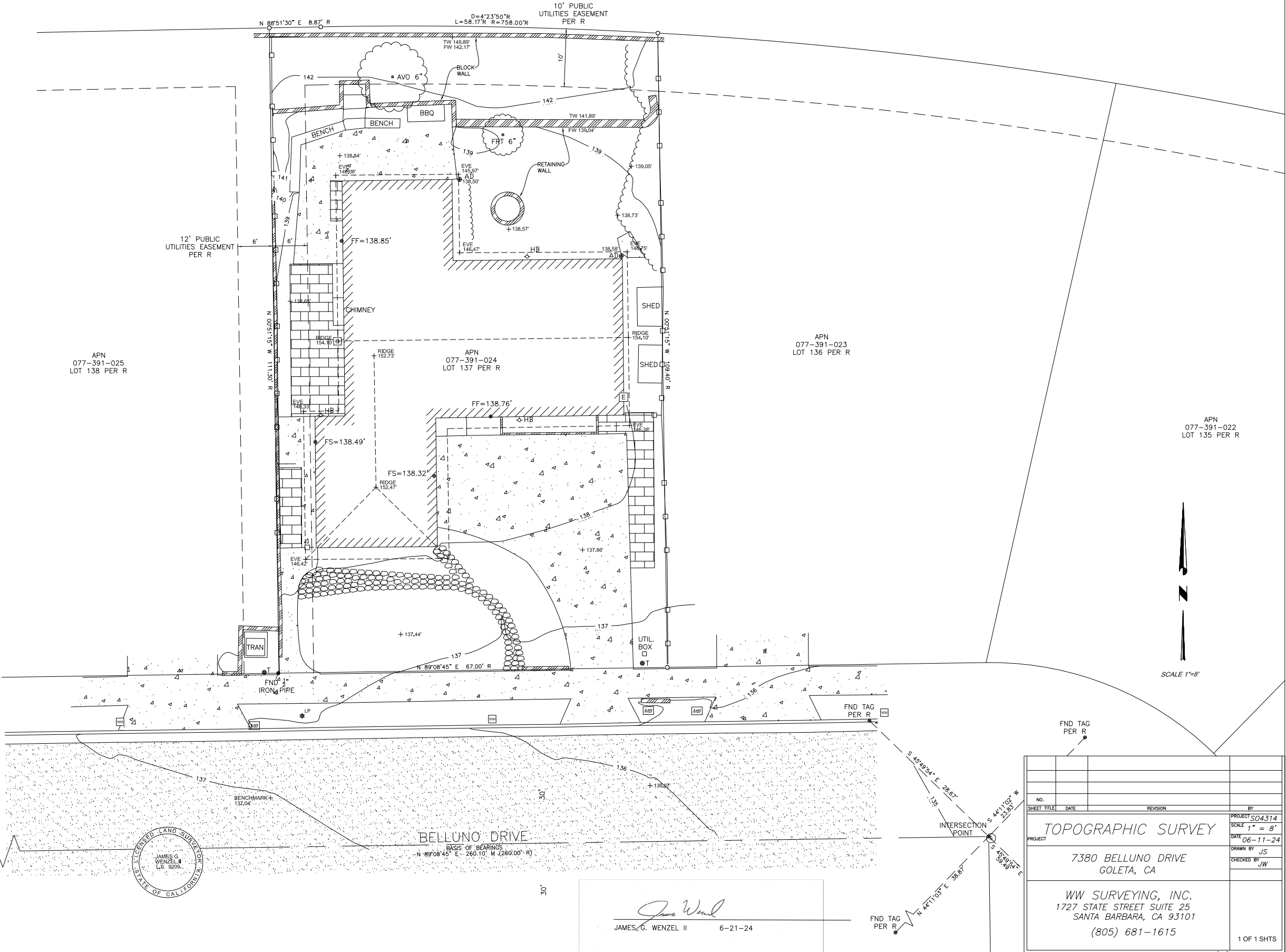
PROPERTY LINE  
BUILDING LINE  
OVERHEAD POWER  
TREE DRIP LINE/HEDGE  
WOOD FENCE  
WALL  
ROCK DRAIN  
EVE/RIDGE  
EASEMENT  
WATER METER  
HOSE BIB  
MAILBOX  
GAS METER  
TREE TRUNK  
LIGHT POLE  
TELECOMMUNICATION BOLLARD  
DRAIN  
SEWER MANHOLE  
ELECTRIC METER

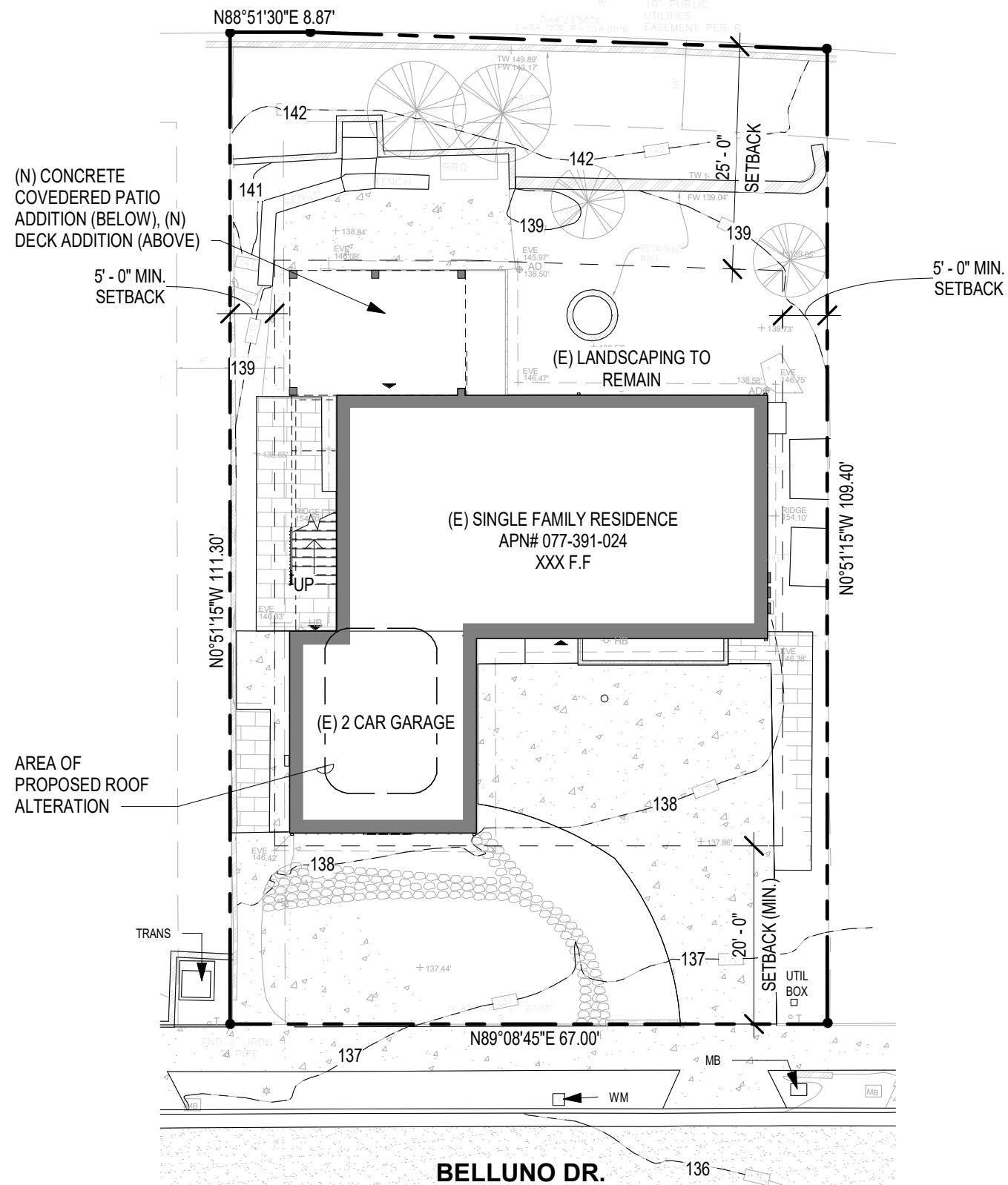
ASPHALT  
CONCRETE  
BRICK

THIS DOCUMENT IS PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY. THE DELIVERY OF THE ELECTRONIC DOCUMENT DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. ONLY THE SIGNED ORIGINAL DRAWING OR PRINT THEREOF CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. WE ARE NOT RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC DOCUMENT OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC DOCUMENT.

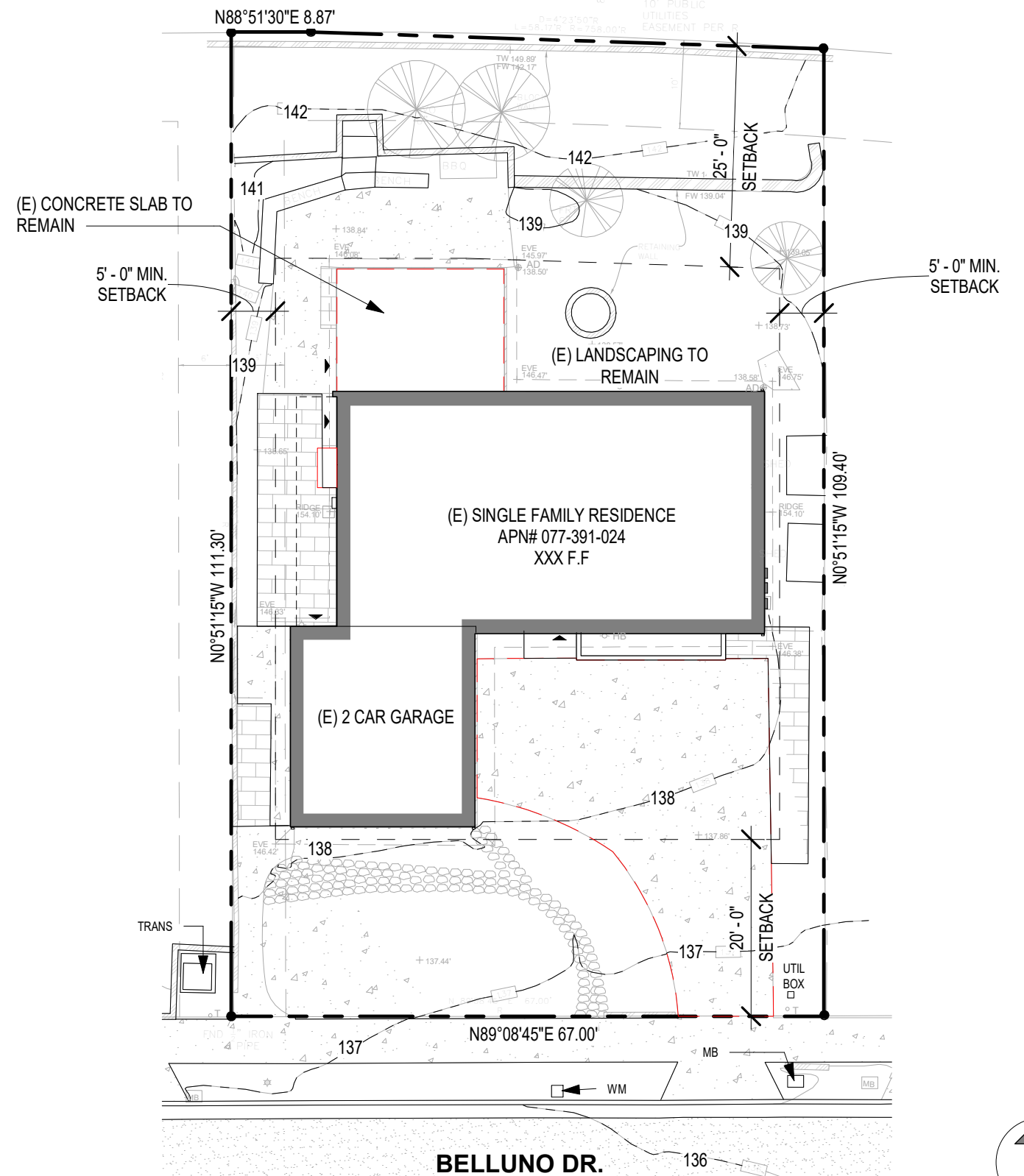
WW SURVEYING, INC.

CATHEDRAL OAKS ROAD



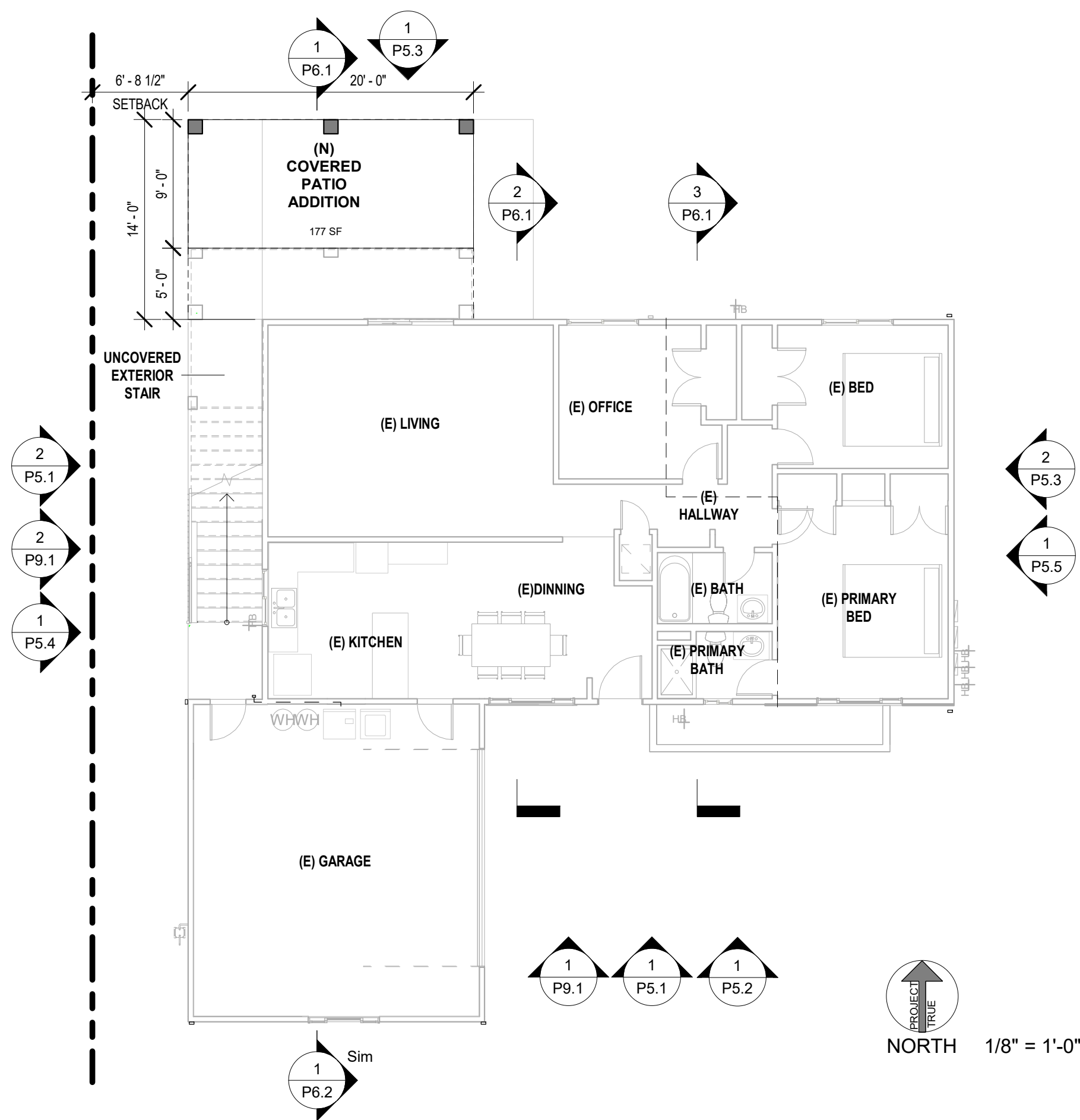


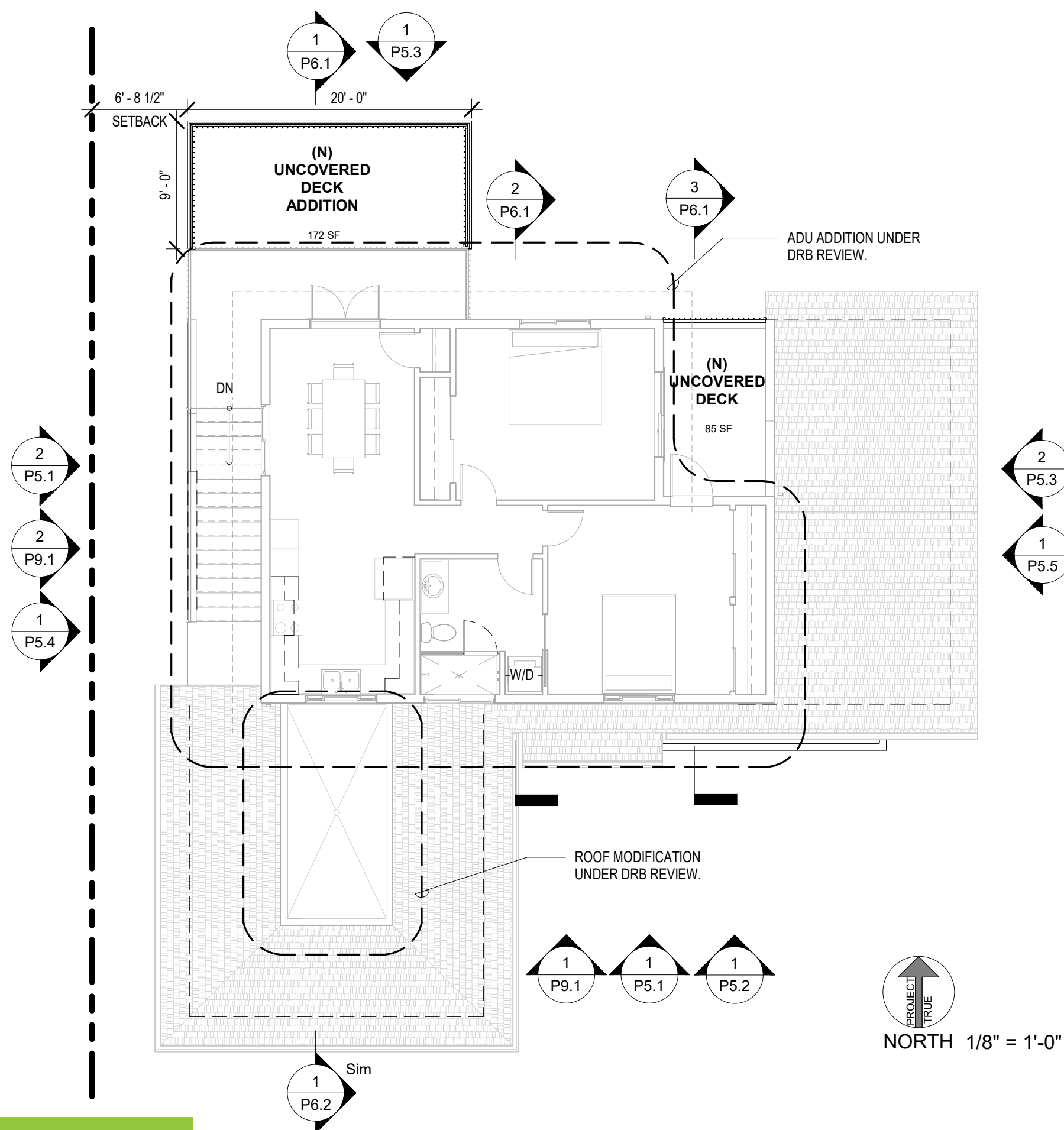
② SCHEMATIC SITE PLAN - LUP/DRB  
1/16" = 1'-0"



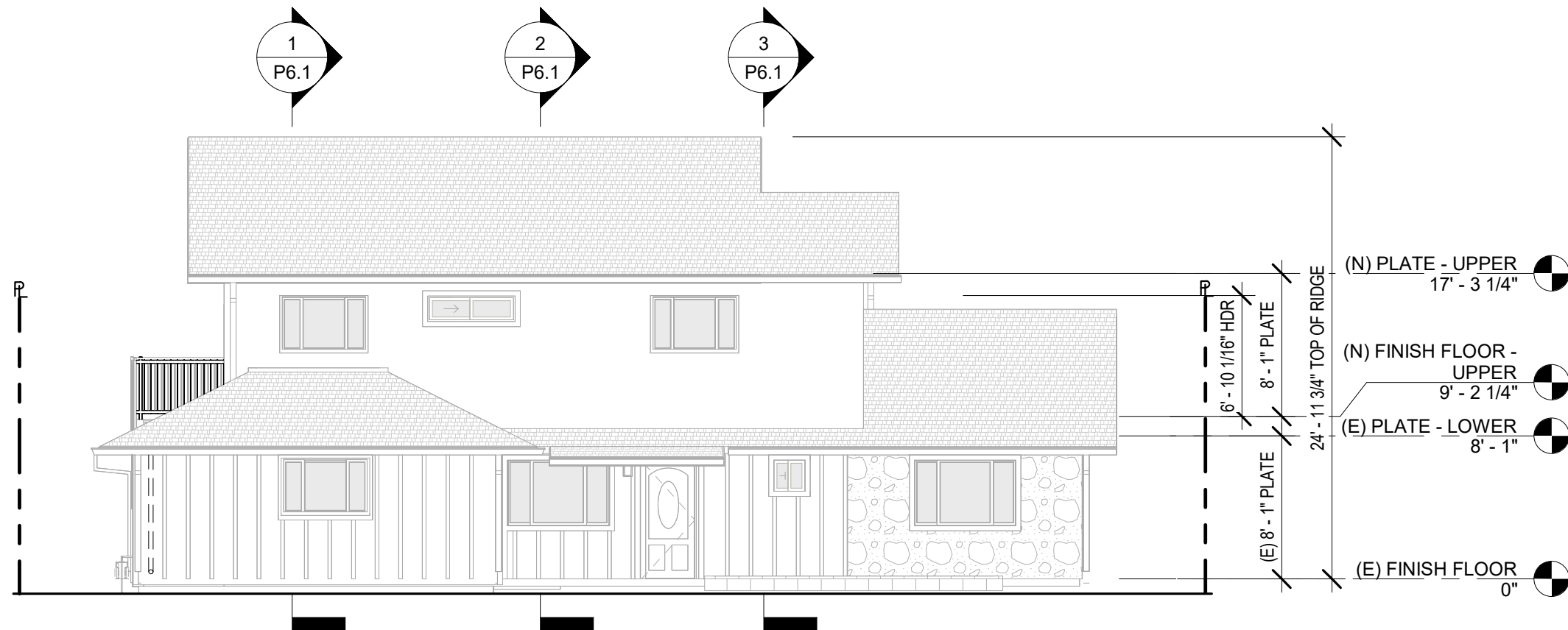
① SCHEMATIC DEMOLITION SITE PLAN - LUP  
1/16" = 1'-0"



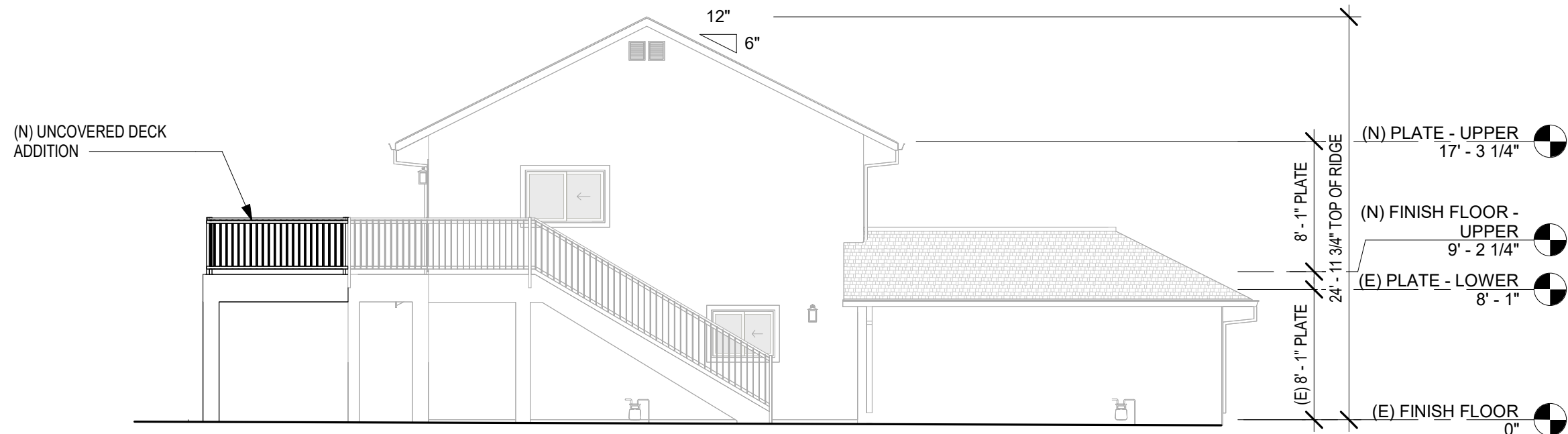








① SCHEMATIC SOUTH ELEVATION - LUP  
1/8" = 1'-0"



② SCHEMATIC WEST ELEVATION - LUP  
1/8" = 1'-0"

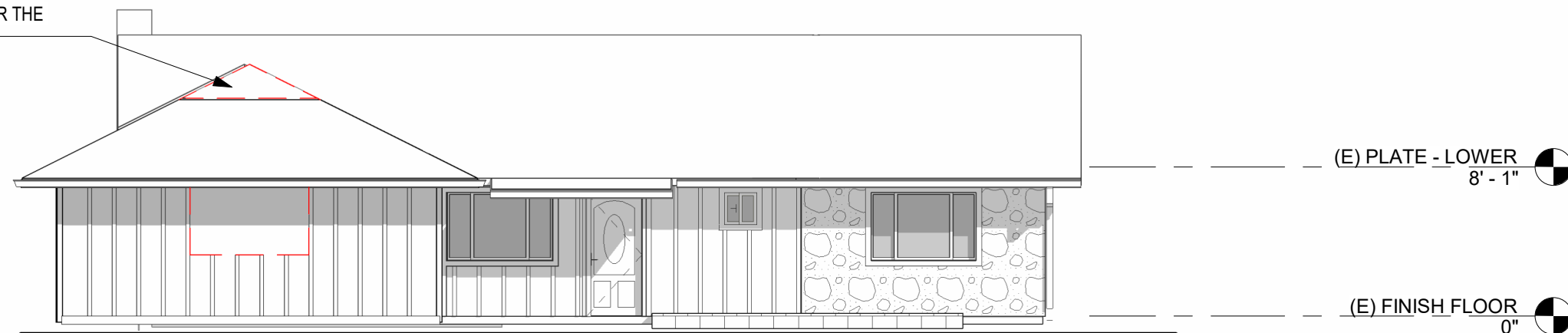
CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD





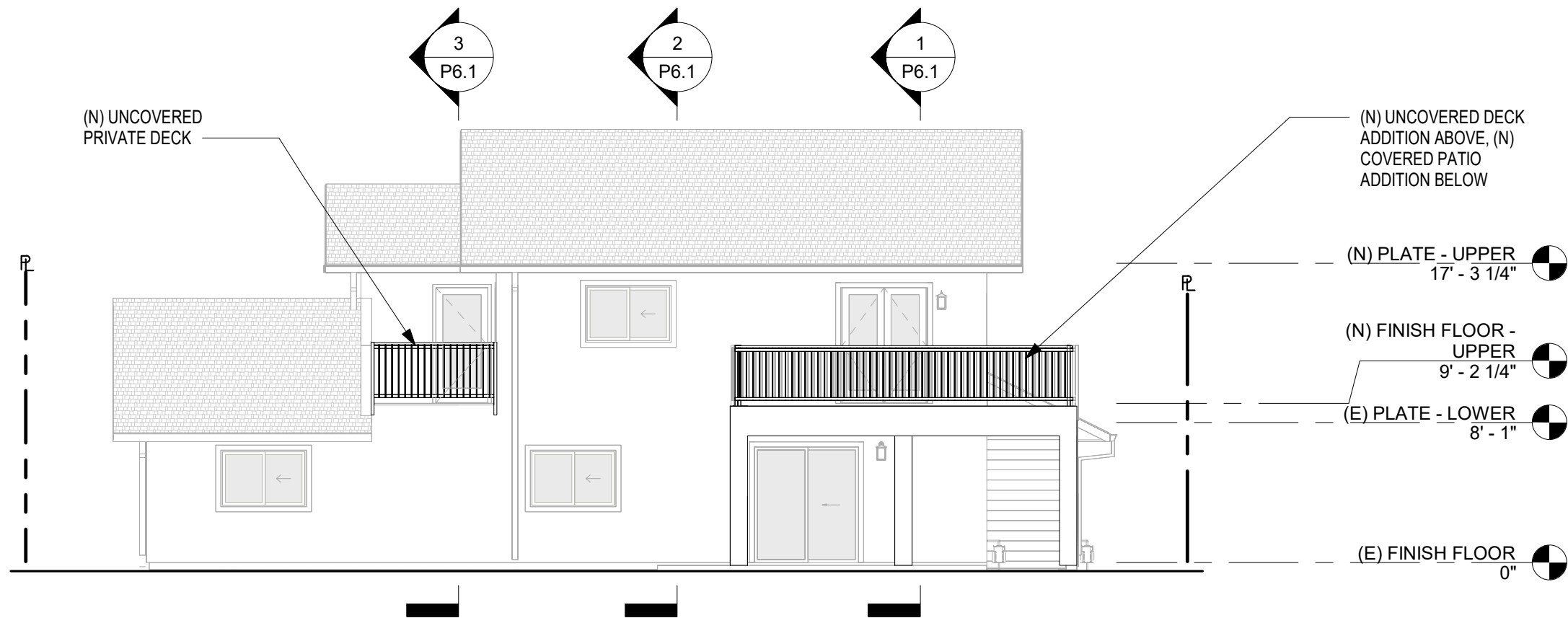
① SCHEMATIC SOUTH ELEVATION - DRB  
1/8" = 1'-0"

A PROPOSED ROOF  
ALTERATION TO ALLOW  
FOR FENESTRATION  
PROPOSED FOR THE  
NEW ADU

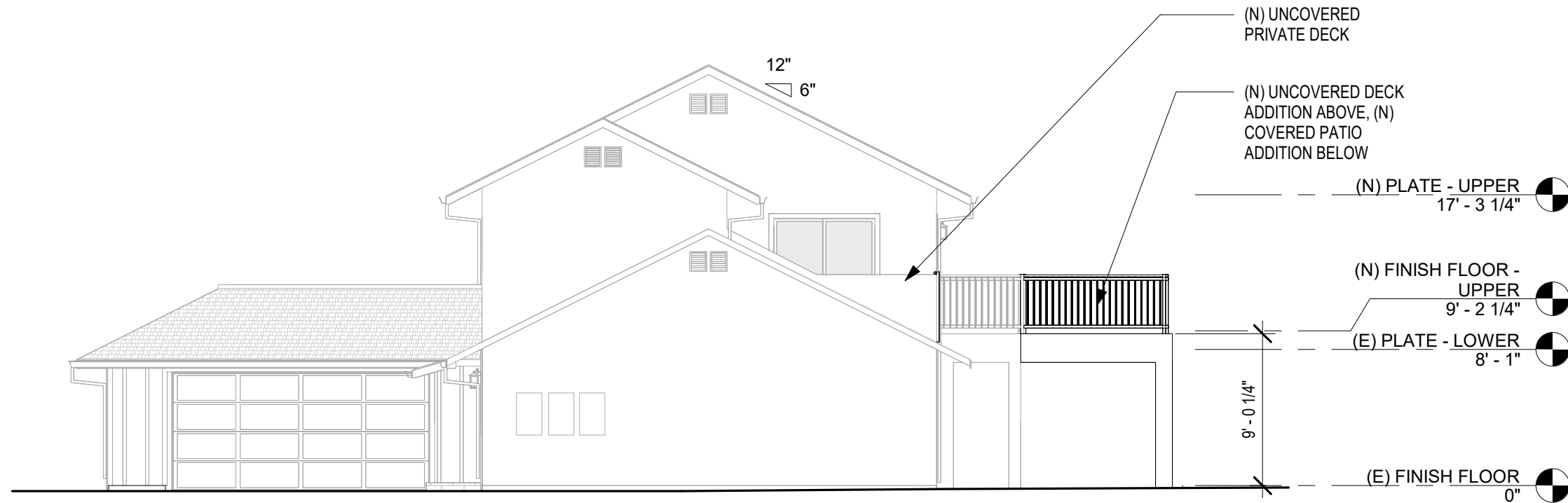


② EXISTING SOUTH ELEVATION - WITHOUT ROOF ALTERATION - DRB  
1/8" = 1'-0"

CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD

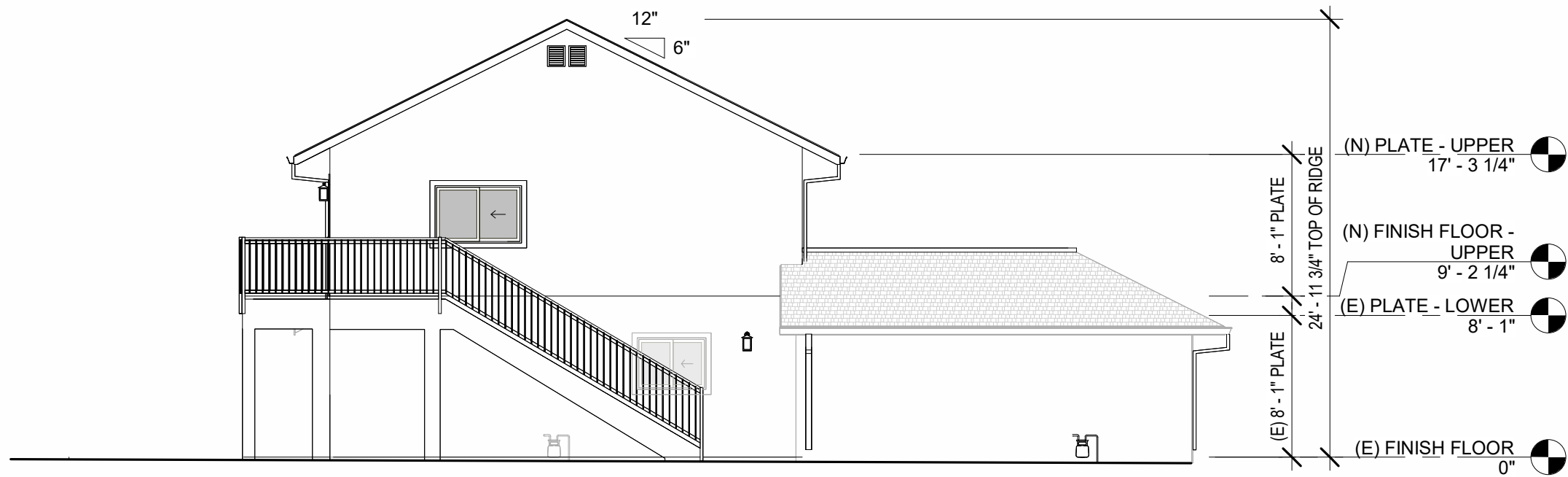


1 SCHEMATIC NORTH ELEVATION - LUP  
1/8" = 1'-0"

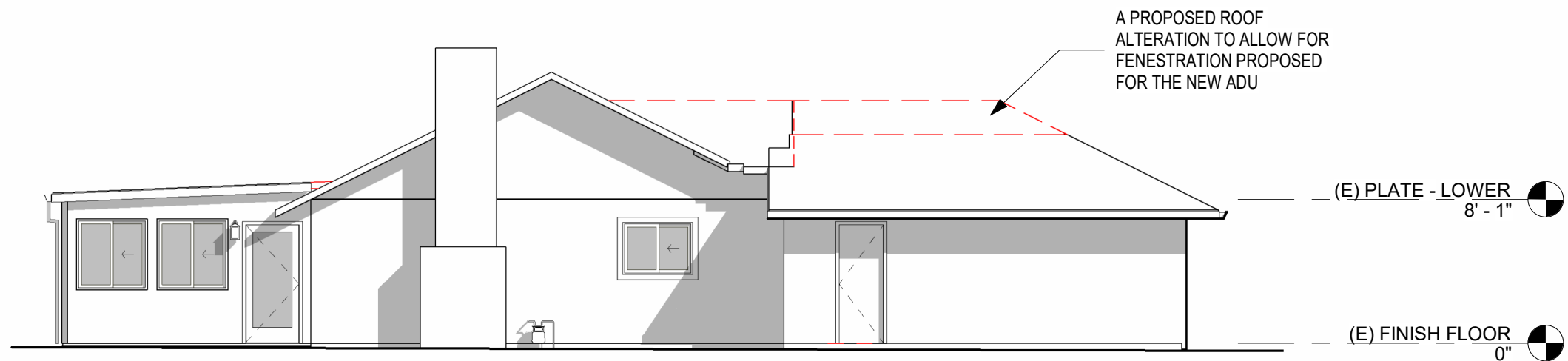


2 SCHEMATIC EAST ELEVATION - LUP  
1/8" = 1'-0"

CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD

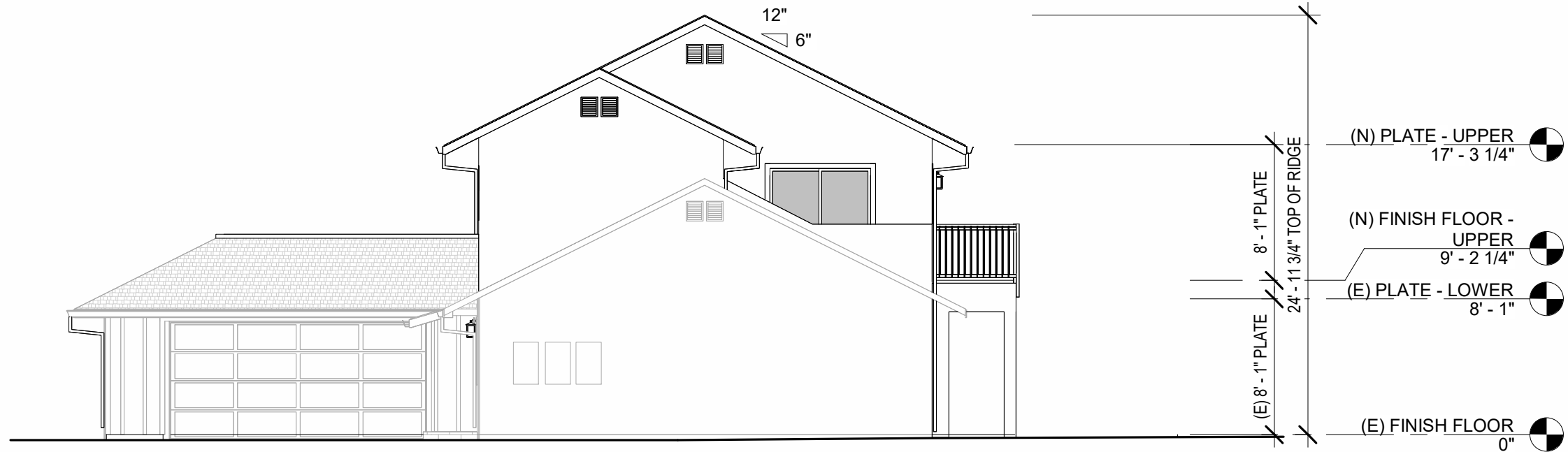


① SCHEMATIC WEST ELEVATION - DRB  
1/8" = 1'-0"



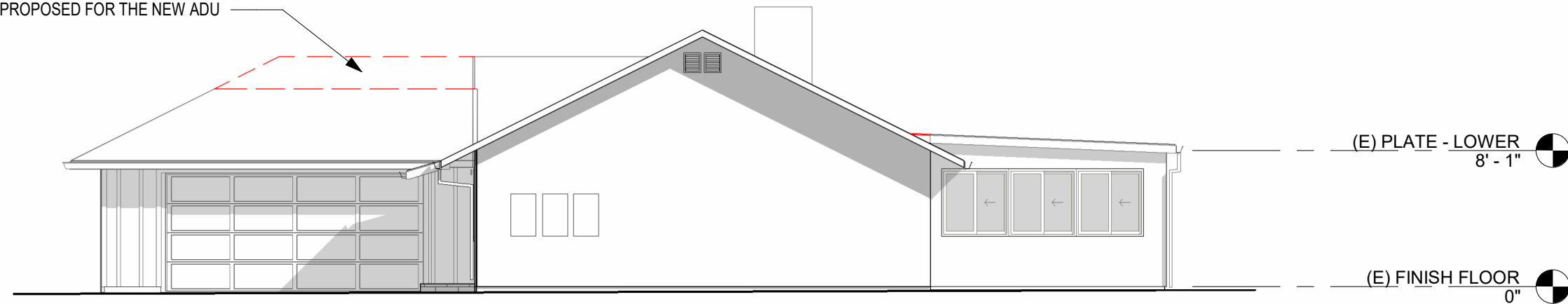
② DEMOLITION EAST ELEVATION - WITHOUT ROOF ALTERATION - DRB  
1/8" = 1'-0"

CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD



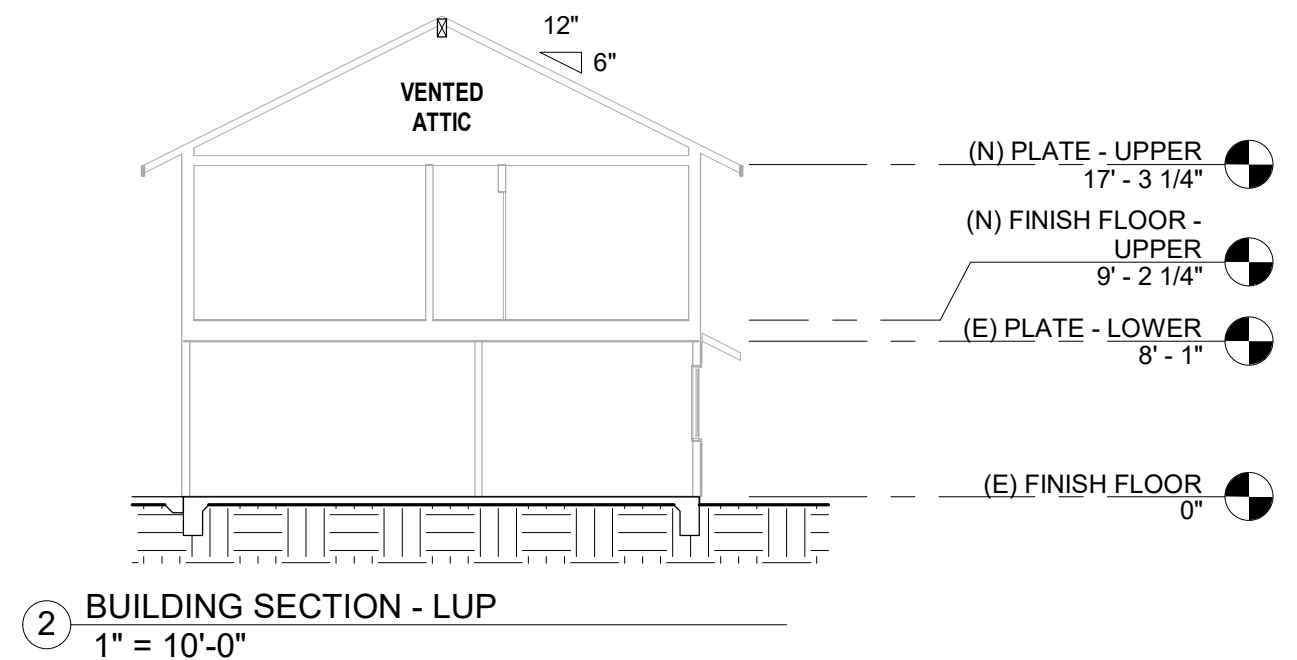
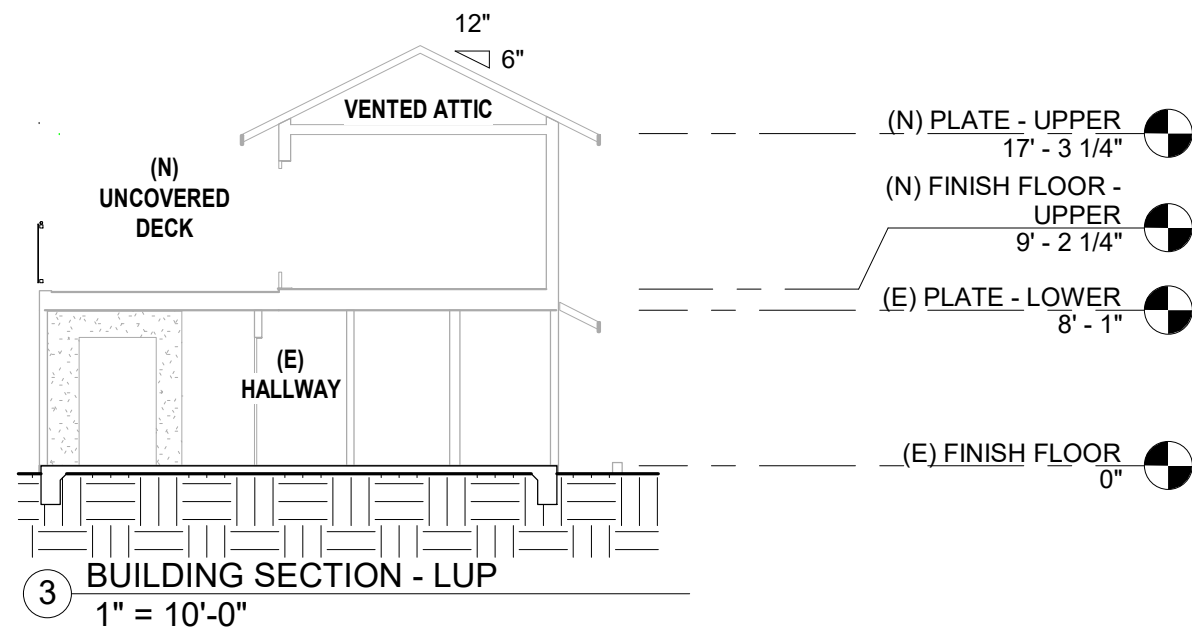
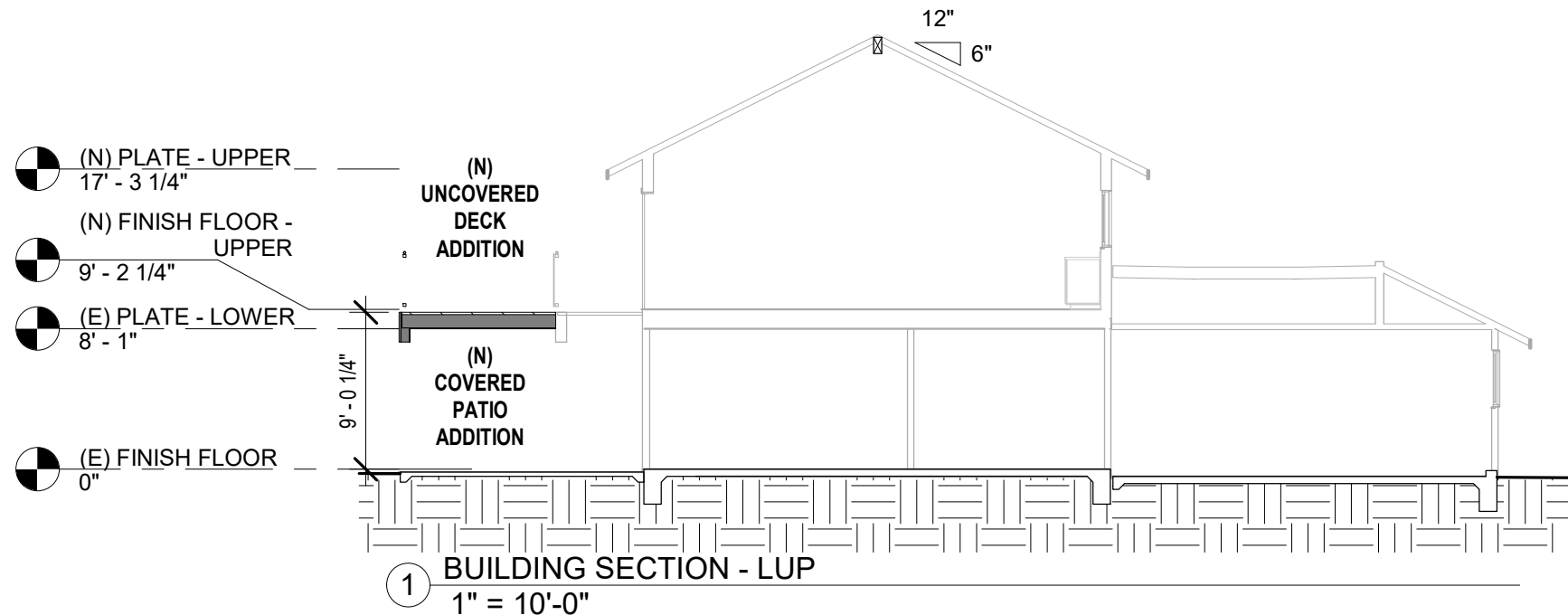
① SCHEMATIC EAST ELEVATION - DRB  
1/8" = 1'-0"

A PROPOSED ROOF ALTERATION  
TO ALLOW FOR FENESTRATION  
PROPOSED FOR THE NEW ADU

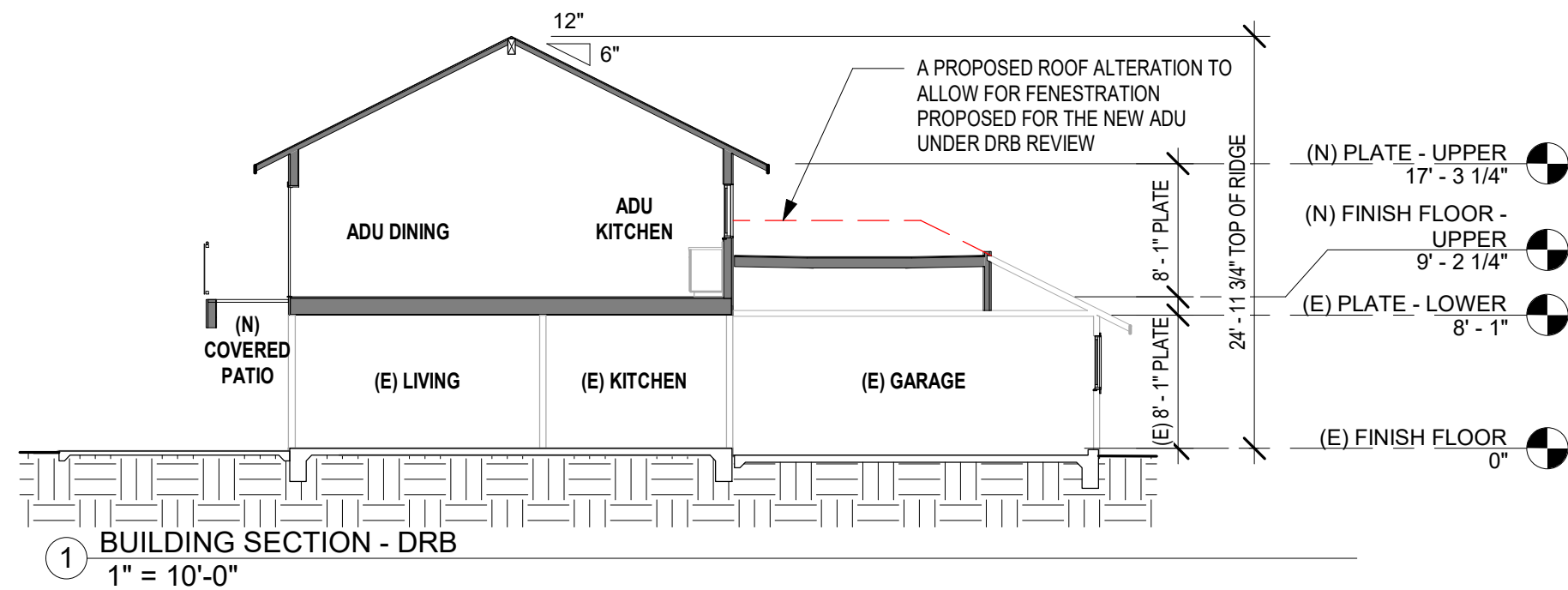


② DEMOLITION WEST ELEVATION - WITHOUT ROOF ALTERATION - DRB  
1/8" = 1'-0"

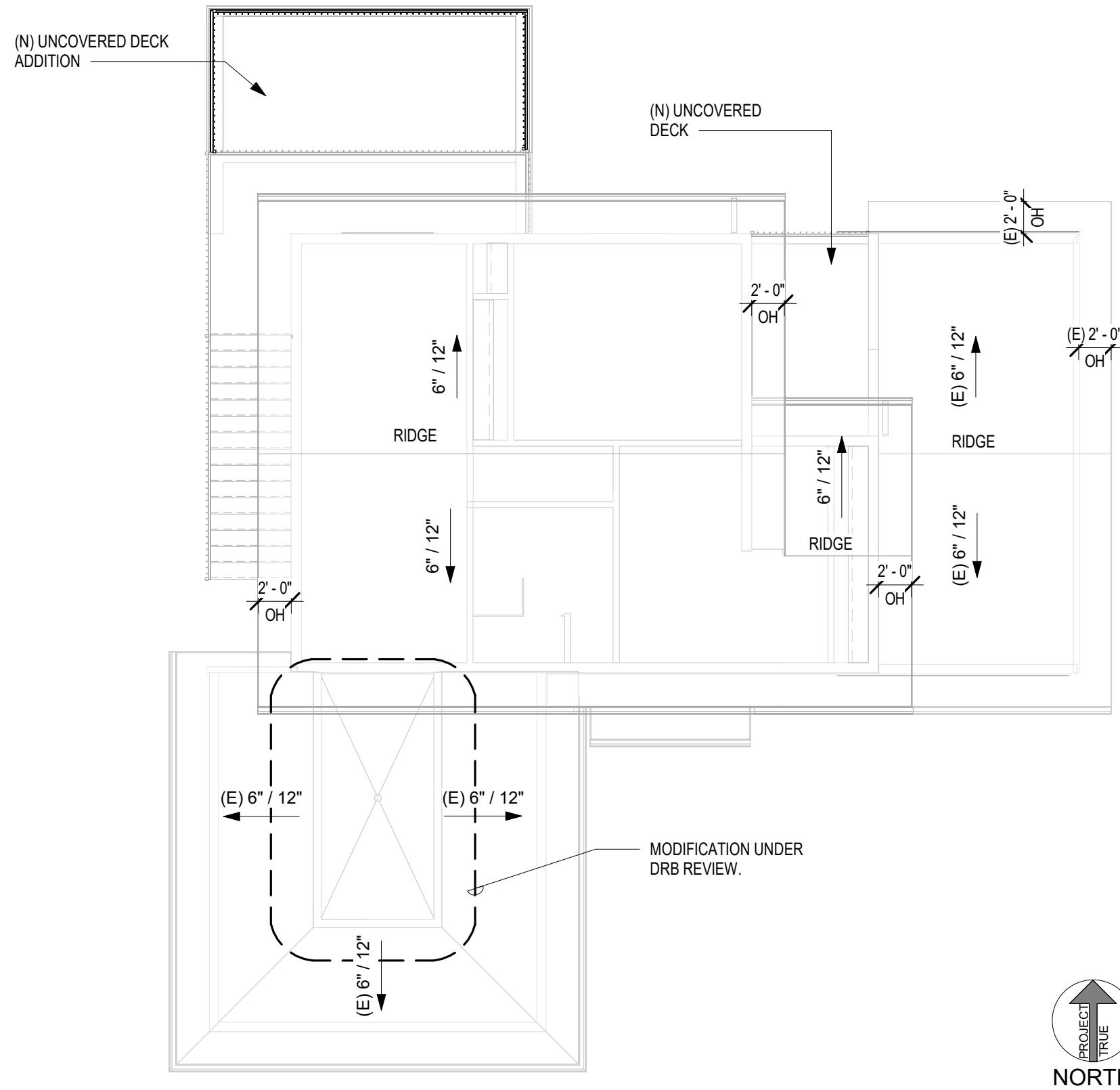
CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD



CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD

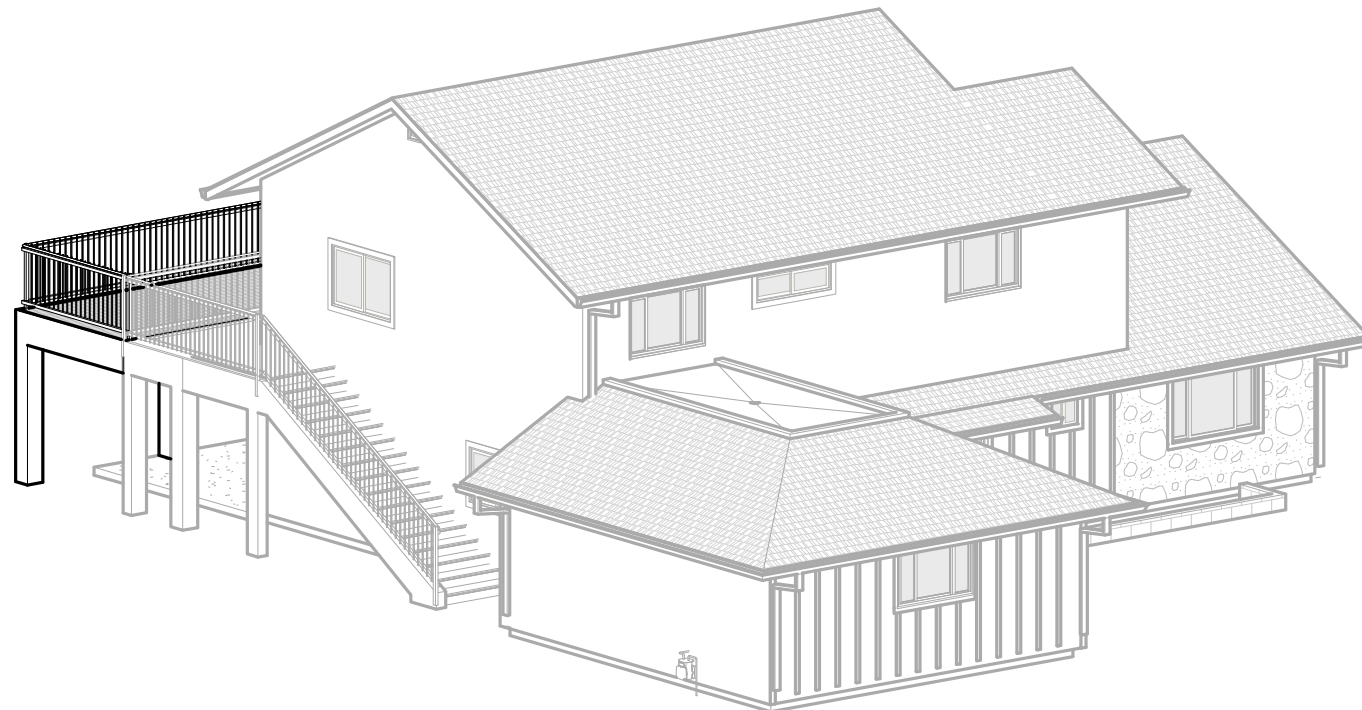
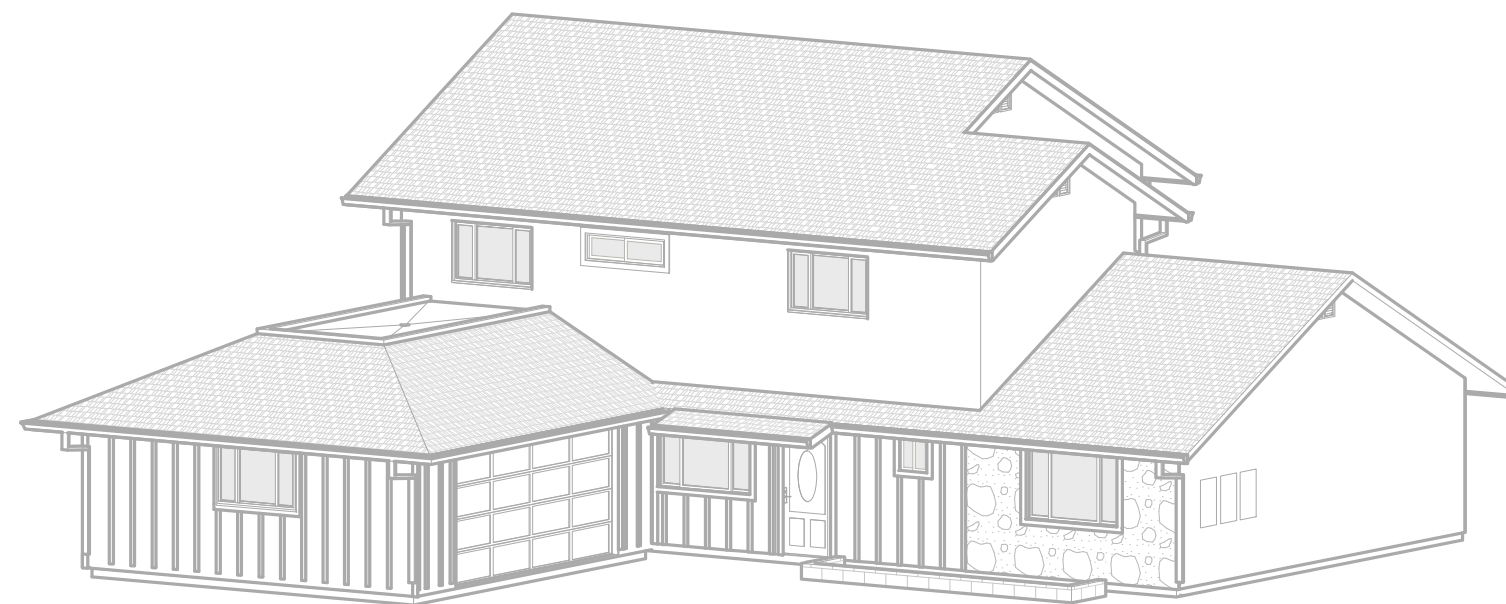
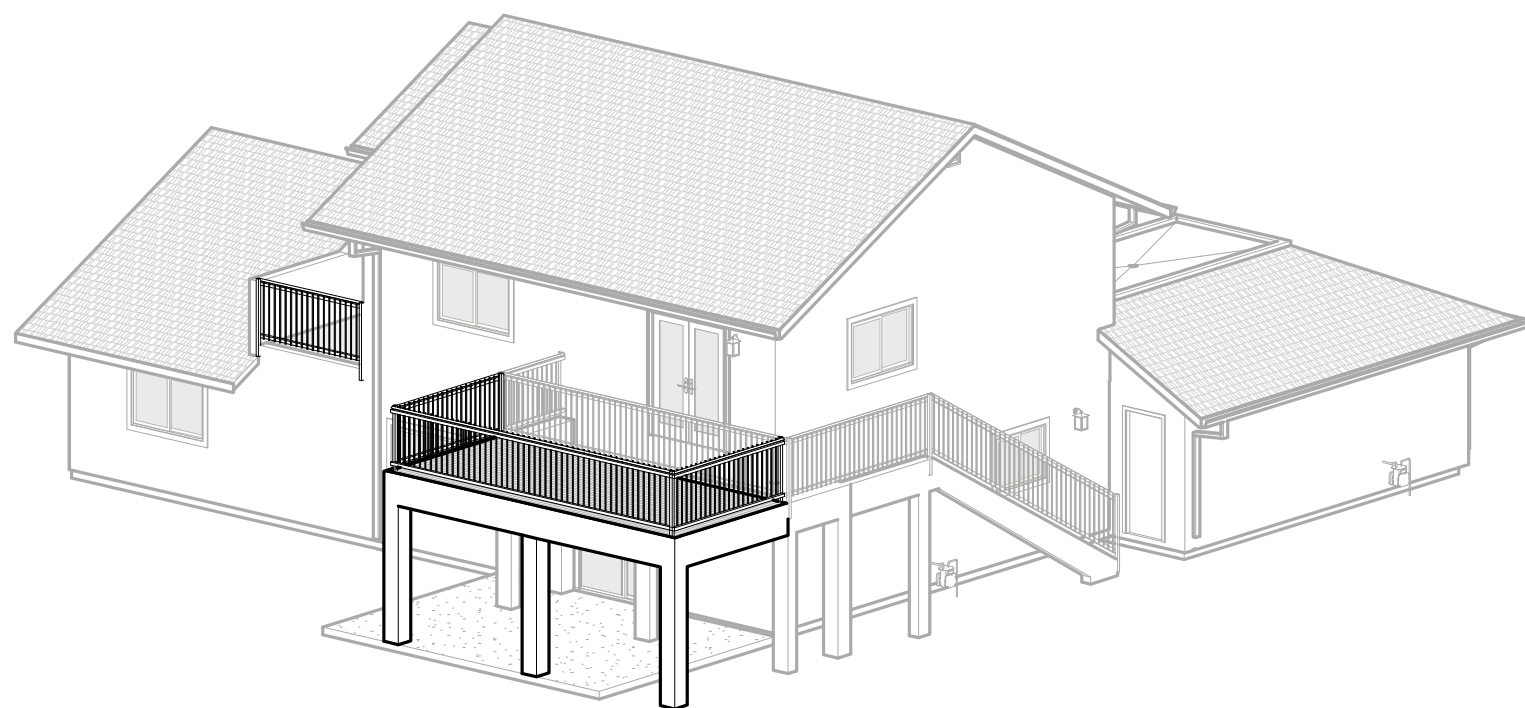


CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD

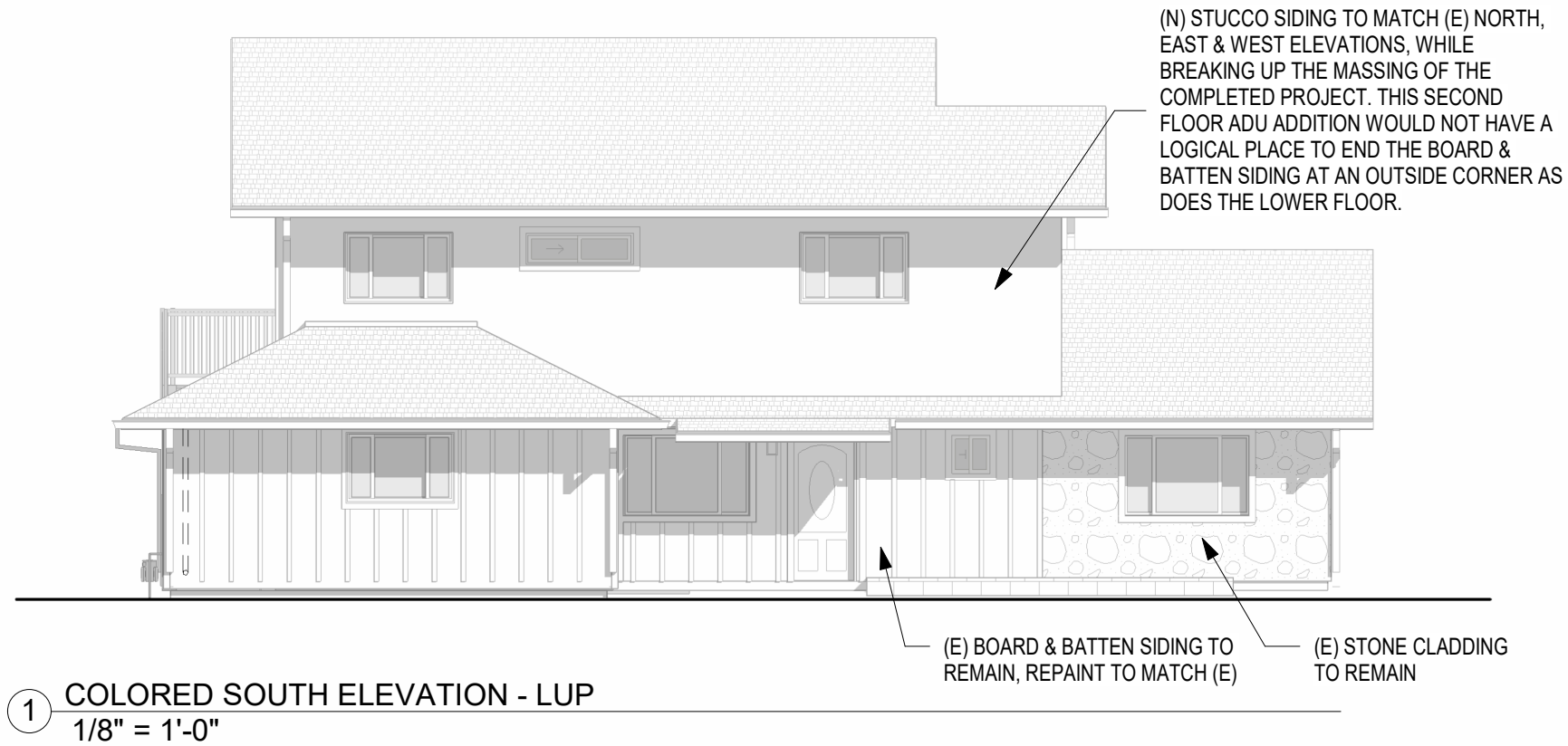


CONTRACTOR TO VERIFY EXISTING  
DIMENSIONS AND CONDITIONS IN FIELD









# COLORS AND MATERIALS:

OUTDOOR LIGHTING NOTE:  
ALL WALL-MOUNTED EXTERIOR LIGHT  
FIXTURES SHALL BE DOWNWARD FACING AND  
FULLY SHIELDED / RECESSED.



**WALL MOUNTED LIGHT FIXTURE:**  
WITH PHOTOCELL AND MOTION SENSOR  
MANUFACTURER: PROGRESS LIGHTING  
MODEL: P5712-30  
FINISH/COLOR: BLACK

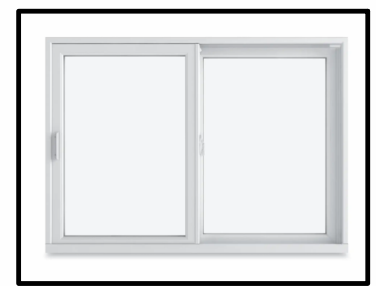


**ROOF GUTTERS:**  
FASCIA GUTTER  
MATERIAL: ALUMINUM  
PROFILE: 5" STYLE K  
COLOR: PURE WHITE

**ROOF:**  
COMPOSITION SHINGLE (30 YEAR)  
MANUFACTURER: MALARKEY  
MODEL: HIGHLANDER  
COLOR: STORM GREY



**DOORS & TRIM:**  
MODEL: 3/4 VIEW OVAL 3-PANEL  
MANUFACTURER: JELD-WEN  
COLOR: STEELE GRAY



**WINDOW & DOOR FRAMES:**  
MATERIAL: VINYL  
MANUFACTURER: MARVIN  
MODEL: COASTLINE GLIDER  
COLOR: WHITE

**WOOD TRIM:**  
PAINT MANUFACTURER: SHERWIN WILLIAMS  
COLOR: SW 7005 PURE WHITE



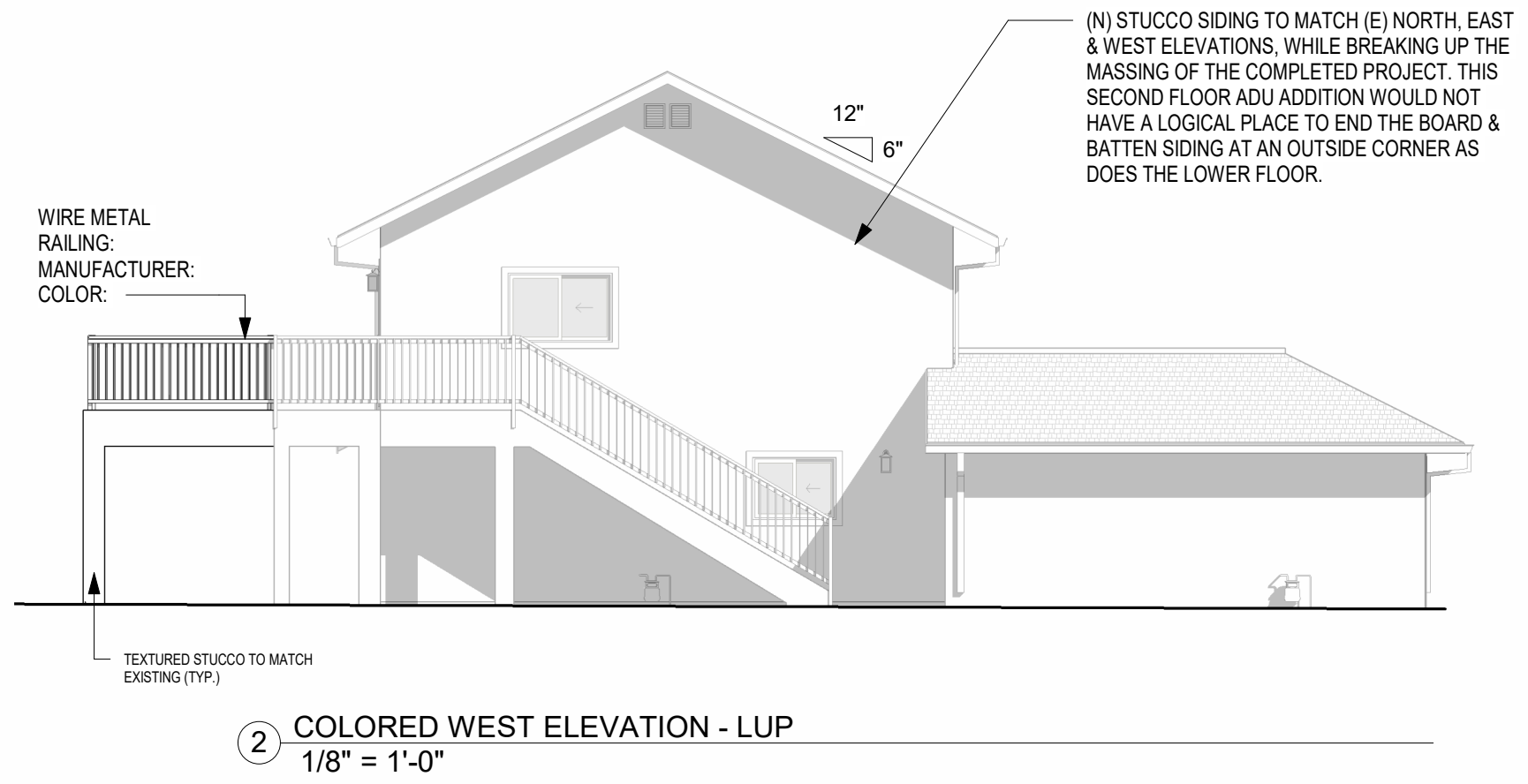
**WALL FINISH:**  
TEXTURED STUCCO  
MANUFACTURER: STUCCO SUPPLY CO.  
COLOR: PLATINUM



**BOARD AND BATTEN FINISH:**  
MANUFACTURER: JAMES HARDIE  
STYLE: RUSTIC GRAIN  
COLOR: COBBLE STONE



**(E) STONE VENEER FINISH:**  
FIELD STONE



**ATTACHMENT D**

**PROJECT SITE PHOTOGRAPHS**





PHOTO  
CREDIT:  
GOOGLE

PROJECT SITE: 7388  
BELLUNO DR. (GABLE  
STYLE ROOF OVER  
GARAGE, WITH GABLE  
STYLE PRIMARY ROOF  
)

PROJECT SITE: 7380  
BELLUNO DR. (HIP  
ROOF OVER GARAGE,  
WITH GABLE STYLE  
PRIMARY ROOF )

PROJECT SITE: 7370  
BELLUNO DR. (DUTCH  
GABLE STYLE ROOF  
OVER GARAGE, WITH  
GABLE STYLE  
PRIMARY ROOF )



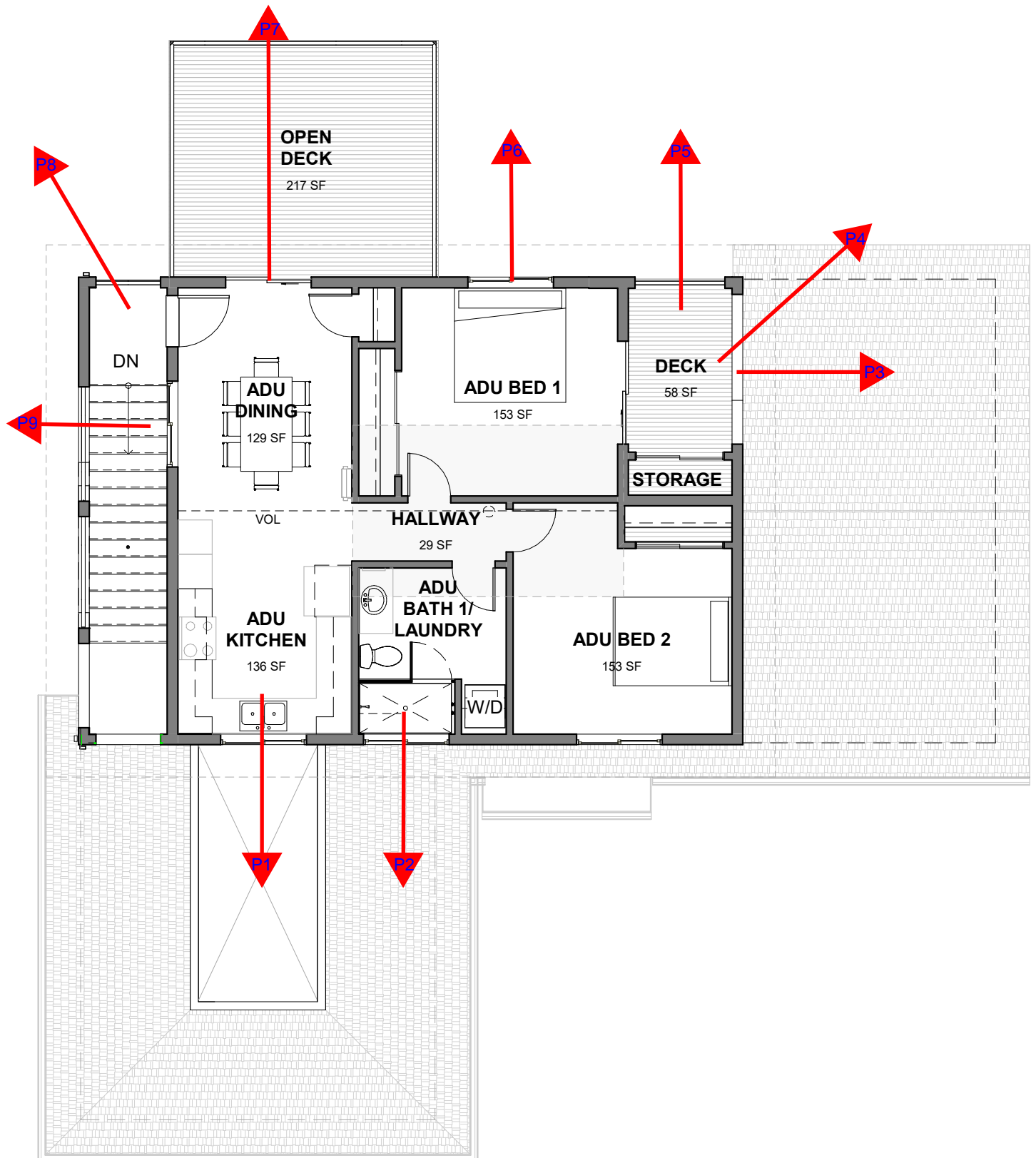
PHOTO  
CREDIT:  
GOOGLE



PHOTO  
CREDIT:  
GOOGLE

BELLUNO DR.

## SITE PHOTOGRAPH DIAGRAM





# SITE PHOTOGRAPHS



P1

VIEW FROM NEW KITCHEN WINDOW  
LOCATION FACING FRONT, @  
HEIGHT OF 4.5 METERS .



P2

VIEW FROM NEW BATH WINDOW  
LOCATION FACING FRONT @ HEIGHT  
OF 4.5 METERS .



P3

VIEW FROM NEW SMALL BALCONY  
LOCATION FACING NEIGHBORS @  
HEIGHT OF 4.5 METERS .





P4

45 DEGREE VIEW FROM NEW  
SMALL BALCONY LOCATION FACING  
NEIGHBORS AND CATHEDRAL OAKS  
@ HIGHT OF 4.5 METERS .



P5

VIEW FROM NEW SMALL BALCONY  
LOCATION FACING CATHEDRAL  
OAKS @ HIGHT OF 4.5 METERS .



P6

VIEW FROM NEW BEDROOM  
WINDOW LOCATION FACING  
CATHEDRAL OAKS @ HIGHT OF 4.5  
METERS .





P7

VIEW FROM NEW BEDROOM  
WINDOW LOCATION FACING  
CATHEDRAL OAKS @ HIGHT OF 4.5  
METERS .



P8

45 DEGREE VIEW FROM NEW STAIR  
LANDING LOCATION FACING  
CATHEDRAL OAKS @ HIGHT OF 4.5  
METERS .



P9

VIEW FROM NEW STAIR LANDING  
LOCATION FACING NEIGHBORS @  
HIGHT OF 4.5 METERS .