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- The Towbes Group
- Red Tail Multifamily Land Development, LLC
- Housing Authority of the County of Santa Barbara



# The Towbes Group<sup>®</sup>

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RED TAIL MULTIFAMILY  
LAND DEVELOPMENT, LLC  
SEARCHING FOR OPPORTUNITY

 The Towbes Group<sup>®</sup>





# RED TAIL MULTIFAMILY LAND DEVELOPMENT, LLC

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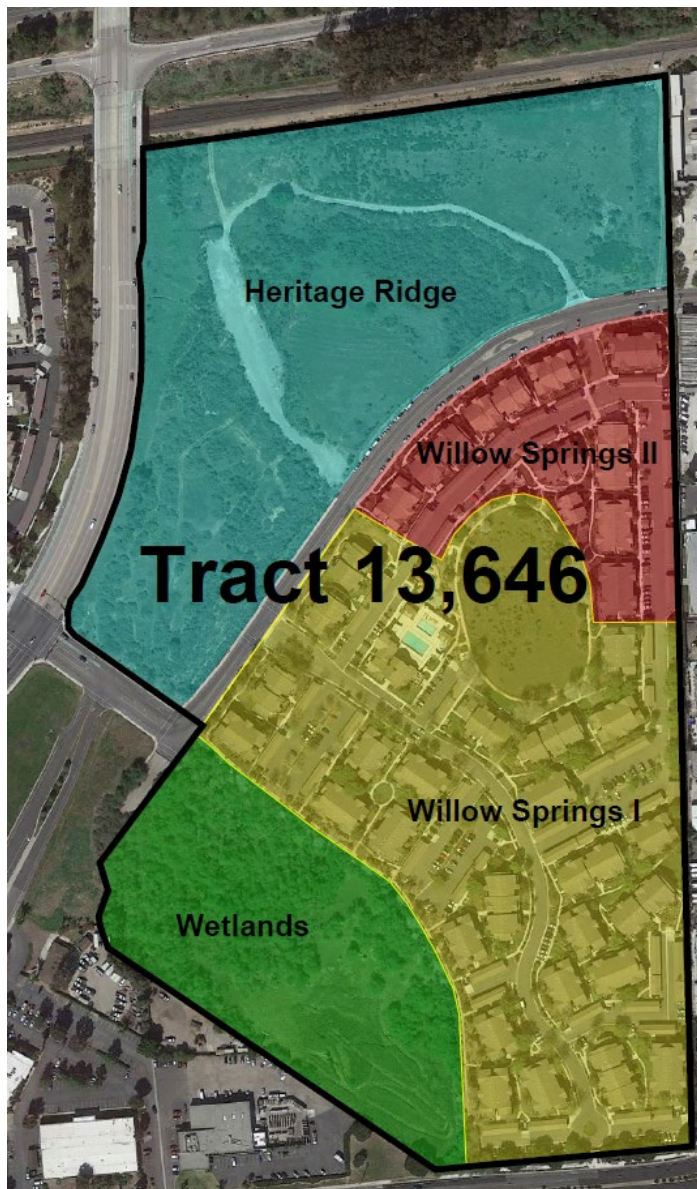


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# Project History

- Willow Springs I & II
- Heritage Ridge Third Phase of Development
- Towbes Group/Red Tail Multifamily Development Partnership
- Affordable Housing Group - HASBARCO



# Project Goals

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- Consistency w/ City Goals, Policies & Development Standards
  - Provide Needed Housing
- Construct 2-Acre Public Park
- Environmental Sensitivity
  - Design Quality



# Key Project Challenges & Resolutions

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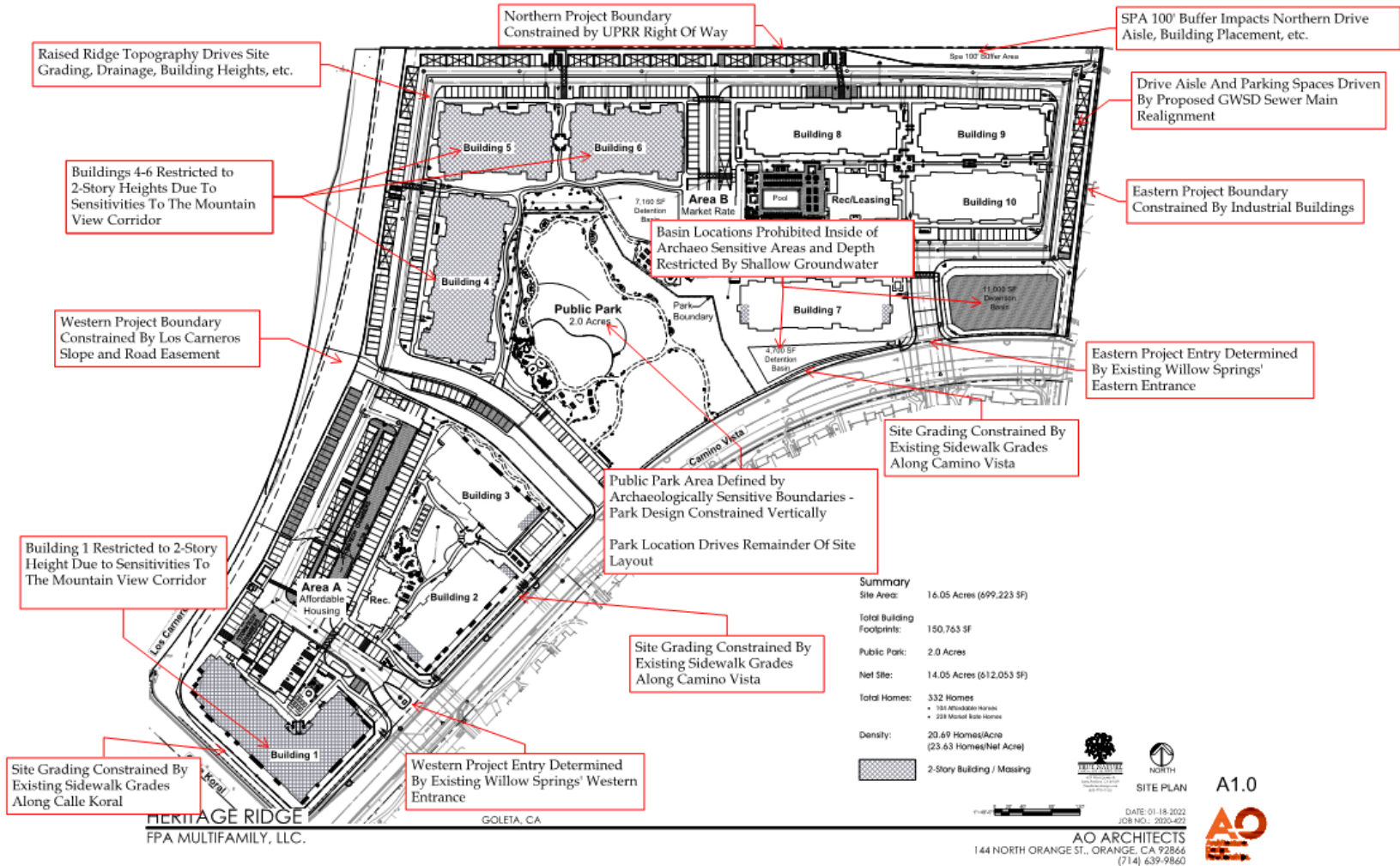
- Protection of archaeological resources
- Coordination of park improvements
- Infill site with many constraints
- Sensitivity to view corridor (Mass, Bulk & Scale Reduction)
- Improvement of architectural design
- ROW abandonment and dedications
- Proximity to SPA buffer
- Affordable Housing







# Site Design Constraints





# Mountain View Corridor

Before



After

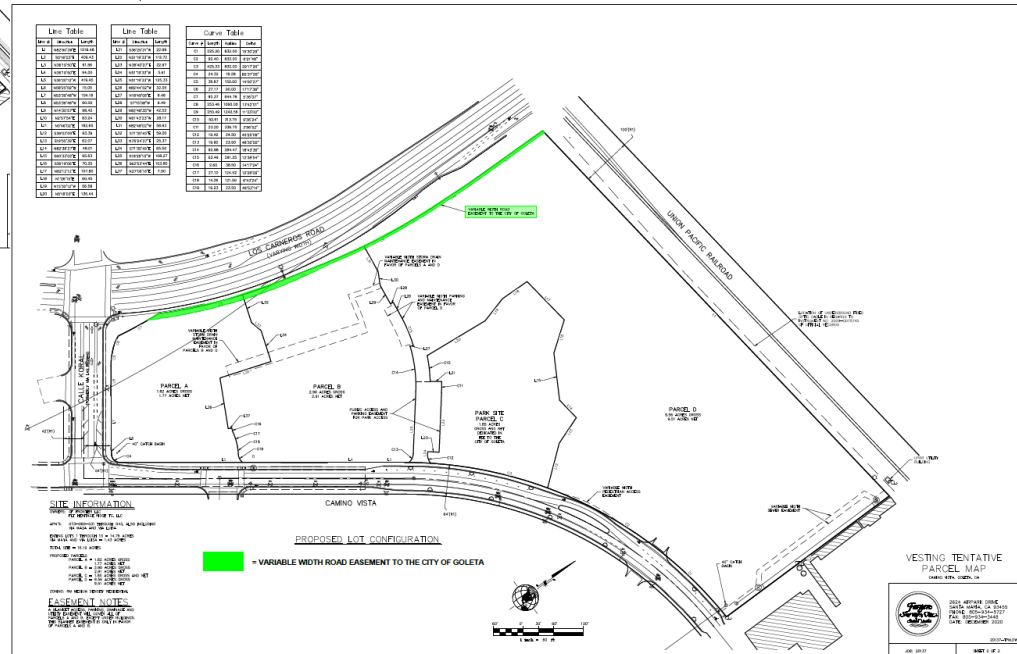
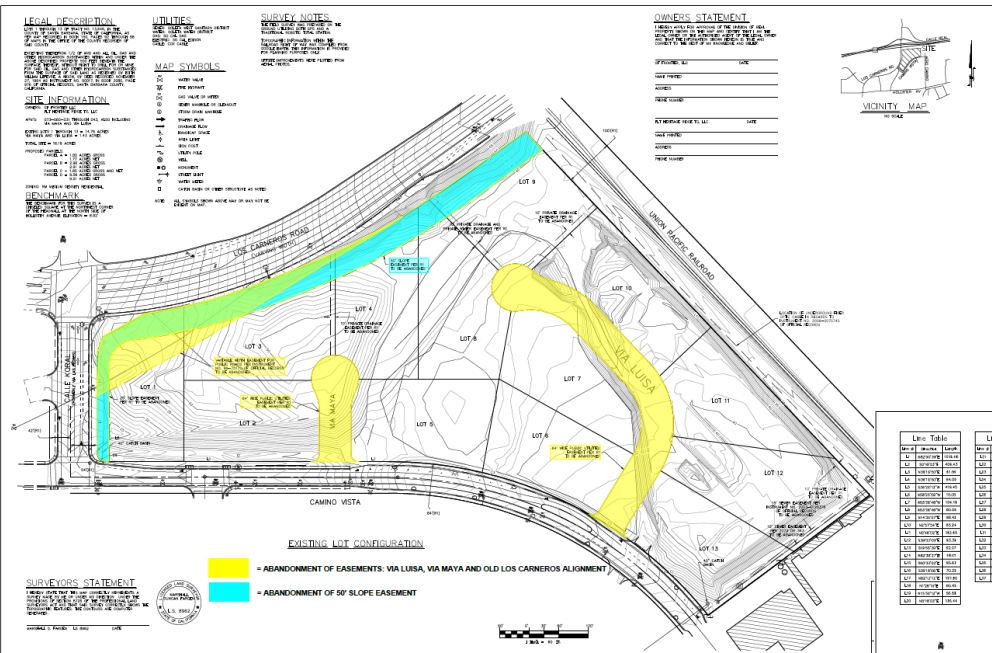






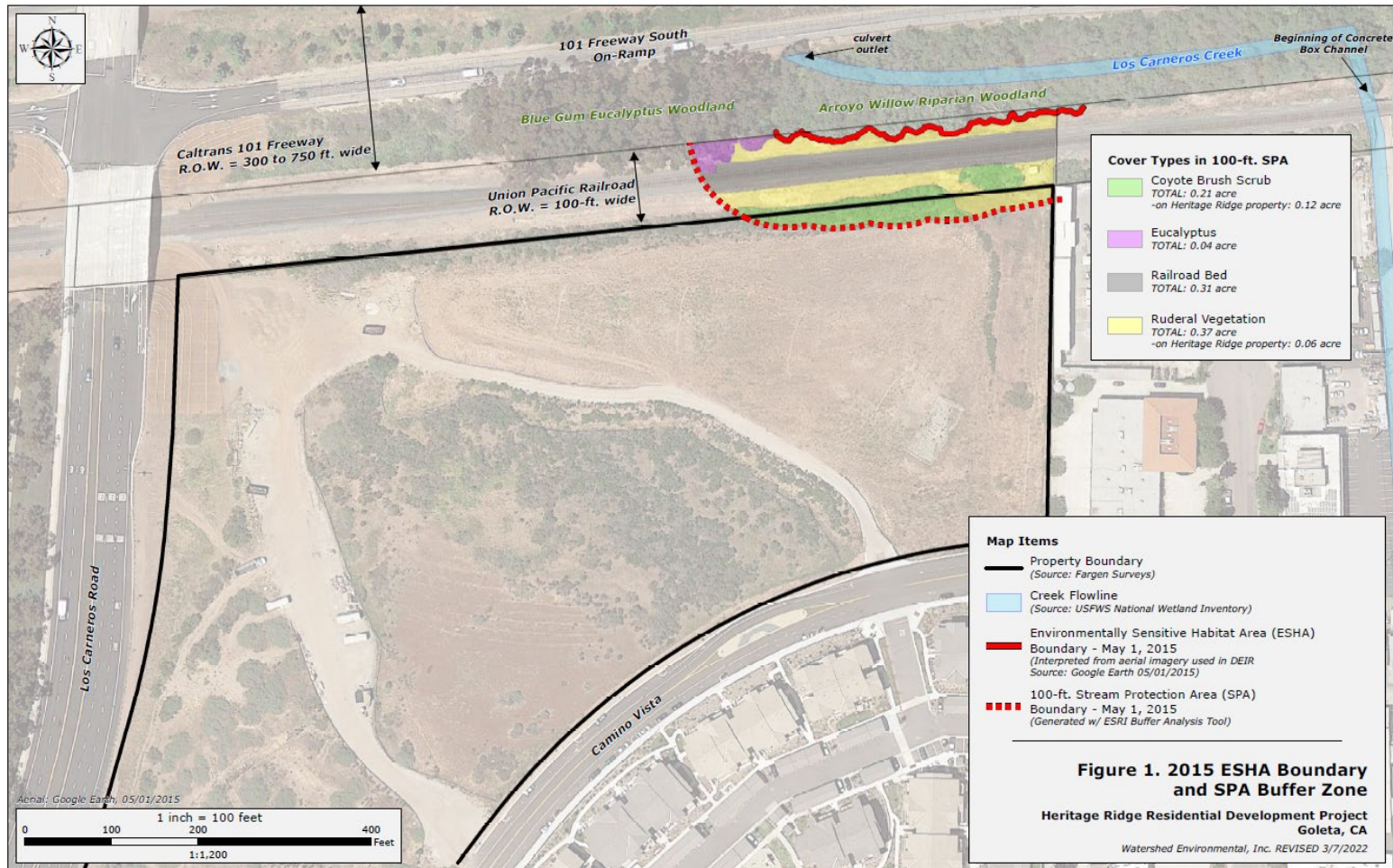


# Easements





# SPA Buffer Zone





# Site Plan & Architecture

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## Address Key Issues Including:

- Previous architectural design and site plan
  - DRB Comments & Responses
    - Site Plan & Architecture









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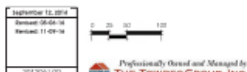


[illegible]

# Before

## Conceptual Site Plan

© 2015, Wiley Asia, WILEY-ASIA ARCHITECTS, Pte. Ltd.



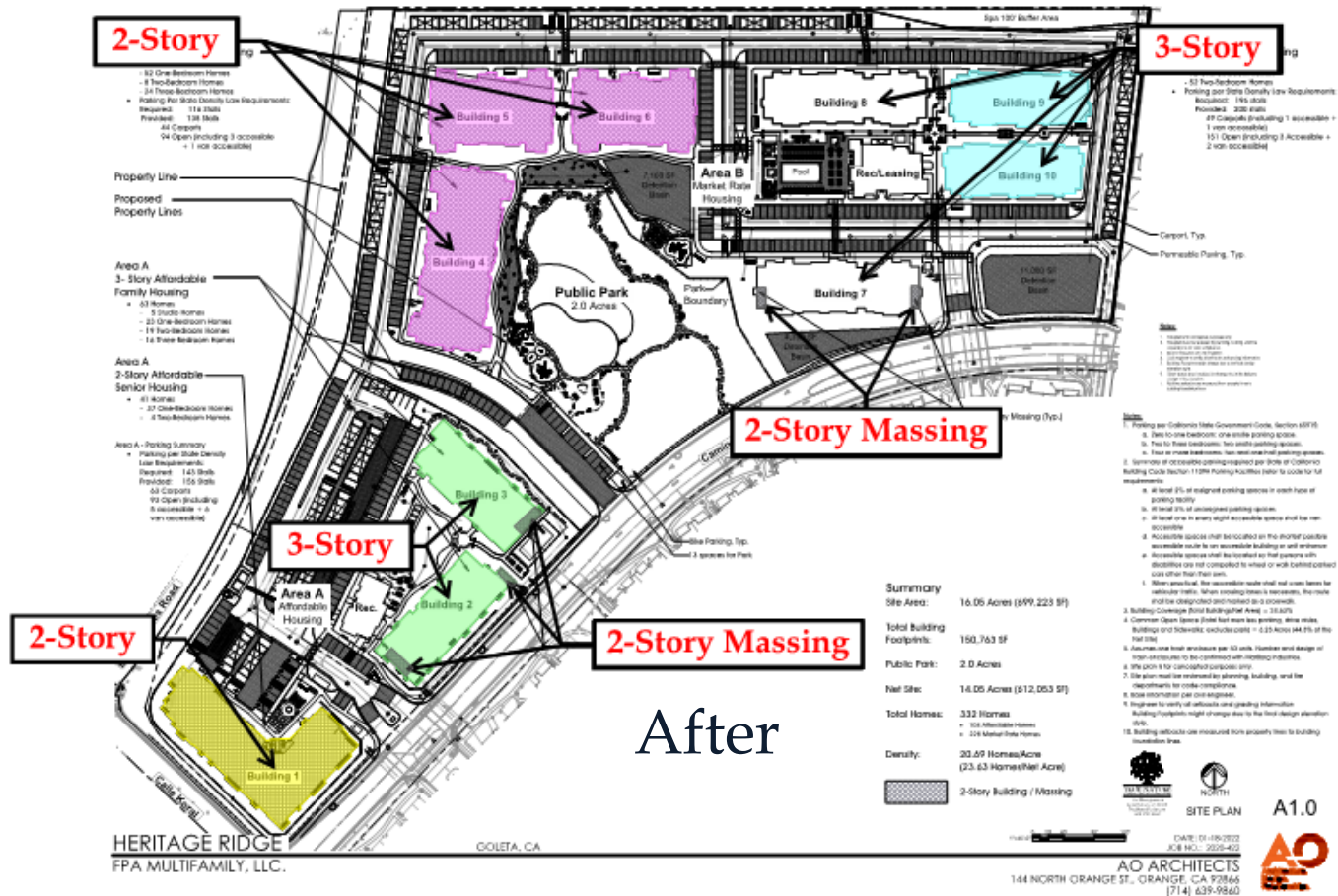
Heritage Ridge  
Goleta, Ca  
Micheal Towbes, LLC



SP-1



# Reduction Of Size & Mass





# Site Video Rendering



Heritage Ridge Video Rendering



# Landscape Architecture & Park Design

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## Address key issues including:

- Site Design
  - *Landscape Approach*
  - *Constraints of Site*
  - *MWELO Regulations*
- Park Design
  - *Cultural Sensitivities*
  - *Collaboration w/ City*









## RESIDENTIAL SHRUBS, ACCENT PLANTS, &amp; GROUNDCOVER

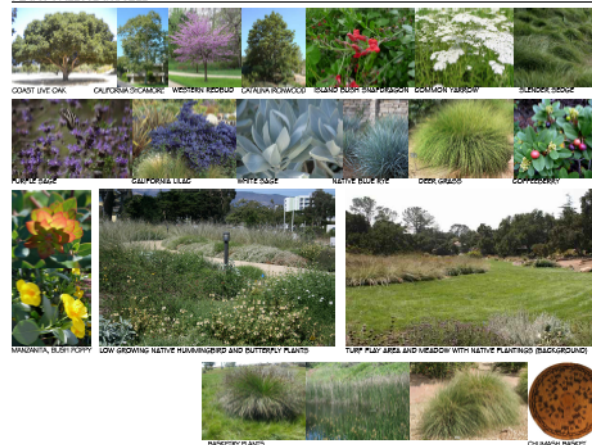
487

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PLANT PALETTE IMAGES

[illegible]

Common	Waterfowl
Common Yarns	Less
California Longbills	Less
California Doves	Very Low
Mourning Dove	Very Low
Common Goldeneye	Very Low
Golden Plover	Very Low
California Gull	Very Low
Double-crested Cormorant	Very Low
Swamp Sparrow	Less
Shorebird	Very Low
Lesser Frigate	Less
White Stork	Very Low
Black Stork	Less
Black Stork	Very Low
Black Stork	Very Low

Cell wall  
Nucleus  
Cytoplasm  
Vacuole

California Sycamore	Mediumish
California Walnut	Low
Green Oak	Very Low
Taxon	Very Low
Deer Grass	Low
Hummingbird Sage	Low
Blue Eyed Grass	Low
Harbort Kaletho	
Black Alder	
Coyote Bush	
Cockburn	
Roadway	
Geostroph	

[illegible]

Manitowish Cymopsis	Low
Manitowish Creek Island Insecticide	Low
Cassidy Creek Island	Low
Island Cove Club	Low
Manitowish Island Insecticide	Low
Johns County Insecticide	Low
Forest Capital Bush	Low
Manitowish Island	Low
Forest Capital	Low
Colman Lake	Low
Island Bush Property	Low
Manitowish Island	Low
Island Bush Properties	Very Low
Blue Green Bay	Low

**RAJCI OR INWAZYJNE**  
*Junco phoeniceus*  
*Artemia salina*  
*Cercaria poeyanensis*  
*Ornithodoros*  
*Salmonella typhimurium*  
*Salmonella enteritidis*

**NATYWE INWAZYJNE**  
*Agave americana*  
*Salmonella enteritidis*  
*Ornithodoros*

**MAŁE INWAZYJNE**

Gray Rush	Late
Mugwort	Late
Stemless Dogie	Midseason
Dark Green	Late
Slender Green	Late
Arroyo Willow	High
Bulrush / Tule	High
Thymus	Late
Blue Green Grass	Late
Dark Green	Late

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NEIGHBORHOOD PARK:  
THE PARK IS SITED ATOP THE KNOLL AND FEATURES  
LEVEL GRASSY PLAY LAWN AND PICKING AREA.

surrounded by beautiful native flowering plants. The low, drought-tolerant coastal grasses and plants provide habitat for butterflies and food and forage for birds. Locally flowering native shrubs and mat-forming rushes such as coastal daisy, kangaroo daisy, and kangaroo grass, all around the park, and obscure the surrounding buildings, creating a sense of enclosure. The native plants also provide a source to promote physical fitness. The children's play area contains native play equipment featuring a variety of climbing elements for interpretive play opportunities. Picnic areas is sited so that visitors can see the native vegetation. The picnic tables are scattered around the park, and echo the boulders seen in the distant mountain range. The picnic areas are sited so that visitors can see the native vegetation. The picnic tables are scattered around the park, and echo the boulders seen in the distant mountain range. The picnic areas are sited so that visitors can see the native vegetation. The picnic tables are scattered around the park, and echo the boulders seen in the distant mountain range.

LOW MAINTENANCE WATERWISE PLANTS. THE LANDSCAPE IRRIGATION SYSTEMS WILL BE COMPOSED OF EFFICIENT DRIFF IRRIGATION AND STREAM RIF HEADS OPERATED BY A CLIMATE-BASED SMART CONTROLLER WITH AN ON-SITE WEATHER MONITOR.



PRELIMINARY PARK LANDSCAPE PLAN



# Celebration Of Cultural History

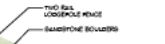
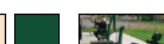
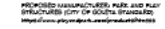


GRNA GOAL : Ensure protection of areas associated with Native American culture & sites





THE PARK IS SITED ON THE KNOLL AND FEATURES A WIDE GRASSY PARK LAWN AND PAVED AREA SURROUNDED BY BEAUTIFUL NATIVE PLANTING PLANTS (SEE GL-3). THE IMPAVED DUG VALLEY PATH FEATURES A PAIR COURSE TO PROMOTE PHYSICAL FITNESS. THE CHILDREN'S PLAY AREA CONTAINS NATURAL PLAY ELEMENTS (INCLUDING LOG CHAIRS) CULTURAL THEMES (R. J. LINDSEY) AND AN INSTRUMENTAL. THE PAVED AREA IS SITED SO THAT VISITORS CAN ENJOY THE MOUNTAIN VIEWS. LOG BURNING BOLLERS ARE SCATTERED AROUND THE PARK, AND ECHO BOLLERS ARE IN THE DISTANT MOUNTAIN RANGE. THE PARK IS DESIGNED TO PROVIDE A SENSE OF WILD NATURE WHERE VISITORS CAN RELAX AMONG LARGE OPEN SPACES UNDER MOUNTAIN TREES.





# Neighborhood Park - Defined

## General Plan Definition of Neighborhood Park:

- ✓ • Typical service area radius = 0.5 mile
- ✓ • Typical size = < 10 acres (2-3 acre noted in GP for this property)
- ✓ • Easily accessible to surrounding population (by walk/bike)
- ✓ • Provides on-site parking
- ✓ • Typical facilities include playgrounds, picnic tables, open areas, lawns or grassy areas and benches



Examples of some proposed amenities

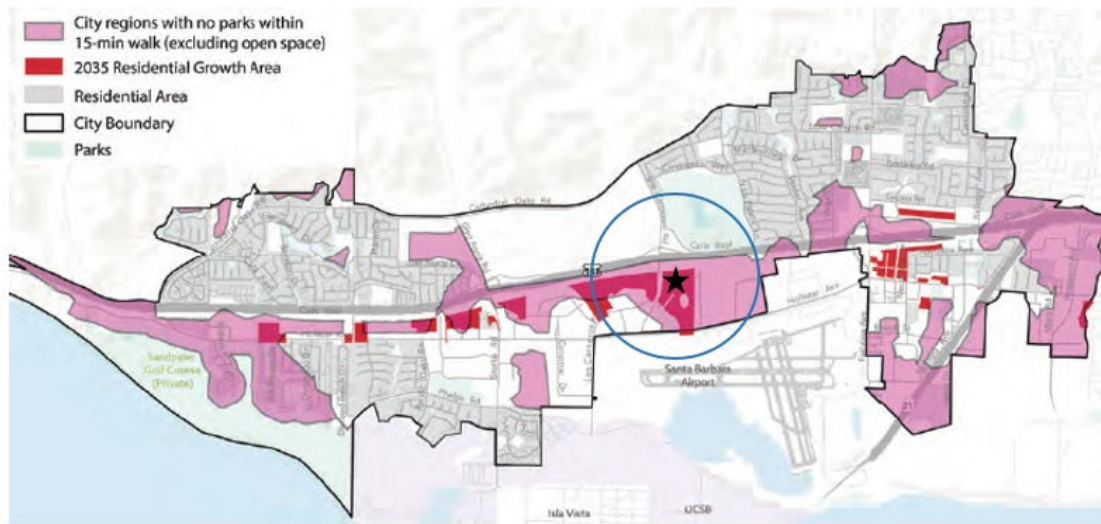


## Additional Elements

- ✓ • Fitness Par Course
- ✓ • Cultural Educational Features

Goleta General Plan 3.0 Open Space, OS 6.4 Neighborhood Park; Table 3-1 Planned New Parks "C", Neighborhood Park noted for Willow Springs Phase II (Heritage Ridge)



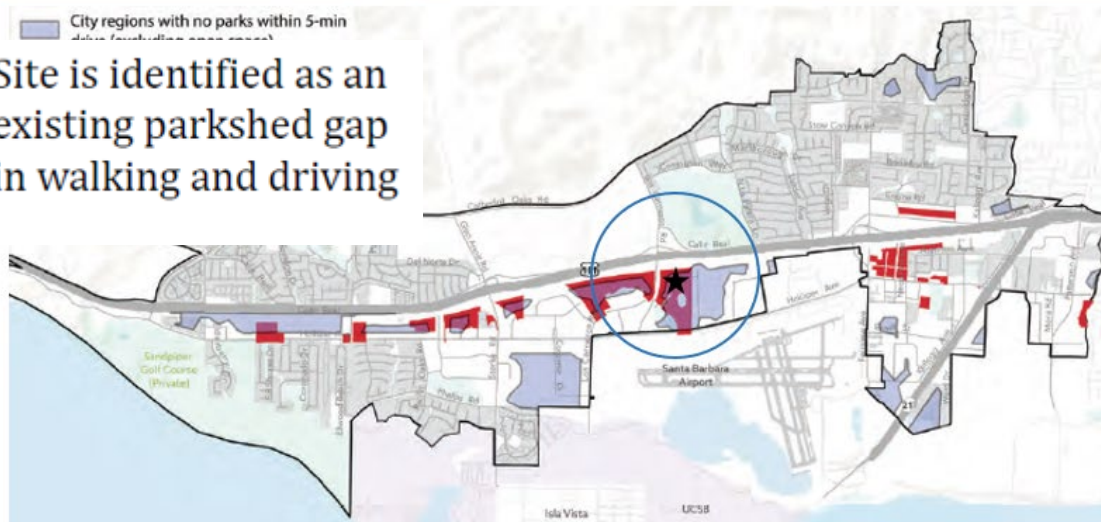


# Parkshed Gap with Future Growth

★ Park site

○ 0.5 mi radius  
from park site

Site is identified as an  
existing parkshed gap  
in walking and driving



PMP: Objective #2.2 Focus on identifying potential park sites in areas where major growth is likely to occur and where undeveloped land could be dedicated for public use as required as a condition of project approvals.

PMP Figure 4-12: Active Parkshed Gaps with Population Growth, Pg. 53



Figure 5-5: Proposed Park Access Projects from the Bike and Pedestrian Master Plan 2018



# Active Lifestyle

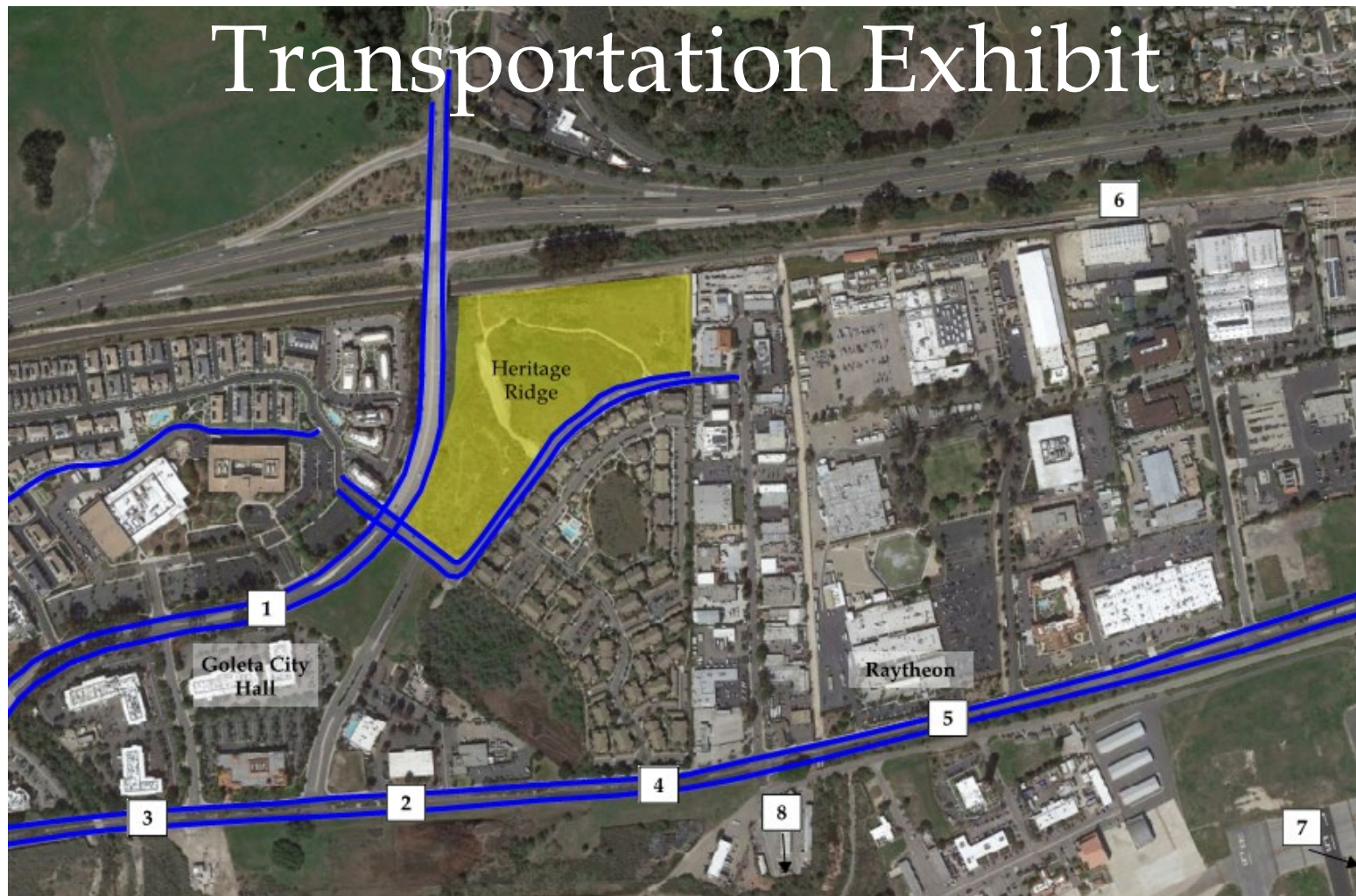
Park located on existing trails, has bike racks & path

PMP: 5.3.1 Goal 7: Implement the Active Transportation Plan with an emphasis on Park Connections  
5.8.3 Goal #19: Promote healthy lifestyle, active transportation

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# Transportation Exhibit



- 1 - VCTC Bus Stop = 0.3 miles
- 2 - MTD Bus Stop = 0.4 miles
- 3 - MTD Bus Stop = 0.5 miles

- 4 - MTD Bus Stop = 0.6 miles
- 5 - MTD Bus Stop = 0.7 miles
- 6 - Amtrak Station = 1.3 miles

- 7 - Santa Barbara Airport = 2.3 miles
- 8 - UCSB = 2.4 miles
- - Dedicated Bike Lane



# Environmental

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## Address Key Issues

- **Biology**

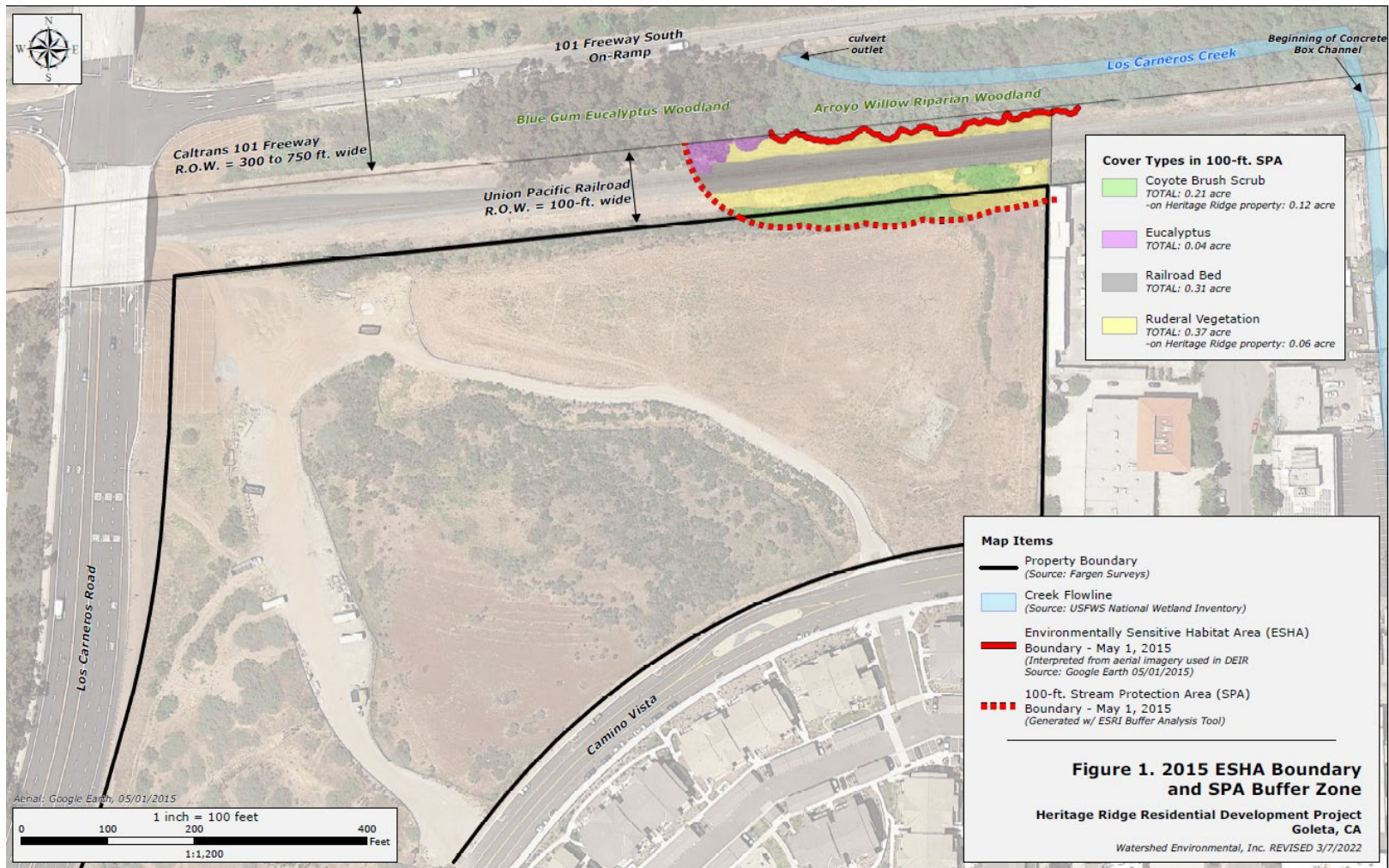
- *SPA Buffer*
- *Vegetation Types*
- *Wildlife*
- *Wildlife Corridor*

- **EIR Conclusions**

- *Biological Impacts Less Than Significant*
- *No ESHA*
- *No T&E Species*

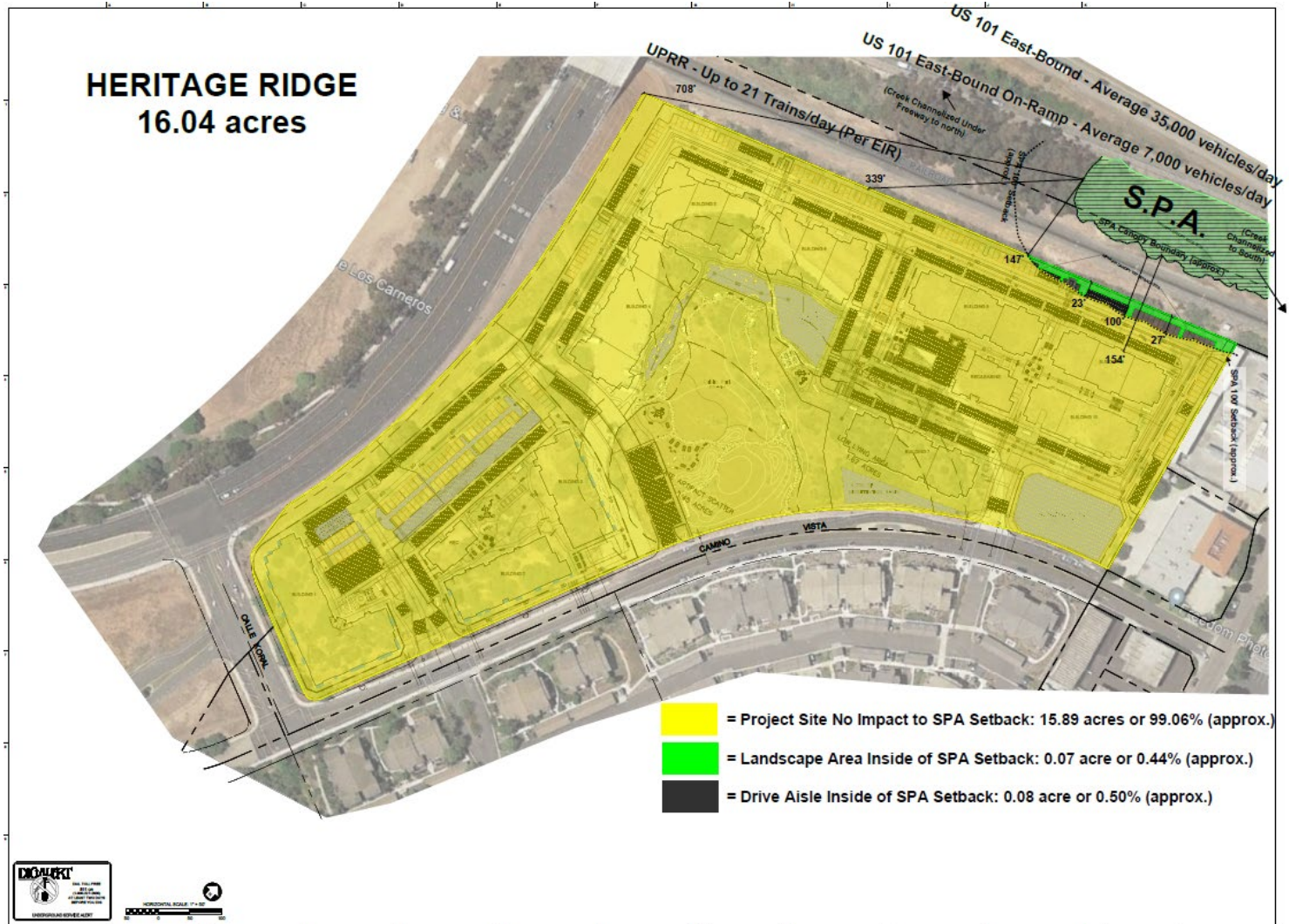


# ESHA Boundary and SPA Buffer





# SPA Before





**DIG-ALERT**  
CALL TOLL FREE  
811 OR  
(508) 457-0000  
AT LEAST TWO DAYS  
BEFORE YOU DIG

**UNDERGROUND SERVICE ALERT**











# Coyote Brush Scrub



# Quail Brush Scrub





# Wildlife Corridors





# Concrete Channel and Culverts





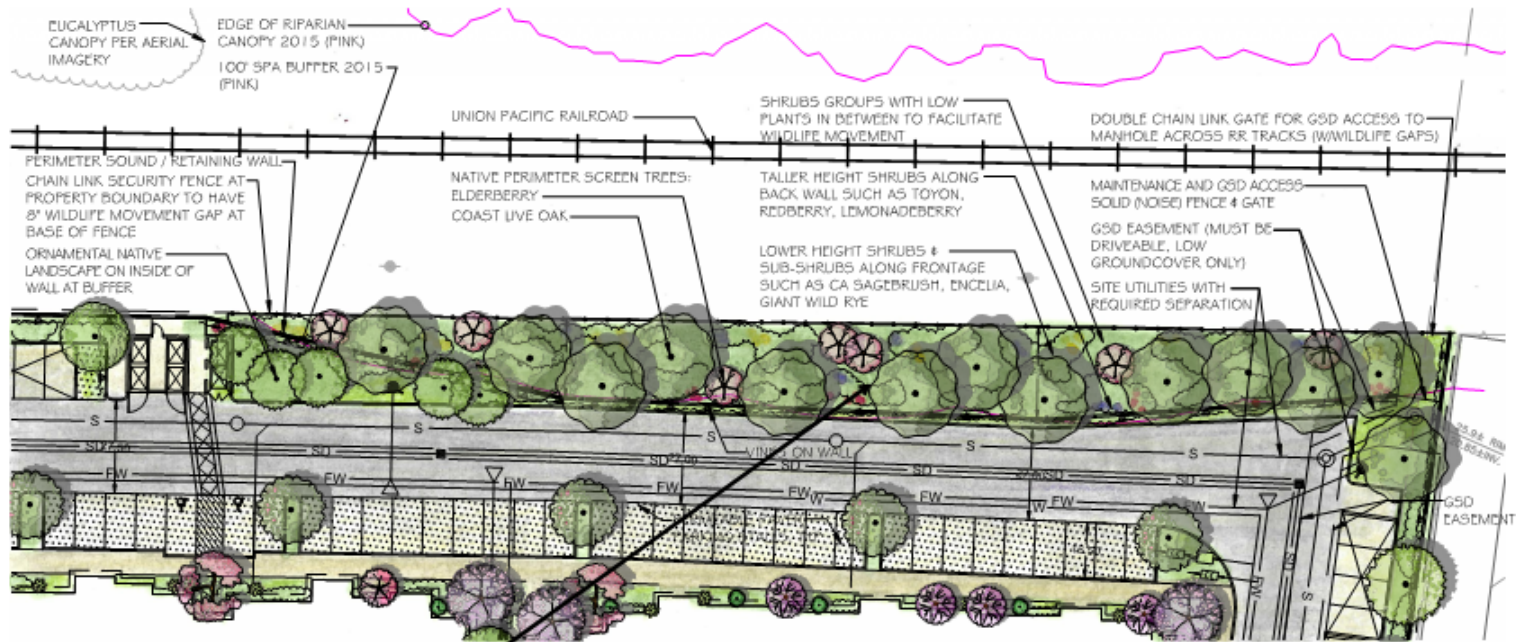








# SPA Buffer Detail



## PLANT PALETTE SPA BUFFER

ALL PLANTS TO BE PROPAGATED FROM LOCALLY COLLECTED GENETIC MATERIAL FROM GOLETA SLOUGH WATERSHED

~7,726 sf Landscape  
Area Outside of Wall

### UPLAND SHRUBS:

*Artemisia californica*  
*Baccharis pilularis* ssp. *consanguinea*  
*Dielsia spicata*  
*Encelia californica*  
*Erigeron fasciculatus*  
*Dryas condensata*  
*Hesperomelos arborescens*  
*Rhamnus crocea*  
*Rhus integrifolia*

California sagebrush  
 Coyote Bush  
 Salt Grass (Vehicular area)  
 California bush sunflower  
 California Buckwheat  
 Giant Wild Rye  
 Toyon  
 Redberry  
 Lemonade berry

Low  
 Low  
 Low  
 Low  
 Low  
 Low  
 Very Low  
 Low

SEE LH-1 FOR ORNAMENTAL NATIVE PLANT PALETTE



TRUE NATURE  
LANDSCAPE ARCHITECTURE

428 W. Santa Anita  
Santa Barbara, CA 93103  
TrueNatureDesign.com  
805.752.2120

## Heritage Ridge

Goleta, California  
FPA Multifamily, LLC

## PRELIMINARY SPA BUFFER EXHIBIT

PROJECT# 1313  
10/29/2021 KJT



SCALE: 1" = 30'-0"

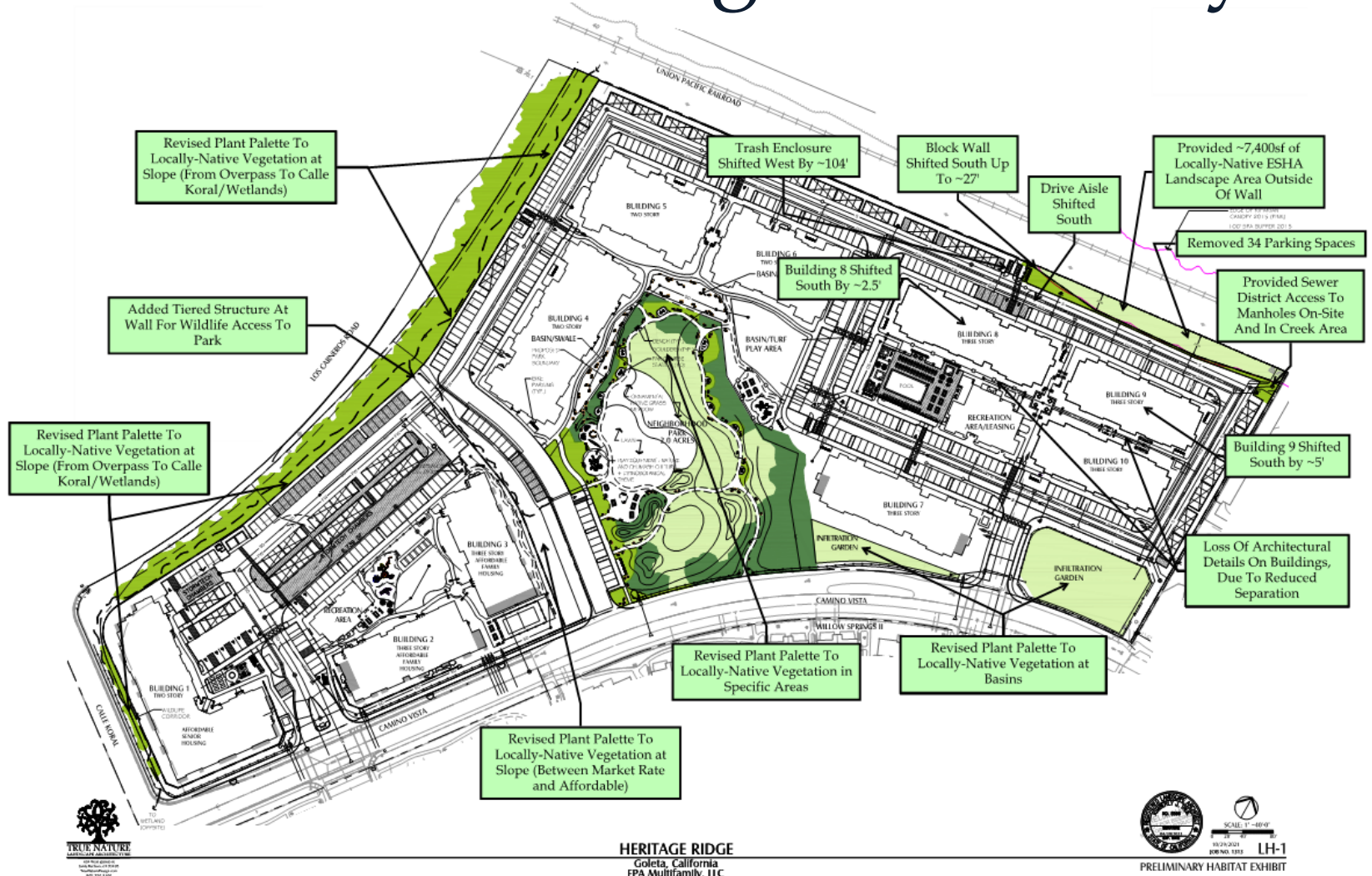
0 15' 30' 60'

L-H2





# EDC Site Changes Summary





# Civil Design

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## Address Key Issues

- Design Solutions
- Export/Grading
- Drainage & Treatment



# ROW Dedications/ Drainage

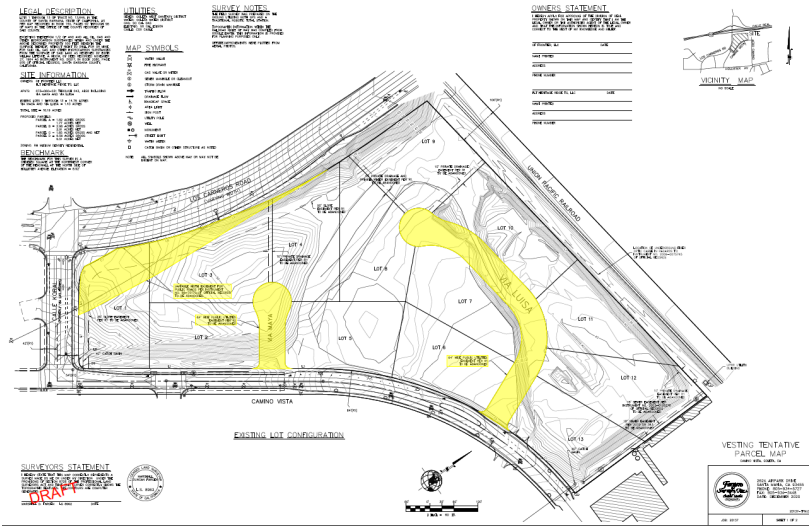
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## Address Key Issues

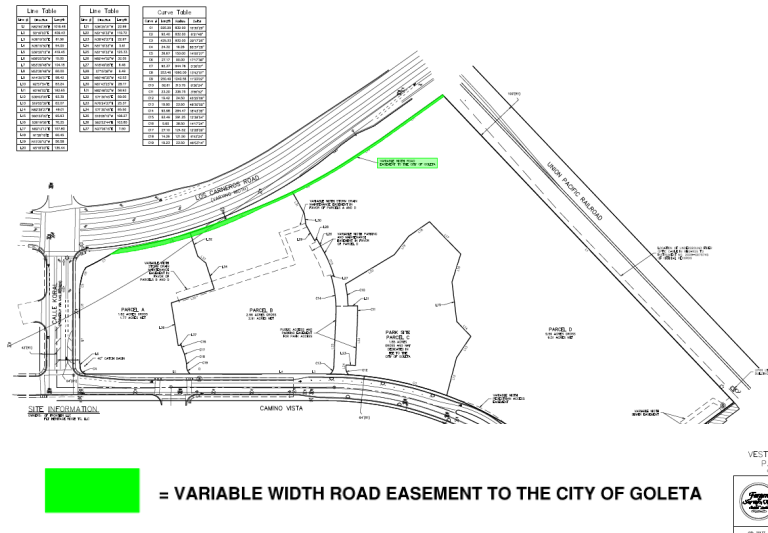
- Easement Abandonments & Acquisition
  - Los Carneros Storm Drain Fix



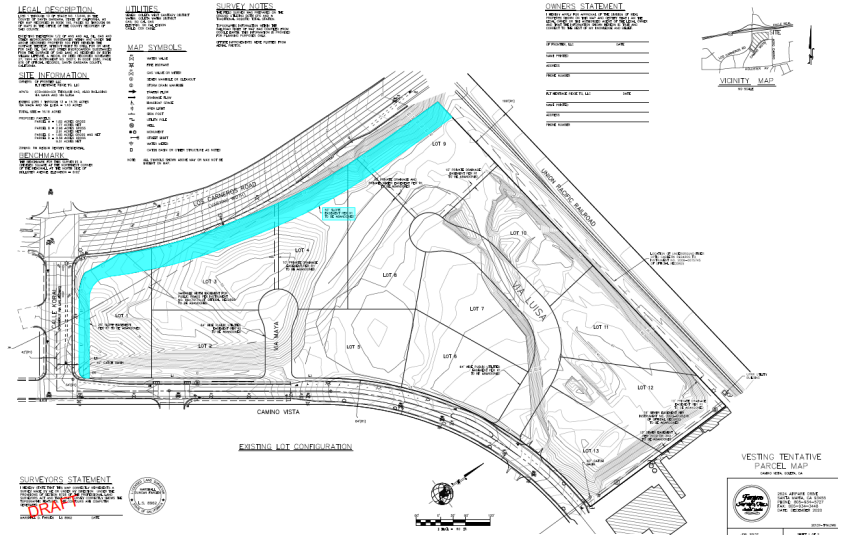
# Easements



**= ABANDONMENT OF EASEMENTS: VIA LUISA, VIA MAYA AND OLD LOS CARNEROS ALIGNMENT**



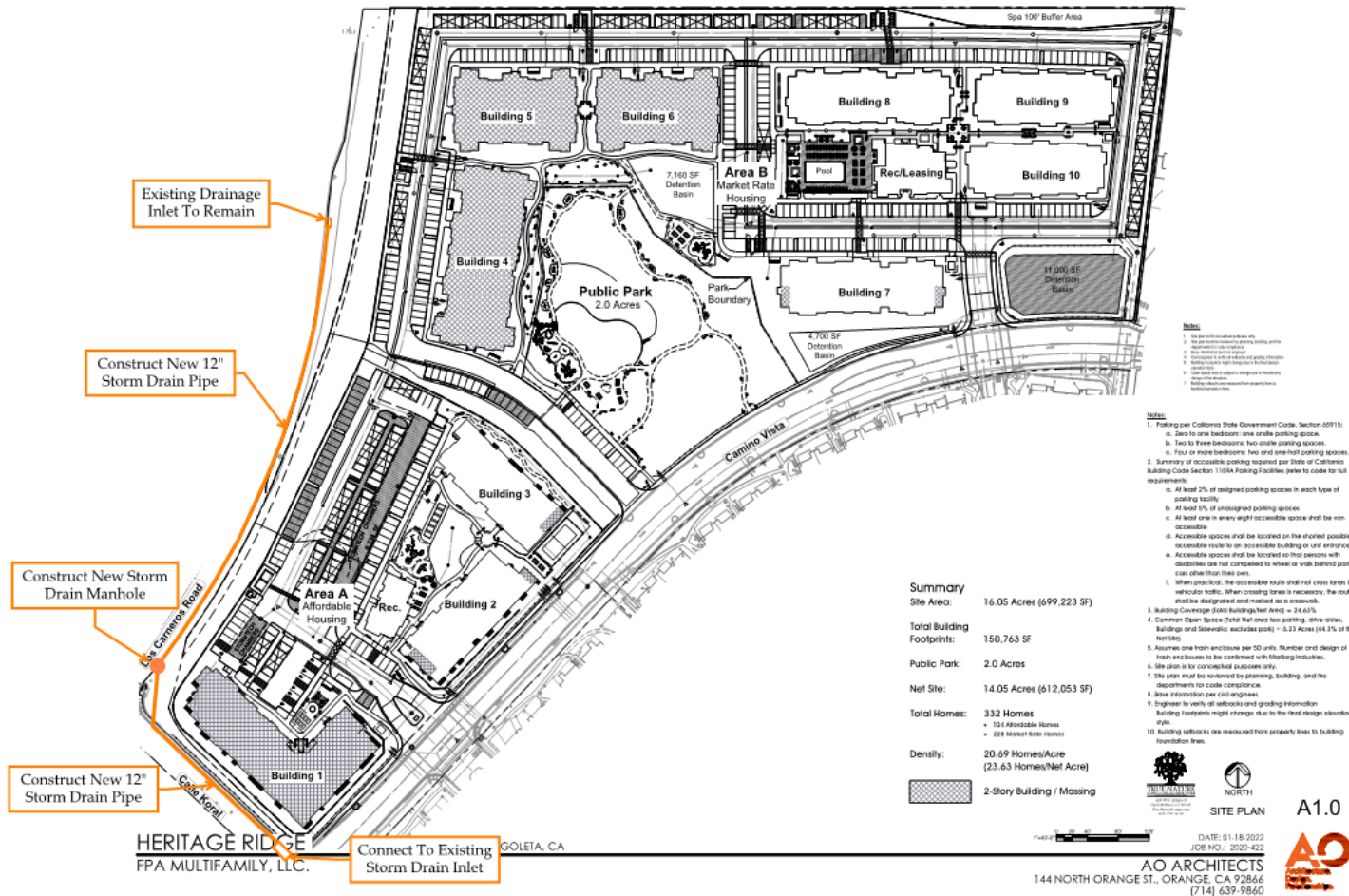
**= VARIABLE WIDTH ROAD EASEMENT TO THE CITY OF GOLETA**



**= ABANDONMENT OF 50' SLOPE EASEMENT**



# Los Carneros Storm Drain







- Challenges w/  
Affordable Housing
- Reason for Decision
- HACSB – Who we are
- Performance History
- Support Services
- Independent Funding  
Requirements
- Levels & Types of  
Affordable Proposed
- RHNA



# Positano



# Pescadero Lofts





# Anticipated Levels of Affordability

Income Levels: 34 Units @ Low & 70 @ Very Low

- Senior Affordable – 41 Units
  - 1 Unit For Onsite Manager
  - 10 Units For Veterans
  - 10 Units For Seniors (Medical Needs)
  - 10 Units For Seniors (Unhoused & Mental Health Needs)
  - 10 Units For Seniors (Lower Income)
- Family Affordable – 63 Units
  - 1 Unit For Onsite Manager
  - 12 Units For Households With Veterans
  - 12 Units For Households With A Member W/ Sig. Medical Needs
  - 14 Units For Households With A Member With Mental Health Need
  - 12 Units For Households Currently Experiencing Homelessness
  - 12 Units For Lower Income Households



# RHNA

**Table 3. 6<sup>th</sup> Cycle RHNA - Goleta and SBCAG Region**

	Goleta	SBCAG Region
RHNA allocation 2023-2031 (housing units)	1,837	24,856

Source: SBCAG, 7/15/2021

**Table 4. 6<sup>th</sup> RHNA by Income Category - Goleta**

Very Low	Low	Moderate	Above Moderate	Total
682	324	370	461	1,837

Source: SBCAG, 7/15/2021

## 5<sup>th</sup> Cycle RHNA – Units to Date

Income Level	RHNA Allocation by Income Level	2015 (and 2014)	2016	2017	2018	2019	2020	2021	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Extremely Low	118	0	0	0	1	0	0	0	1	117
Very Low	117	0	4	0	0	0	0	3	7	110
Low	157	0	73	0	1	7	13	13	107	50
Moderate	174	5	0	7	0	4	0	0	16	158
Above Moderate	413	346	244	210	115	274	5	2	1196	0
Total	979	351	321	217	117	285	18	18	1327	435

104 Affordable Units at Low and Very Low Income Levels = **10%** of 6<sup>th</sup> Cycle Low and Very Low Numbers



# Summary of Key Project Attributes

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- Increase To Much-Needed Rental Housing Supply
  - *Includes 31% Affordable Housing*
- Top Quality Architecture
  - *Reduced Scale & Massing – Improved View Corridor*
- Thoughtful Landscape Design
  - *A Neighborhood Park With Passive & Active Elements*
- Land Dedication For City's Circulation Element & Bikeway Plan
- Centrally Located
- Street Frontage Improvements
  - *Camino Vista Road Widening*
  - *Water Main Relocation*
  - *Los Carneros Storm Drain*



# Summary of Key Project Attributes (cont.)

---

- Reduction of environmental impacts
  - 100% Avoidance of SPA
  - Locally-Native Landscape Planting
  - Improve the view corridor
  - Reduce the export
- Home-Based Childcare
- Architectural design - Reduction of scale & massing
- City's Development Standards
- Affordable Housing – 104 Units
- 2-acre Public Park
- Land Dedications



# Q&A and Appendices

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