

Floor Plan - Existing/Demolition

Legend:  
--- (E) Walls, doors and fixtures to be removed.

Revisions:	Date:

Owner:  
Mecaiah and Carrie Giesy  
200 Cannon Green Drive  
Goleta, Ca. 93117  
Tel.: 805-403-5069  
Email: mecaiahgiesy@yahoo.com  
Email: carrie186@hotmail.com,

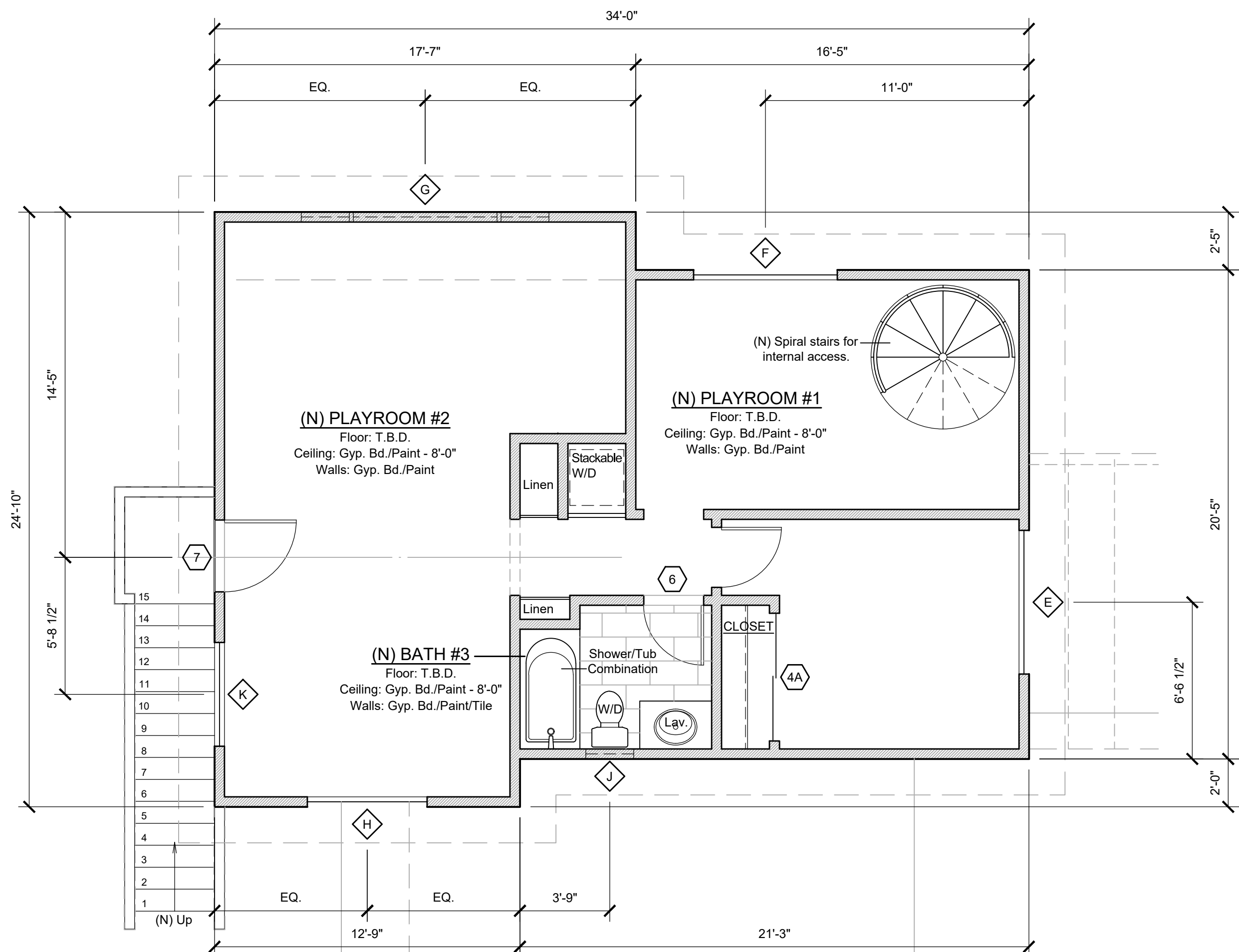
Permitting and Drafting:  
Amy Von Protz  
217 San Napoli Drive  
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Email: H2owill7@netscape.net

Structural:  
-

Contractor:  
T.B.D.

RESIDENCE ADDITION FOR (21-0020-LUP):  
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Email: mecaiahgiesy@yahoo.com  
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Date:
Scale: As Noted
Job: Giesy/Howard
Sheet No.



Floor Plan - Proposed - Upper Level

1/4" = 1'-0"

NOTE:  
Non-compliant plumbing fixtures to be replaced with water-conserving plumbing fixtures.  
Non-compliant plumbing fixtures are as follows: (1) any toilet manufactured to use more than 1.6 gallons of water per flush, (2) showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute, (3) any interior faucet that emits more than 2.2 gallons of water per minute. (CGBSC 301: California Civil Code Section 1101.1)

Water closets, showerheads and lavatory faucets are to be water-conserving type plumbing fixtures and meet the following criteria:

- the effective flush of water closets shall not exceed 1.28 gallons per flush
- showerheads shall have a maximum flow rate of 1.8 gallons per minute at 80 psi.
- lavatory faucets shall have a maximum flow rate of 1.2 gallons per minute at 60 psi and shall have a minimum flow rate of 0.8 gallons per minute at 20 psi.

Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minutes at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be operation at a time. (Note: A hand-held shower is to be considered a showerhead for purposes of this provision.) (CGBSC 4.303)

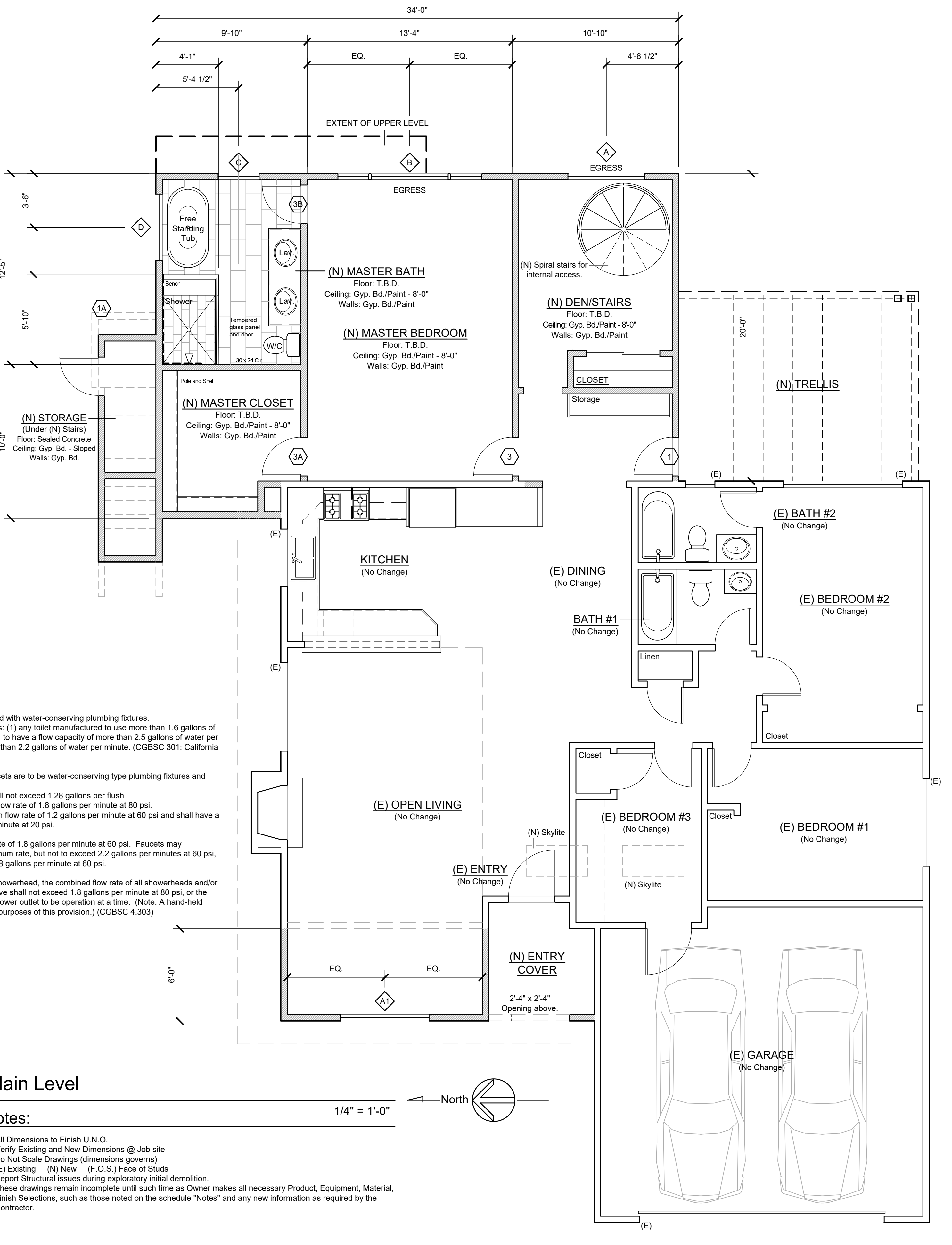
Floor Plan - Proposed - Main Level

Legend

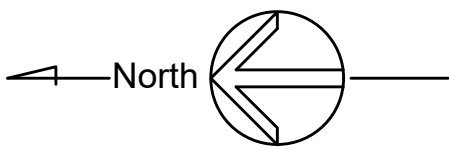
- (E) Walls to remain.
- (N) 2x4 D.F. Studs @ 16" o.c.
- 5/8" Type "x" gyp. bd. Ea. side Typ. (U.N.O.)

Notes:

- All Dimensions to Finish U.N.O.
- Verify Existing and New Dimensions @ Job site
- Do Not Scale Drawings (dimensions governs)
- (E) Existing (N) New (F.O.S.) Face of Studs
- Report Structural issues during exploratory initial demolition.
- These drawings remain incomplete until such time as Owner makes all necessary Product, Equipment, Material, Finish Selections, such as those noted on the schedule "Notes" and any new information as required by the Contractor.

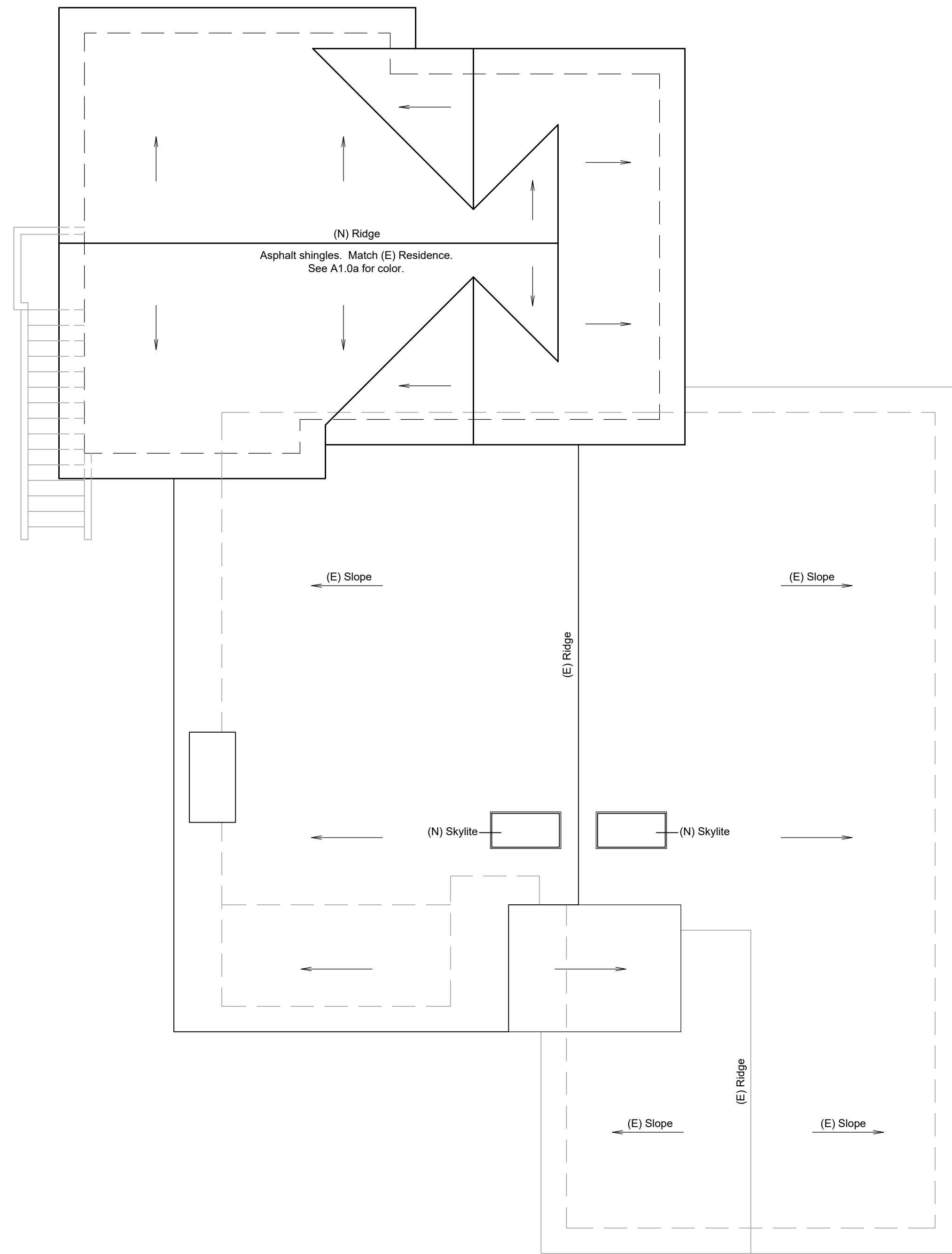


1/4" = 1'-0"



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Scale: As Noted	
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### Roof Plan - Proposed

---

3/16" = 1'-0"

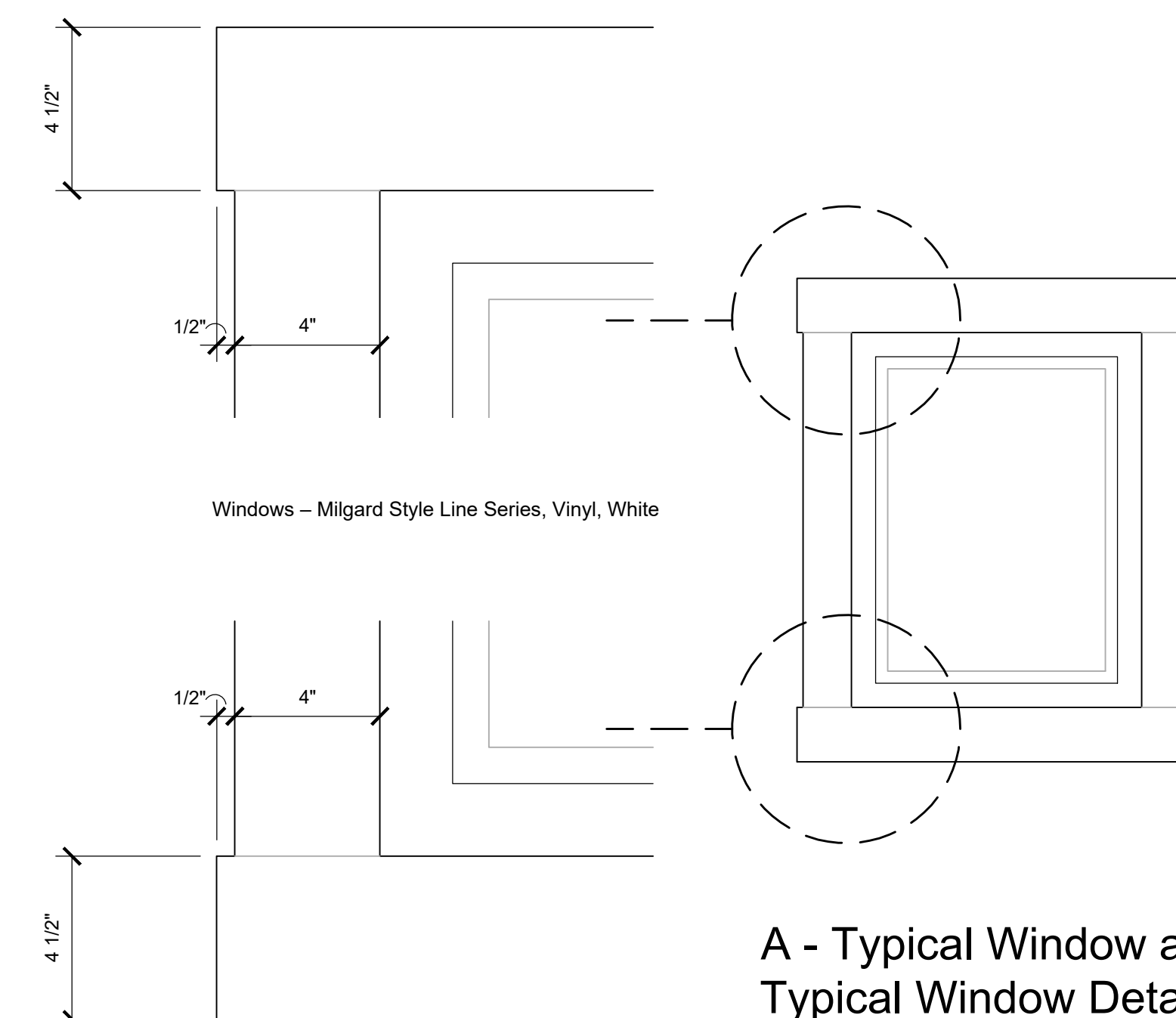
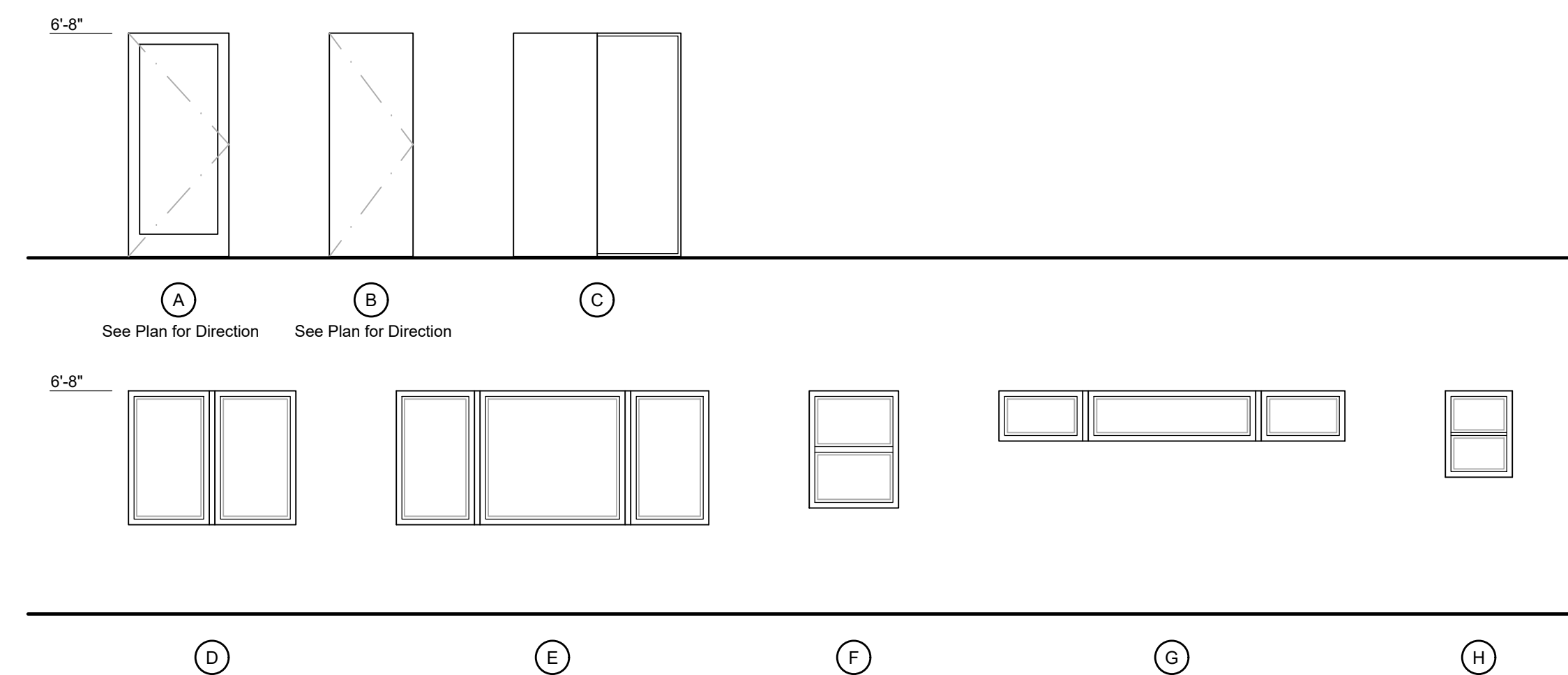
## DOOR SCHEDULE

Symbol	Location	Type	Height	Width	Remarks
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					

### WINDOW SCHEDULE

[illegible]

### Door/Window Elevations



A - Typical Window and Door Trim -  
Typical Window Details

---


$$3'' = 1'-0''$$

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Messick and Gerrie Close

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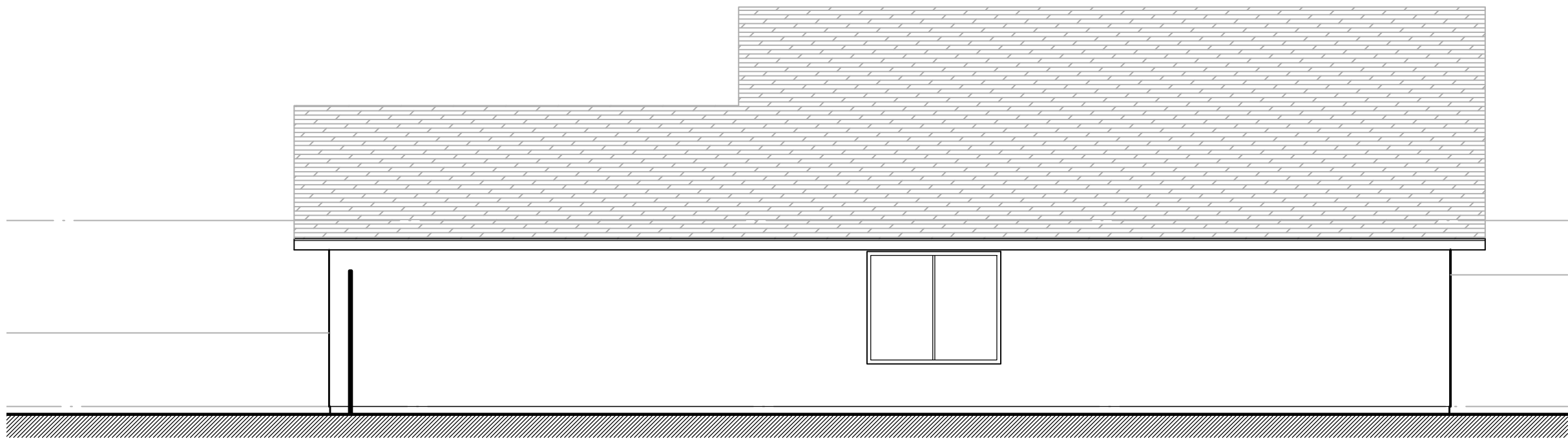
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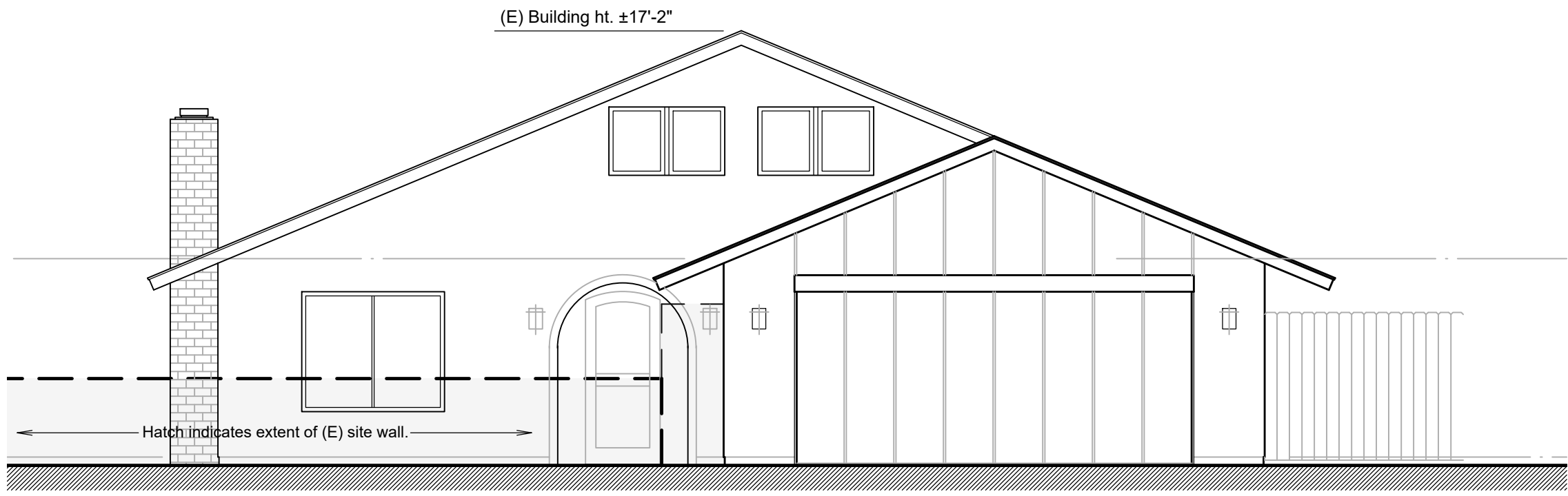
Sheet No.

## A2.1



Existing Exterior Elevation - South

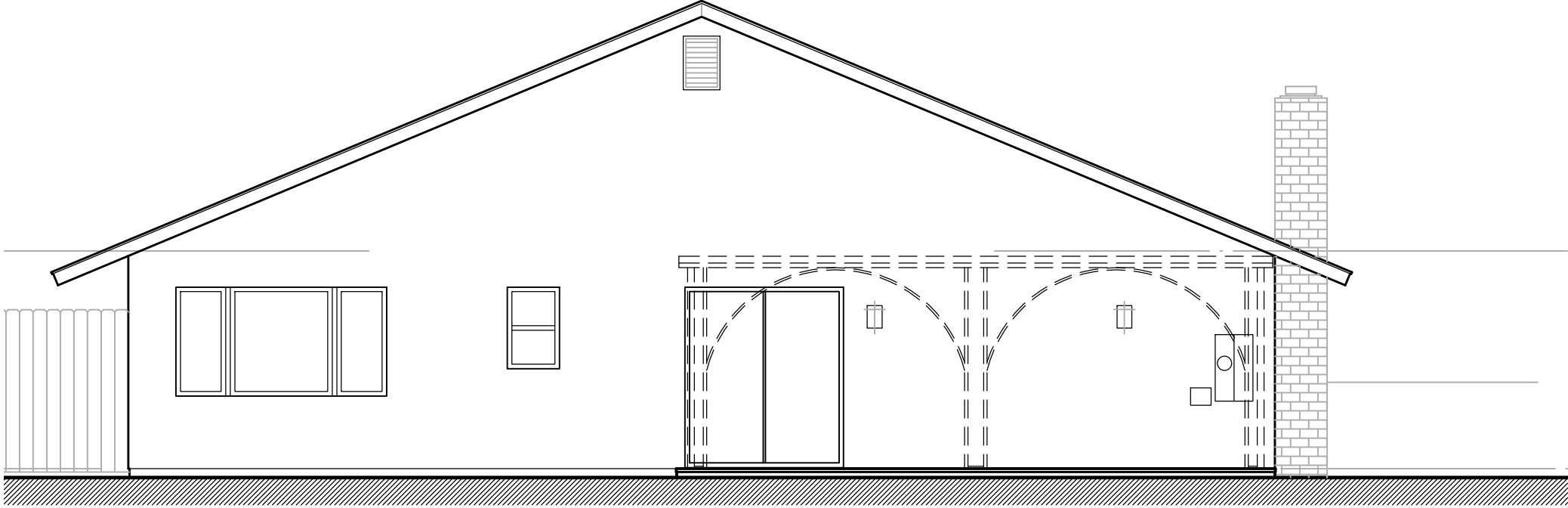
3/16" = 1'-0"



Existing Exterior Elevation - West

Street View - Cannon Green Drive

3/16" = 1'-0"



Existing Exterior Elevation - East

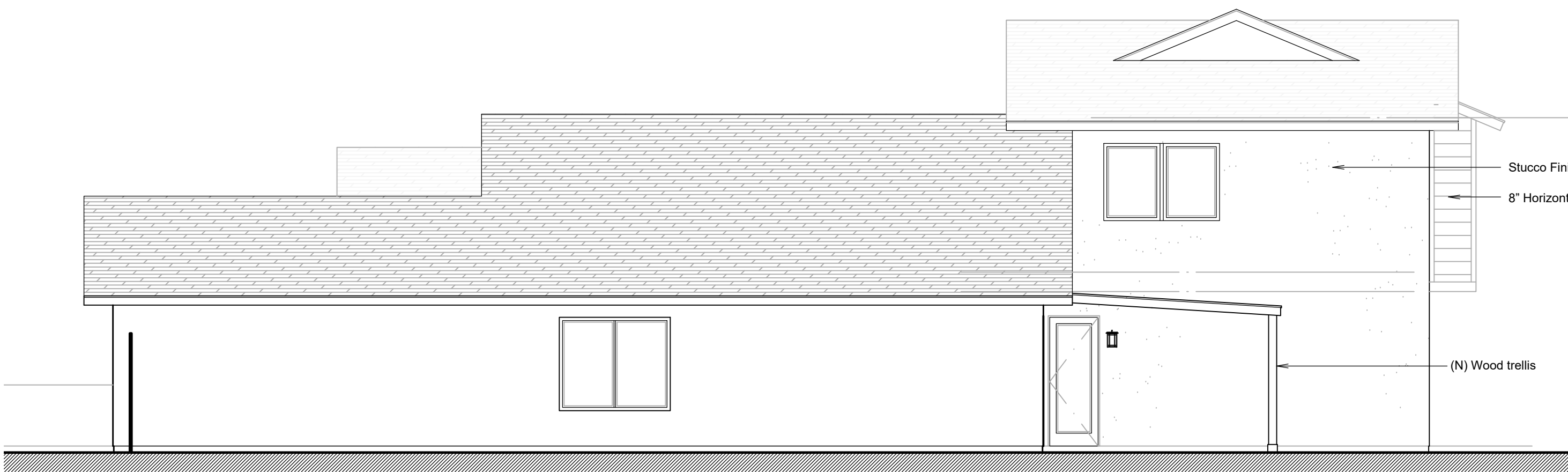
3/16" = 1'-0"



Existing Exterior Elevation - North

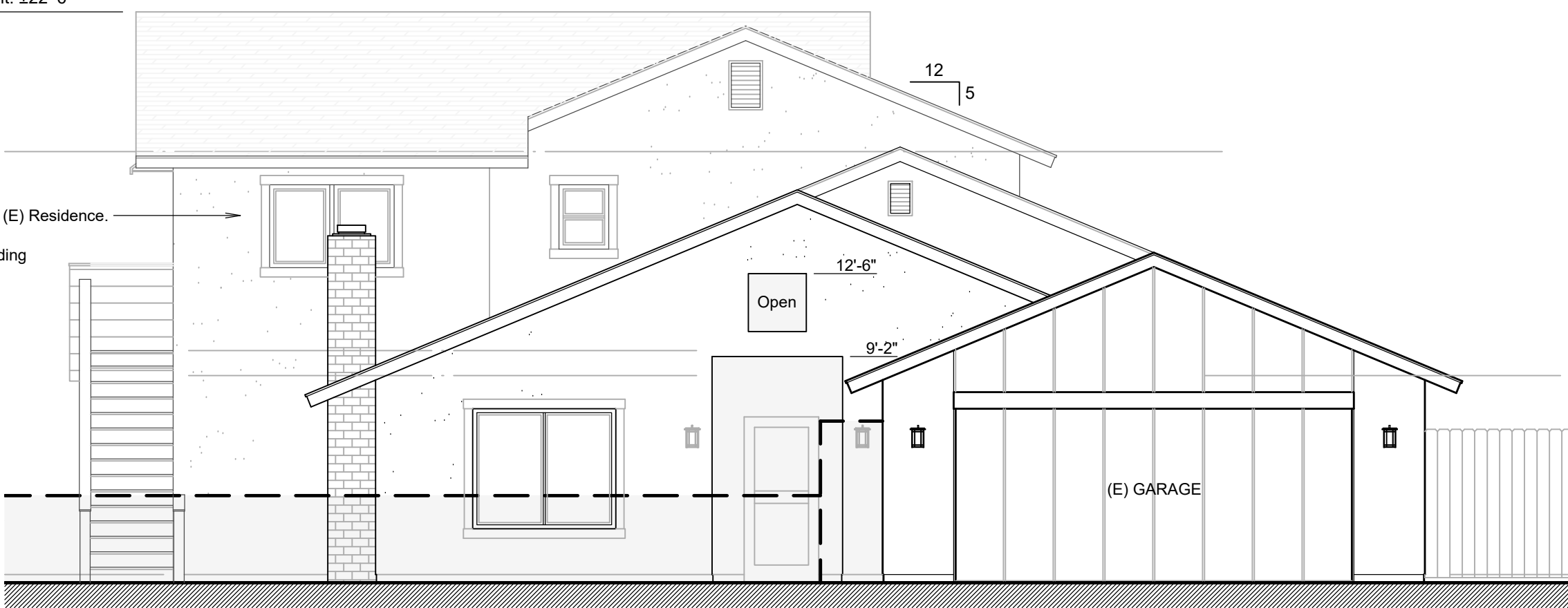
Street View - Hollister Ave.

3/16" = 1'-0"



Proposed Exterior Elevation - South

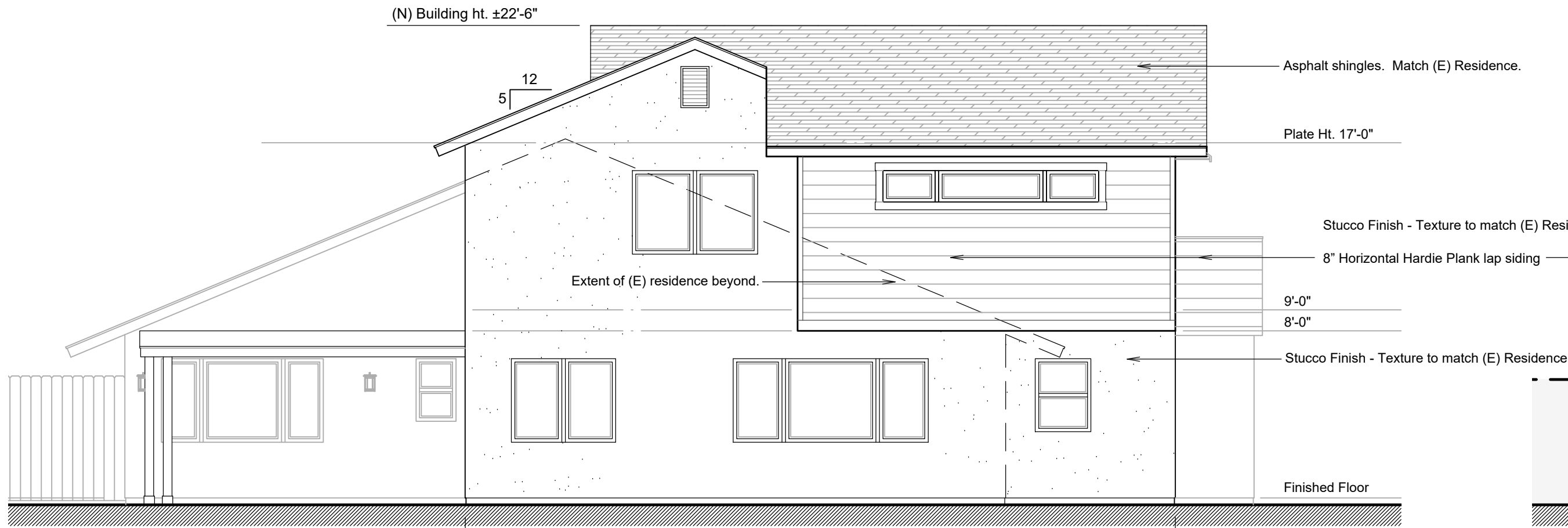
3/16" = 1'-0"



Proposed Exterior Elevation - West

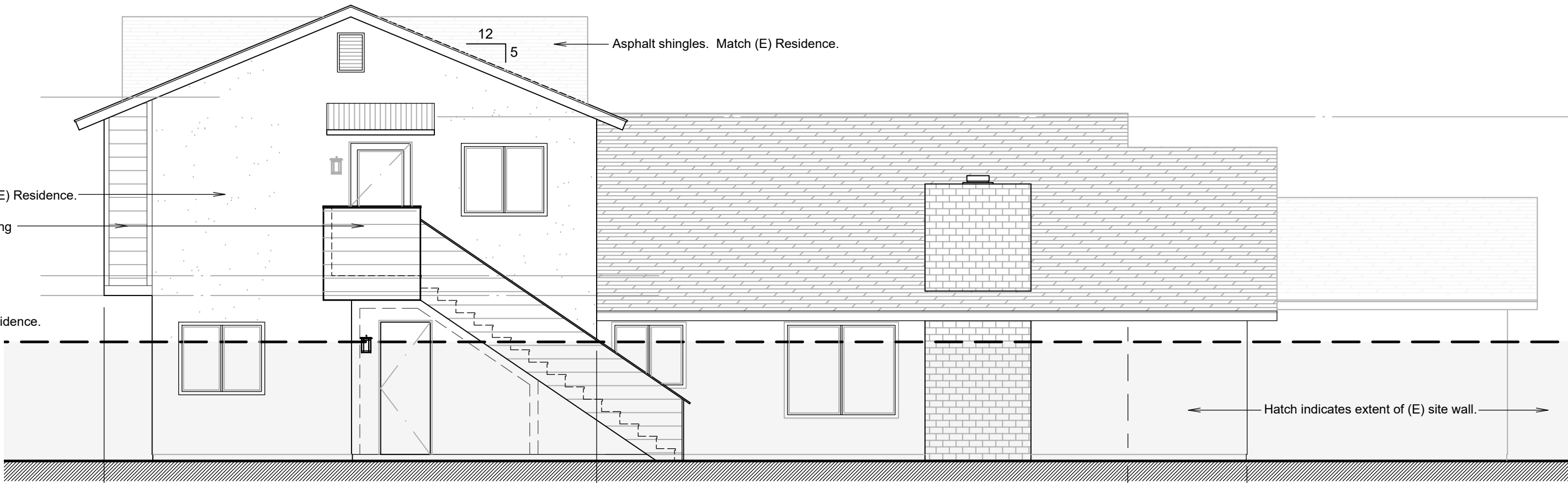
Street View - Cannon Green Drive

3/16" = 1'-0"



Proposed Exterior Elevation - East

3/16" = 1'-0"



Proposed Exterior Elevation - North

Street View - Hollister Ave.

3/16" = 1'-0"

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A3.0