

# GOOGLE GQ2 T.I.

301 MENTOR DRIVE  
GOLETA, CA 93111

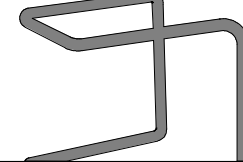
SHUBIN+DONALDSON ARCHITECTS

SANTA BARBARA OFFICE  
414A ANACAPA STREET, SUITE 101  
SANTA BARBARA, CA 93101

PROJECT PHASE: DESIGN REVIEW

6/15/2018  
2:44:09 PM





PROJECT TEAM

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CONTACT - KRISTIN STORY

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MEP

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STRUCTURAL ENGINEER

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LANDSCAPE ARCHITECT

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LIGHTING

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ACQUISITIONS

NEWSON BROWN  
2001 WILSHIRE BOULEVARD, SUITE 301  
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310.829.6343

PROJECT DESCRIPTION

TENANT IMPROVEMENT INSIDE AN EXISTING 2-STORY OFFICE BUILDING. SCOPE TO INCLUDE ARCHITECTURAL, STRUCTURAL, AND MEP BUILD-OUT.

EXTERIOR IMPROVEMENTS:  
A NEW TENANT ENTRY FROM THE WEST SIDE OF THE BUILDING WITH NEW CONCRETE HARDSCAPE PER PLAN.

RELOCATION OF (3) ACCESSIBLE PARKING SPACES INCLUDING (1) VAN ACCESSIBLE PARKING SPACE FROM THE MAIN ENTRY (EAST SIDE OF THE BUILDING) OF THE BUILDING TO THE NEW GOOGLE ENTRY ON THE WEST SIDE OF THE BUILDING.

NEW EQUIPMENT PADS ALONG THE WESTERN PROPERTY LINE FOR (2) NEW GENERATORS, (2) NEW UPS SYSTEMS AND (3) NEW CHILLERS IN THE EXISTING HARDSCAPE AND LANDSCAPE. THE EQUIPMENT IS LOCATED TO NOT REQUIRE THE REMOVAL OF ANY TREES.

NEW EQUIPMENT PAD WITH MISS LAB EQUIPMENT ADJACENT TO THE BUILDING, SCREENED WITH A NEW METAL SCREEN.

LANDSCAPE STATISTICS:  
CURRENTLY 22% OF THE SITE ARE LANDSCAPE AREAS.  
50,791 SF IN TOTAL.

THE PROPOSED CONCRETE PAD SIZES LOCATED IN (E) LANDSCAPE

AREAS ARE AS FOLLOWS:  
- UTILITY PAD ADJACENT TO BUILDING 440 SF  
- GENERATOR PADS 278 SF  
- UPS CONTAINER PADS 377 SF

TOTAL ADDED CONCRETE PADS 1,095 SF

THE PROPOSED NEW HARDSCAPE TO THE NEW ENTRANCE IS 764 SF

TOTAL ADDED CONCRETE HARDSCAPE LOCATED IN (E) LANDSCAPE AREAS 1,859 SF

PROPOSED NEW LANDSCAPE AREAS AREA TOTAL OF 48,932 SF, WHICH IS 21% OF THE TOTAL SITE AREA.  
THE MINIMUM REQUIRED IS 10%.

THE PROPOSED CONCRETE PADS LOCATED IN (E) HARDSCAPE AREAS ARE AS FOLLOWS:

- GENERATOR PAD 278 SF  
- UPS CONTAINER PADS 377 SF  
- CHILLER PADS 375 SF

TOTAL ADDED CONCRETE PADS 1,030 SF

THE EQUIPMENT WILL TAKE UP A TOTAL OF 12 PARKING SPACES.

PARKING:  
REQUIRED PARKING 210 SPACES  
33% COMPACT PARKING MAX. 70 SPACES

(E) PARKING 213 SPACES INCLUDING 2 VAN ACCESSIBLE SPACES AND 7 ADA ACCESSIBLE SPACES AND 2 DOUBLE WIDE SPACES  
(E) COMPACT PARKING 67 SPACES  
AND 8 MOTORCYCLE SPACES

PROPOSED PARKING SPACES 210 SPACES AND 8 MOTORCYCLE

INCLUDING 2 VAN ACCESSIBLE SPACES AND 7 ADA ACCESSIBLE SPACES  
PROPOSED COMPACT PARKING 65 SPACES

ACHIEVED BY:  
REPLACE THE 2 DOUBLE WIDE SPACES WITH 4 STANDARD SPACES, GAINS 2 SPACES  
- RESTRIPE 5 SPACES ON WEST SIDE, GAINS 5 SPACES -  
- RESTRIPE 3 SPACES ON SOUTH SIDE, GAINS 3 SPACES -  
- RESTRIPE (E) EXIT AISLE, GAIN 1 SPACE  
- REMOVE 12 EXISTING COMPACT SPACES, LOSS OF 12 SPACES  
- RELOCATION OF ADA SPACES, LOSS OF 2

NET CHANGES ON THE PROPERTY IS A LOSS OF 3 SPACES

PROJECT DATA

CLIENT CONTACT  
ALLEN SCOTT  
GLOBAL WORKPLACE SOLUTIONS @ GOOGLE  
408.234.8531

PROJECT ADDRESS  
301 MENTOR DRIVE  
PARCEL ID NUMBER (PIN): 10876 BK 4, PAGE 27  
LOT AREA: 6,022 ACRES GROSS  
ASSESSOR PARCEL NO. (APN): 071-140-074  
MAP REFERENCE: 14,448 PM BK. 53, PG 44  
BLOCK: NONE  
LOT: NA  
MAP SHEET: BK. 31 PGS 39 AND 40

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY DESCRIBED AS PARCEL B OF PARCEL MAP NO. 14,448, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 53, PAGES 43 AND 44 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL TWO:

AN EASEMENT FOR THE CONSTRUCTION, EXCAVATION, RECONSTRUCTION, USE, OPERATION, MAINTENANCE, REPAIR, ADDITION TO, ALTERATION, REPLACEMENT, AND REMOVAL OF A FLOOD CONTROL CHANNEL AND DRAINAGE WAY AND FACILITIES, AND APPURTENANCES THERETO, IN, OVER, UNDER, UPON, ON AND THROUGH A PORTION OF THAT CERTAIN REAL PROPERTY DESCRIBED AS PARCEL 2 OF PARCEL MAP NO. 12,911, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGES 39 AND 40 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY (PARCEL 2), THE EASEMENT AREA IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL 2, THENCE SOUTH 107°00' WEST, 32.00 FEET ALONG THE WEST LINE OF SAID PARCEL 2 TO THE TRUE POINT OF BEGINNING;  
THENCE 1ST, SOUTH 88°53'00" EAST, 30.50 FEET ALONG THE SOUTHERLY LINE OF EKWILL STREET, 64 FEET IN WIDTH, AS SHOWN ON SAID MAP;  
THENCE 2ND, SOUTH 107°00' WEST, 708.01 FEET LEAVING SAID SOUTHERLY LINE;  
THENCE 3RD, SOUTH 42°13'38" WEST, 185.66 FEET;  
THENCE 4TH, SOUTH 107°00' WEST, 250.85 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 2;  
THENCE 5TH, SOUTH 86°09'00" WEST, 20.08 FEET ALONG SAID SOUTHERLY LINE TO THE SOUTHWEST CORNER OF SAID PARCEL 2;  
THENCE 6TH, NORTH 107°00' EAST, 1145.86 FEET ALONG THE WEST LINE OF SAID PARCEL 2 TO THE TRUE POINT OF BEGINNING.

SAID EASEMENT INCLUDES THE RIGHT TO UNIMPEDED VEHICULAR AND PEDESTRIAN ACCESS IN, OVER, ON, UPON, AND THROUGH THE EASEMENT AREA FOR THE PURPOSE OF UTILIZING THE EASEMENT, SAID EASEMENT ALSO INCLUDES THE RIGHT TO REMOVE ANY AND ALL OBSTRUCTIONS TO THE GRANTEE'S USE OF THE DESCRIBED EASEMENT AREA, AND THE RIGHT TO DEPOSIT TOOLS, IMPLEMENTS, AND OTHER MATERIALS WITHIN THE EASEMENT AREA AS NECESSARY FOR THE USE OF THE EASEMENT.

PARCEL THREE:

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, AND ACCESS PURPOSES OVER, UPON, AND THROUGH THAT PORTION OF SAID PARCEL 2 OF PARCEL MAP NO. 12911 RECORDED IN BOOK 31, PAGES 39 AND 40 OF PARCEL MAPS, WHICH IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL 2, THENCE SOUTH 107°00' WEST, 32.00 FEET ALONG THE WEST LINE OF SAID PARCEL 2, THENCE SOUTH 88°53'00" EAST, 30.50 FEET ALONG THE SOUTHERLY LINE OF EKWILL STREET, 64 FEET IN WIDTH, AS SHOWN ON SAID MAP TO THE TRUE POINT OF BEGINNING;  
THENCE 1ST, SOUTH 88°53'00" EAST, 15.00 FEET ALONG SAID SOUTHERLY LINE;  
THENCE 2ND, SOUTH 107°00' WEST, 708.44 FEET LEAVING SAID SOUTHERLY LINE;  
THENCE 3RD, SOUTH 42°13'38" WEST, 185.66 FEET;  
THENCE 4TH, SOUTH 107°00' WEST, 249.12 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 2 FROM WHICH THE SOUTHWEST CORNER OF SAID PARCEL 2 BEARS SOUTH 86°09'00" WEST;  
THENCE 5TH, SOUTH 86°09'00" WEST, 15.06 FEET ALONG SAID SOUTHERLY LINE;  
THENCE 6TH, NORTH 107°00' EAST, 250.85 FEET LEAVING SAID SOUTHERLY LINE;  
THENCE 7TH, NORTH 42°13'38" EAST, 185.66 FEET;  
THENCE 8TH, NORTH 107°00' EAST, 708.01 FEET TO THE TRUE POINT OF BEGINNING.

SAID EASEMENT INCLUDES THE RIGHT TO UNIMPEDED VEHICULAR AND PEDESTRIAN ACCESS IN, OVER, ON, UPON, AND THROUGH THE EASEMENT AREA FOR THE PURPOSE OF USING THE EASEMENT, SAID EASEMENT ALSO INCLUDES THE RIGHT TO REMOVE ANY AND ALL OBSTRUCTIONS TO THE GRANTEE'S USE OF THE EASEMENT AREA AND THE RIGHT TO DEPOSIT TOOLS, IMPLEMENTS, AND OTHER MATERIALS AS NECESSARY FOR THE USE OF THE EASEMENT DESCRIBED AS PARCEL TWO.

PARCEL FOUR:

AN EASEMENT FOR INGRESS AND EGRESS OVER A PORTION OF PARCEL B OF PARCEL MAP NO. 14382 RECORDED IN BOOK 51, PAGES 75 AND 76 OF PARCEL MAPS, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, SHOWN ON SAID MAP AS "27' WIDE EASEMENT FOR INGRESS AND EGRESS IN FAVOR OF PARCEL A PER THIS MAP".

PARCEL FIVE:

A 27 FOOT WIDE EASEMENT FOR "PRIVATE ROAD PURPOSES IN FAVOR OF PARCEL B" PER THIS MAP". AS SHOWN GOING OVER PARCEL A OF PARCEL MAP NO. #14,448 RECORDED IN BOOK 53, PAGE 43 AND 44 OF PARCEL MAPS.

PARCEL SIX:

AN EASEMENT FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES THERETO IN, ON AND OVER THE FOLLOWING DESCRIBED PROPERTY: THAT PORTION OF PARCEL A OF PARCEL MAP NO. 14382 RECORDED IN BOOK 51, PAGES 39 AND 40 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SANTA BARBARA COUNTY, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID PARCEL A;  
THENCE 1ST, S. 0°07'04" W. ALONG THE WESTERLY LINE OF SAID PARCEL A, A DISTANCE OF 376.29 FEET;  
THENCE 2ND, N. 08°12'51" E., A DISTANCE OF 33.49 FEET;  
THENCE 3RD, N. 01°04'53" E., A DISTANCE OF 53.81 FEET;  
THENCE 4TH, N. 05°40'18" E., A DISTANCE OF 47.30 FEET;  
THENCE 5TH, N. 04°34'51" E., A DISTANCE OF 8.06 FEET;  
THENCE 6TH, N. 02°16'17" E., A DISTANCE OF 8.06 FEET;  
THENCE 7TH, N. 07°07'00" E., A DISTANCE OF 44.77 FEET;  
THENCE 8TH, N. 06°46'18" E., A DISTANCE OF 15.37 FEET;  
THENCE 9TH, N. 18°04'54" E., A DISTANCE OF 30.74 FEET;  
THENCE 10TH, N. 04°16'18" E., A DISTANCE OF 15.37 FEET;  
THENCE 11TH, N. 07°07'00" E., A DISTANCE OF 105.00 FEET;  
THENCE 12TH, N. 11°06'17" E., A DISTANCE OF 9.21 FEET;  
THENCE 13TH, N. 31°42'35" E., A DISTANCE OF 17.58 FEET TO A POINT IN THE NORTHERLY LINE OF SAID PARCEL A;  
THENCE 14TH, N. 85°51'25" W. ALONG SAID NORTHERLY LINE, A DISTANCE OF 34.61 FEET TO THE POINT OF BEGINNING.

PARCEL SEVEN:

AN EASEMENT FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES THERETO IN, ON AND OVER THE FOLLOWING DESCRIBED PROPERTY:

THAT PORTION OF PARCEL A OF PARCEL MAP NO. 14382 RECORDED IN BOOK 51, PAGES 75 AND 76 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SANTA BARBARA COUNTY, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL A;  
THENCE 1ST, S. 0°07'04" W. ALONG THE EASTERLY LINE OF SAID PARCEL A, A DISTANCE OF 343.67 FEET;  
THENCE 2ND, N. 85°50'57" W., A DISTANCE OF 31.07 FEET;  
THENCE 3RD, N. 07°04'53" E., A DISTANCE OF 52.59 FEET;  
THENCE 4TH, N. 04°07'08" E., A DISTANCE OF 65.04 FEET;  
THENCE 5TH, N. 07°04'53" E., A DISTANCE OF 214.88 FEET;  
THENCE 6TH, N. 13°46'16" W., A DISTANCE OF 12.81 FEET TO THE NORTHERLY LINE OF SAID PARCEL A;  
THENCE 7TH, S. 85°51'25" E. ALONG SAID NORTHERLY LINE, A DISTANCE OF 31.27 FEET TO THE

GOOGLE GQ2 T.I.

301 MENTOR DRIVE  
GOLETA, CA 93111

DESIGN REVIEW

SCALE: As indicated

DATE: 06/04/2018

REV.	DATE	DESCRIPTION

ALL IDEAL DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND ARE PROPERTY OF SHUBIN + DONALDSON INC. AND WERE CREATED AND DEVELOPED FOR USE IN CONNECTION WITH THE PROPOSED PROJECT. NONE OF ANY IDEAS, DESIGNS, OR PLANS SHALL BE USED FOR ANY PURPOSE, WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF SHUBIN + DONALDSON INC. © SHUBIN + DONALDSON

PROJECT INFO SHEET

A0.01

#	SHEET NAME
A0.00	COVER SHEET
A0.01	PROJECT INFO SHEET
A0.02	(E) SITE SURVEY
A1.00	PROPOSED SITE PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	ENLARGED EXT. WEST ELEVATIONS
AD01.01	DEMO LANDSCAPE PLAN
PL-1.00	EXISTING TREE PLAN
PL-0.01	APPROVED LANDSCAPE PLAN
PL-0.02	APPROVED LANDSCAPE PLAN
PL-1	PRELIM. LANDSCAPE PLANS

APPLICABLE CODES

PROJECT SHALL COMPLY WITH:  
2016 CBC  
2016 CBC GREEN BUILDING CODE  
2016 CBC ELECTRICAL CODE  
2016 CBC MECHANICAL CODE  
2016 CBC PLUMBING CODE  
2016 CBC ELEVATOR CODE

BUILDING INFORMATION

NUMBER OF STORIES

2 (EXISTING)

TYPE OF CONSTRUCTION

II-N

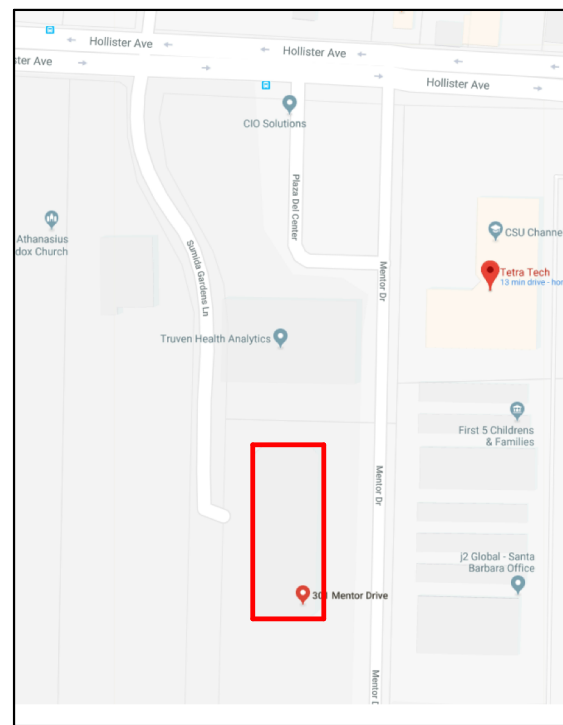
USE

OCCUPANCY GROUP CLASSIFICATION

MAJOR USE: B

ACCESSORY/SUPPORT USES: OFFICE - GROUP B

VICINITY MAP



PROJECT DESCRIPTION CONTINUED

THE PROJECT WAS BUILT IN 1999 AND ALL LANDSCAPING AND TREES ARE MATURE NOW. THE PAPER BARK TREES ARE PLANTED VERY CLOSE TO THE BUILDING AND ARE BLOCKING DAY LIGHT FROM ENTERING THE BUILDING. THEY HAVE BEEN PRUNED ON THE TOP TO NOT BLOCK THE VIEWS FROM THE SECOND STORY. DUE TO ALL THESE FACTORS, THE TREES ARE NOT LOOKING GOOD AND WE RECOMMEND THE REMOVAL OF (8) OF THEM IN THE AREA OF THE NEW TENANT ENTRY. WE ARE PROPOSING A NEW PLANTER AREA ALONG THE NEW HARDSCAPE TO THE ENTRY AND REPLANTING OF A PLANTER ACROSS THE ENTRY WITH DROUGHT RESISTANT PLANTS. PLEASE REFER TO THE NEW LANDSCAPE PLAN FOR PLANTING INFORMATION.

WE ARE ALSO PROPOSING TO PLANT 6 NEW TREES IN THE AREAS OF THE NEW EQUIPMENT AND NEW VINES ON THE SOUTH AND NORTH SIDE OF THE TRASH ENCLOSURE. PLEASE REFER TO LANDSCAPE PLANS FOR LOCATION AND TYPE.

ALL SITE AMENITIES AS THE BASKET BALL COURT, THE SAND VOLLEYBALL COURT, THE EXTERIOR PATIO AREA WITH BBQ AND THE KOI POND WILL REMAIN AS IS.

WE ARE ALSO PROPOSING THE REMOVAL OF AN EXISTING ROLL UP DOOR ON THE SOUTH SIDE AND FILLING IT IN WITH NEW STOREFRONT TO MATCH THE EXISTING STOREFRONT, BUT DUAL GLAZED.

GENERAL NOTES

1. INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.

2. ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEViate FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

3. WORKING DRAWING: FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE ARCHITECT FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.

4. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.

5. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK.

6. WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DEEMED EQUIVALENT BY THE ENGINEER AND THE ARCHITECT TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED.

7. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS THE KIND AND QUALITY OF MATERIALS.

8. IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

B. PERMITS AND REGULATIONS

1. EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH HIS RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.

2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE, AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.

3. IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE HE SHALL BEAR ALL COST ARISING THEREFROM.

C. PROTECTION OF WORK & PROPERTY

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK. HE SHALL PROVIDE, DURING THE PROGRESS OF HIS WORK, EVERY AND ADEQUATE SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJOINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.

2. THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT, AND EVEN IF THE PERFORMANCE OF THE CONTRACT INVOLVES A GREATER EXPENDITURE OF MONEY THAN THE CONTRACTOR EXPECTED AT THE TIME OF BIDDING, NO ALLOWANCE WILL BE MADE ON ACCOUNT THEREOF, AND THE CONTRACTOR SHALL CONTINUE WITH AND COMPLETE THE WORK.

D. SUPERVISION

1. THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK, USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE ARCHITECT SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.

E. DAMAGES IN THE WORK

1. THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE ARCHITECT. SUCH ORDERS SHALL COVER THE AGREED PRICE AND TERMS OF EXTRA WORK OR CHANGES. IF WORK IS TO BE OMITTED THEN PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN THE OWNER.

F. CLEANING BUILDING AND PREMISES

1. PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE EXTERIOR AND INTERIOR OF THE BUILDING, INCLUDING FIXTURES, EQUIPMENT, FLOORS AND HARDWARE, REMOVING ALL PLASTER SPOTS, STAINS, PAINT SPOTS AND ACCUMULATED DUST AND DIRT. THIS SHALL INCLUDE THOROUGH CLEANING OF ALL ROOFS, WINDOW SILLS AND LEDGES, HORIZONTAL PROJECTIONS, STEPS, RAILS, SIDEWALKS OR OTHER SURFACES WHERE DEBRIS MAY HAVE COLLECTED. WASH AND POLISH ALL GLASS.

G. GUARANTEES

1. EXCEPT AS OTHERWISE SPECIFIED, ALL WORK SHALL BE GUARANTEED IN WRITING BY THE CONTRACTOR AGAINST DEFECTS RESULTING FROM THE CONTRACTOR'S WORK, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING THE NOTICE OF COMPLETION AND THE ACCEPTANCE OF THE BUILDING BY THE OWNER. IF WITHIN THE GUARANTEE PERIOD CORRECTION OF FAULTY MATERIALS OR WORKMANSHIP IS NECESSARY IN THE OPINION OF THE CONTRACTOR, THE CONTRACTOR SHALL, PROMPTLY, UPON RECEIPT OF NOTICE FROM THE OWNER AND WITHOUT EXPENSE TO THE OWNER, CORRECT FAULTY MATERIALS OR WORKMANSHIP.

H. VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

1. WHEN APPLICABLE THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING LOCATING AND DESCRIBING ALL UNDERGROUND UTILITIES LOCATED ON THE SITE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: GAS LINES, WATER LINES, SANITARY SEWERS, TELEPHONE LINES, AND ELECTRIC LINES.

I. TRANSPORTATION OF EXCAVATED MATERIAL

1. WHEN APPLICABLE, THE CONTRACTOR SHALL TRANSPORT ALL EXCAVATED MATERIAL NOT REQUIRED FOR RE-CONSTRUCTION TO AN APPROVED LANDFILL SITE OUTSIDE THE COASTAL ZONE. PROVIDE TRIP TICKETS FOR ALL EXCAVATED MATERIAL REMOVED FROM THE PROJECT.

& AND  
@ ANGLE  
d PENNY  
L PERPENDICULAR  
A/C AIR CONDITIONER / CONDITIONING  
AB ARCH BOLT  
ABV ABOVE  
AC ASPHALTIC CONCRETE  
AD AREA DRAIN  
ADA AMERICANS WITH DISABILITIES ACT  
ADJ ADJUSTABLE / ADJANESCENT  
AP ABOVE FINISHED  
AFF ABOVE FINISHED GRADE  
AFS ABOVE FINISHED SLAB  
ALUM ALUMINUM  
ALT ALTERNATE  
ANOD ANODIZED  
AP ACCESS PANEL  
APPR APPROXIMATELY  
OX  
ARCH ARCHITECT(URAL)  
ASPH ASPHALT  
ASTM AMERICAN SOCIETY FOR TESTING MATERIALS  
AUTO AUTOMATIC  
AVG AVERAGE  
BD BOARD  
BET BETWEEN  
BTUM BITUMINOUS  
BLDG BUILDING  
BLK BLOCK  
BLKG BLOCKING  
BN BOUNDARY NAILING  
BOT BOTTOM  
CAB CABINET  
CB CAST BASIN  
CF CUBIC FOOT  
CI CAST  
CONC CONCRETE  
CIP CAST IN PLACE  
CJ CONTROL JOINT;  
CLR CLEAR  
CL CENTER LINE  
CLG CEILING  
CLOS CLOSET  
CLR CLEAR  
CMU CONCRETE MASONRY UNIT  
CONC CONCRETE  
CONCS CONSTRUCTION

EJ EXPANSION JOINT  
EL ELEVATION  
ELEC ELECTRICAL  
ELEV ELEVATOR  
EMER EMERGENCY  
EN ENGINEER  
ENG ENGINEER  
EQ EQUIPMENT  
EQ EQUIPMENT  
EST ESTIMATE  
EXIST EXISTING  
EXP EXPANSION  
EXT EXTERIOR  
FAST FASTENER  
FAU FORCED AIR UNIT  
FBO FURNISHED BY OWNER  
FCO FLOOR CLEAN OUT  
FD FLOOR DRAIN  
FF FINISHED FLOOR  
FG FINISHED GRADE  
FH FLAT HEAD  
FIN FINISHED  
FXT FIXTURE  
FL FLOOR  
FLAS FLASHING  
H HOLE  
FLUO FLUORESCENT  
R R  
FOC FACE OF CONCRETE  
FOF FACE OF FINISH  
FOM FACE OF MASONRY  
FOP FACE OF PLYWOOD  
FOS FACE OF STUDS  
FOW FACE OF WALL  
FT FIREPROOF; FIREPLACE  
FT FOOT OR FEET  
FTG FOOTING  
FURR FURRING  
GA GAUGE  
GALV GALVANIZED(D)  
GENL GENERAL  
CONTRACTOR  
GL GLASS / GLAZING  
GR GRADE  
GYP GYPSUM  
GYP GYPSUM BOARD  
BD  
HB HOSE BIB  
HOR HEADER  
HWR HARDWARE  
HOR / HORIZONTAL  
HORIZ  
HP HIGH POINT;  
HORSEPOWER  
CLR  
CMU CONCRETE MASONRY UNIT  
CONC CONCRETE  
CO CLEAN/CLEAR OUT  
COL COLUMN  
CONC CONCRETE  
CONCS CONSTRUCTION

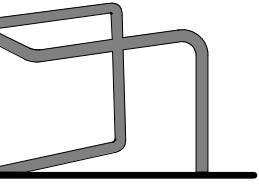
LVR LOUVER  
MACH MACHINE  
MAINT MAINTENANCE  
MAS MASONRY  
MATL MATERIAL  
MAX MAXIMUM  
MB MACHINE BOLT  
MECH MECHANICAL  
MEMB MEMBRANE  
MEZZ MEZZANINE  
MFR MANUFACTURE(R)  
MIN MINIMUM  
MISC MISCELLANEOUS  
MR MOISTURE RESISTANT  
MTL METAL  
(N) NEW  
N NORTH  
NA NOT AVAILABLE / APPLICABLE  
NIC NOT IN CONTRACT  
NO / # NUMBER  
NOM NOMINAL  
NTS NOT TO SCALE  
OC ON CENTER  
OD OUTSIDE DIAMETER  
OWNER FURNISHED CONTRACTOR  
INSTALLED  
OPG / OPENING  
OPNG  
OZ OUNCE  
PNT (NUMBER - SEE SPECS)  
PED PEDESTAL  
PER PERIMETER  
PERF PERFORATED  
PERP PERPENDICULAR  
PL PROPERTY LINE  
PLAS PLASTER  
PLYW PLYWOOD  
POC POINT OF CONNECTION  
PAIR  
PRCS PRE-CAST  
GYP GYPSUM  
AB PREFABRICATED  
PROP PROPERTY  
PSF POUNDS PER SQUARE FOOT  
PSI POUNDS PER SQUARE INCH  
PT POINT  
PTDF PRESSURE TREATED DOUGLAS FIR  
Q QUARTZ  
QT QUARTZ TILE  
QTY QUANTITY  
QY QUANTITY  
R RISER  
RAD RADIUS  
RCP REFLECTED CEILING PLAN  
RD ROOF DRAIN  
REF REFERENCE;  
REG REGISTER  
RE DOUGLAS FIR  
REQ REQUIRED  
REV REVISE / REVISION  
RFL REFLECTED  
RHT RIGHT HAND; ROUND HEAD  
RM ROOM  
RO ROUGH OPENING  
RWD REDWOOD  
LIB LIBRARY  
LP LOW POINT  
LT LIGHT

SECT SECTION  
SF SQUARE FEET  
SHT SHEET  
SHTG SHEATHING  
SHWR SHOWER  
SIM SIMILAR  
SMAC RE: THE ARCH SHEET  
NA METAL MANUAL  
SOG SLAB ON GROUND  
SPEC SPECIFY / SPECIFICATION  
SQ SQUARE  
SQFT SQUARE FEET  
SQIN SQUARE INCHES  
SS STAINLESS STEEL  
ST STONE  
STD STANDARD  
STL STEEL  
STOR STORAGE  
STRU STRUCTURE / CT STRUCTURAL  
SUSP SUSPENDED  
SYM SYMMETRICAL  
SYN SYNTHETIC  
SYS SYSTEM  
T&B TOP AND BOTTOM  
TAG TONGUE AND GROOVE  
TBD TO BE DETERMINED  
TBS TO BE SELECTED  
TEL TELEPHONE  
TEMP TEMPORARY / TEMPERATURE  
THK THICK  
THRU THROUGH  
TOC TOP OF CONCRETE  
TOS TOP OF SLAB  
TOW TOP OF WALL  
TV TELEVISION  
TY TYP









## SITE PLAN LEGEND

- PLANTER
- HARDSCAPE
- COMPACT PARKING SPACE

### (E) PARKING ON SITE

- 213 SPACES (135 STANDARD, 67 COMPACT, 9 HANDICAPPED, AND 2 DOUBLE), WHICH EXCEEDS THE REQUIREMENT OF 210 BY 3.
- IN ADDITION, THERE ARE 8 MOTORCYCLE PARKING SPACES.

### PROPOSED PARKING ON SITE

- REPLACE THE TWO DOUBLE-WIDE SPACES WITH FOUR STANDARD SPACES (GAIN OF TWO SPACES).
- RESTRIPE 5 SPACES ON THE WEST SIDE OF THE BUILDING (GAIN OF 5 SPACES).
- RESTRIPE THREE SPACES SOUTH OF THE BUILDING (GAIN OF 3 SPACES).
- RESTRIPE A SINGLE SPACE (EXISTING EXIT AISLE) ON THE WEST SIDE OF THE BUILDING (GAIN OF 1 SPACE).
- REMOVE 12 EXISTING SPACES FOR PROPOSED EQUIPMENT (LOSS OF 12 COMPACT SPACES).
- NET CHANGE ON THE PROPERTY IS A LOSS OF 1 SPACE.

- (212 SPACES TOTAL, EXCEEDING THE REQUIREMENT BY 2).
- 55 SPACES WILL BE COMPACT SPACES.
- THE NUMBER OF COMPACT SPACES IS BELOW 33% OF ALL PARKING SPACES.

## KEYNOTE LEGEND

KEY	DESCRIPTION
32 90 01	EXISTING OAK TREE TO REMAIN, PROTECT IN PLACE
32 90 02	(N) REPLACEMENT TREE, SEE PLANTING PLAN PL-1 FOR TYPE

GOOGLE GQ2 T.I.  
301 MENTOR DRIVE  
GOLETA, CA 93111

### DESIGN REVIEW

SCALE: As indicated  
DATE: 06/04/2018

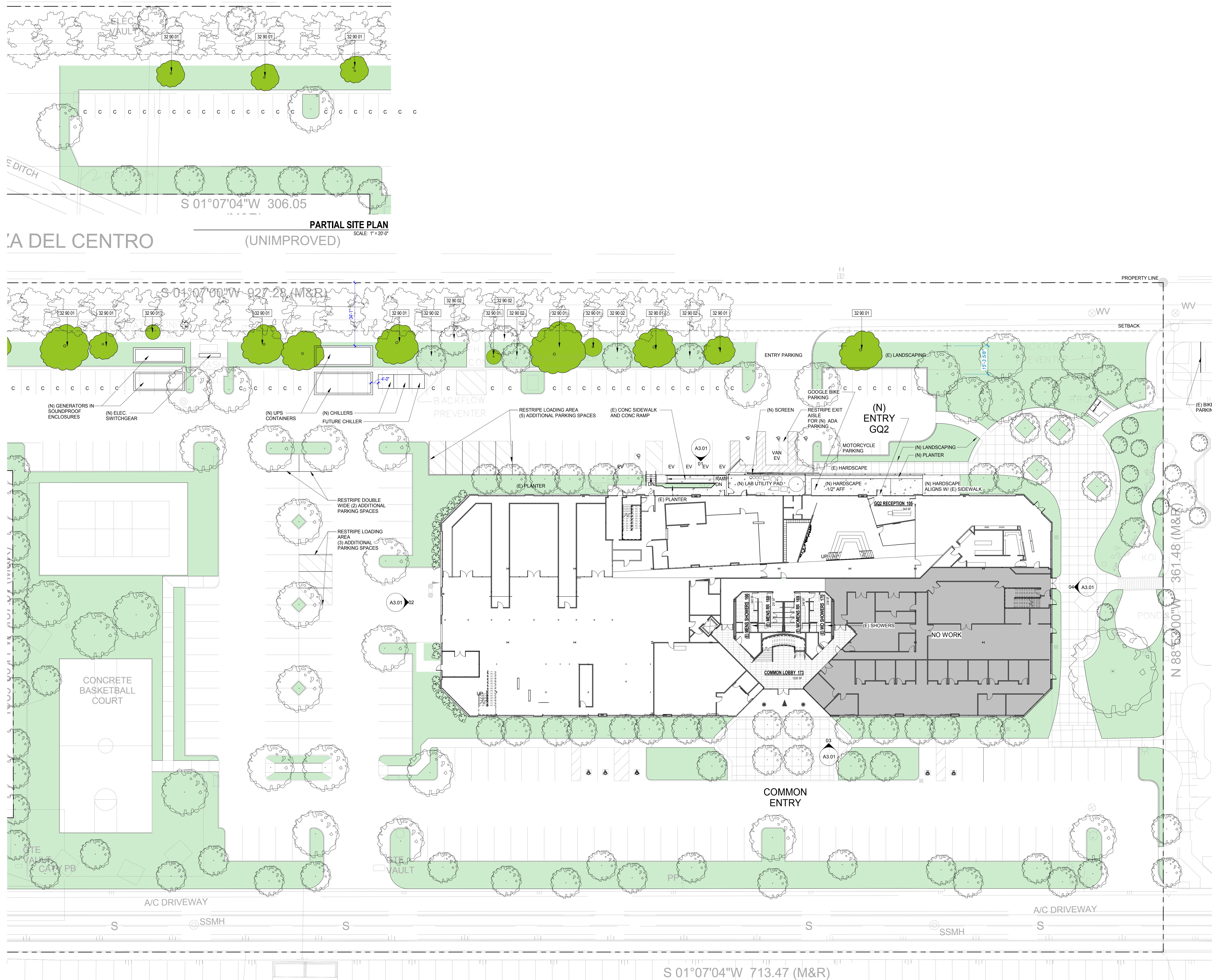
REV.	DATE	DESCRIPTION

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PROPOSED SITE PLAN

**A1.00**

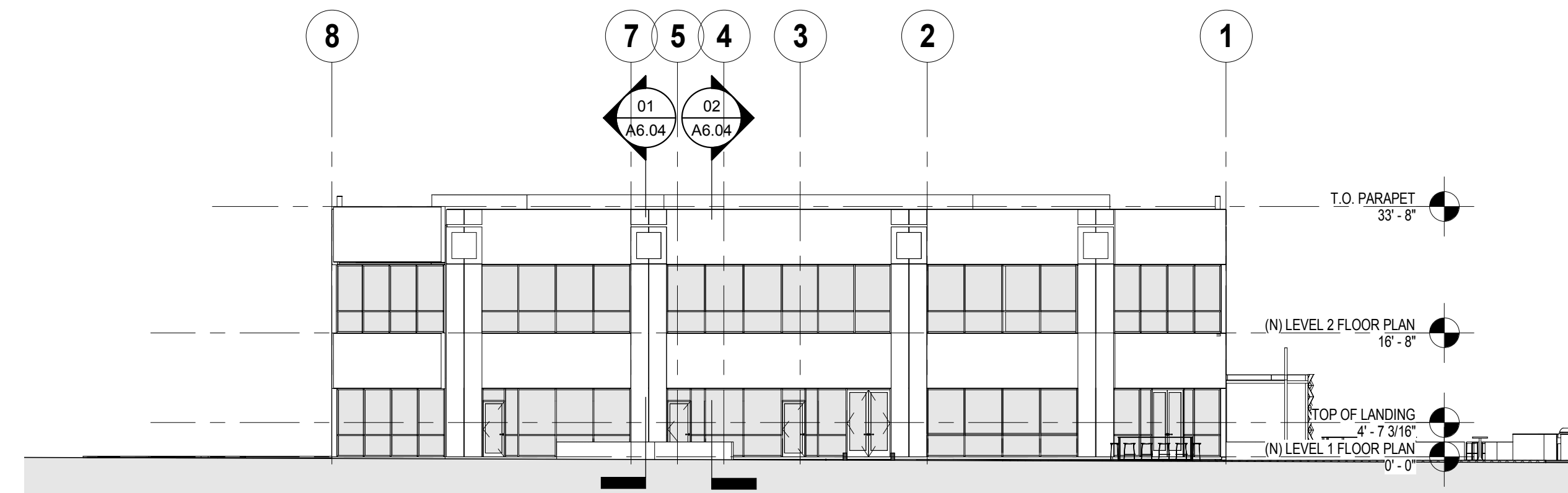
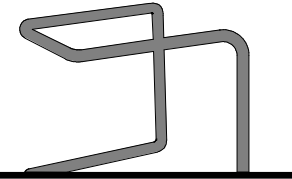
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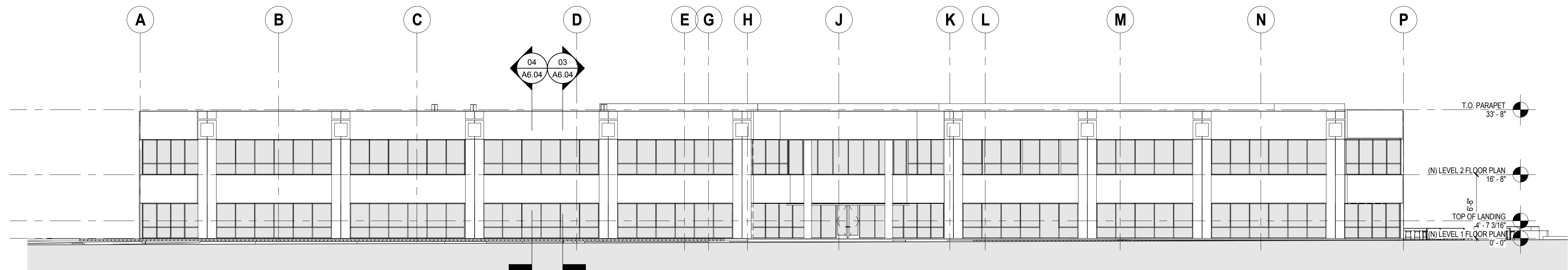
SITE PLAN  
SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION

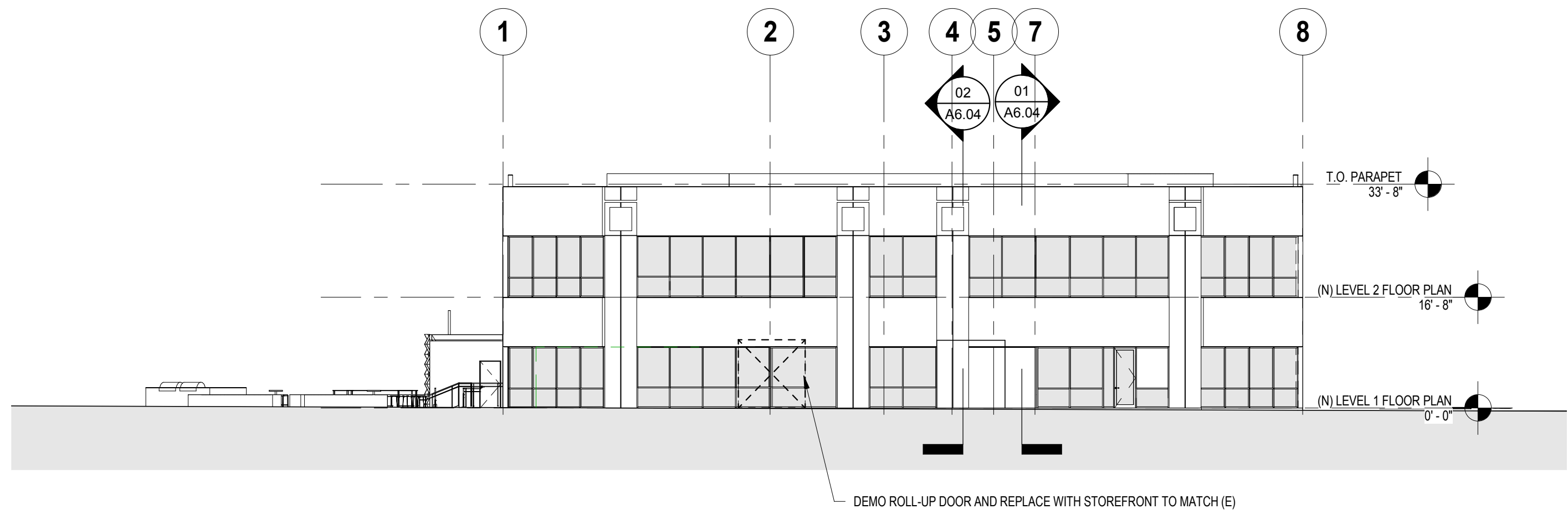




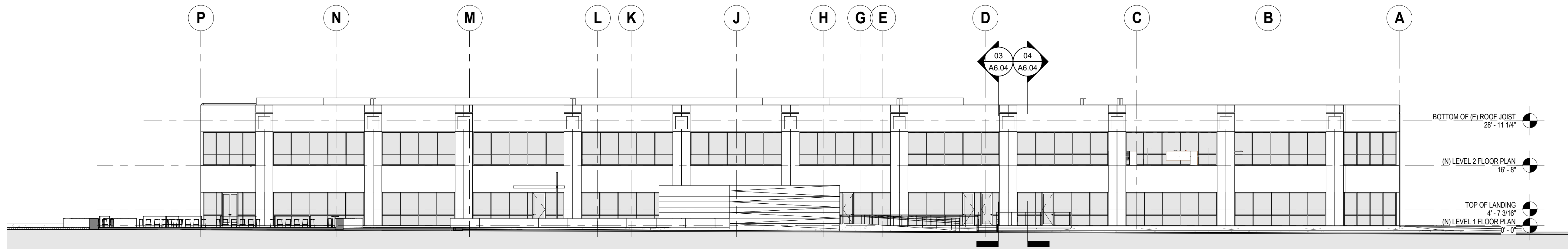
(E) NORTH ELEVATION 04  
SCALE: 1/16" = 1'-0"



(E) EAST ELEVATION 03  
SCALE: 1/16" = 1'-0"



(N) SOUTH ELEVATION 02  
SCALE: 1/16" = 1'-0"



(N) WEST ELEVATION 01  
SCALE: 1/16" = 1'-0"

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301 MENTOR DRIVE  
GOLETA, CA 93111

JOB NO. 1758

DESIGN REVIEW

SCALE: 1/16" = 1'-0"  
DATE: 06/04/2018

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EXTERIOR  
ELEVATIONS  
**A3.01**

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02

01

NO. 1758

[illegible]

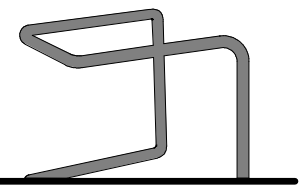
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## A3.02

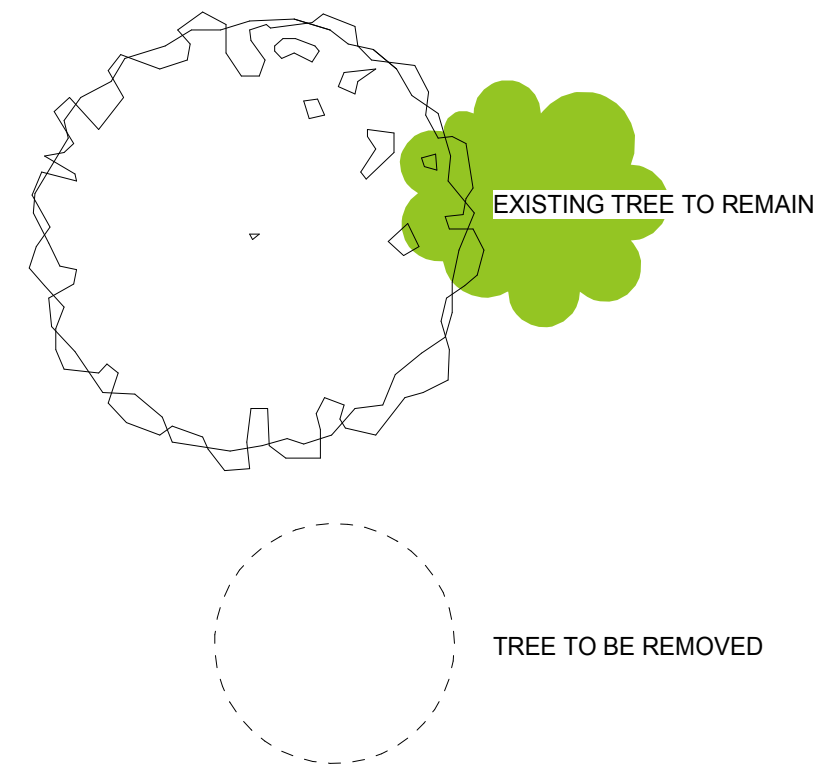
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JOB NO. 1758



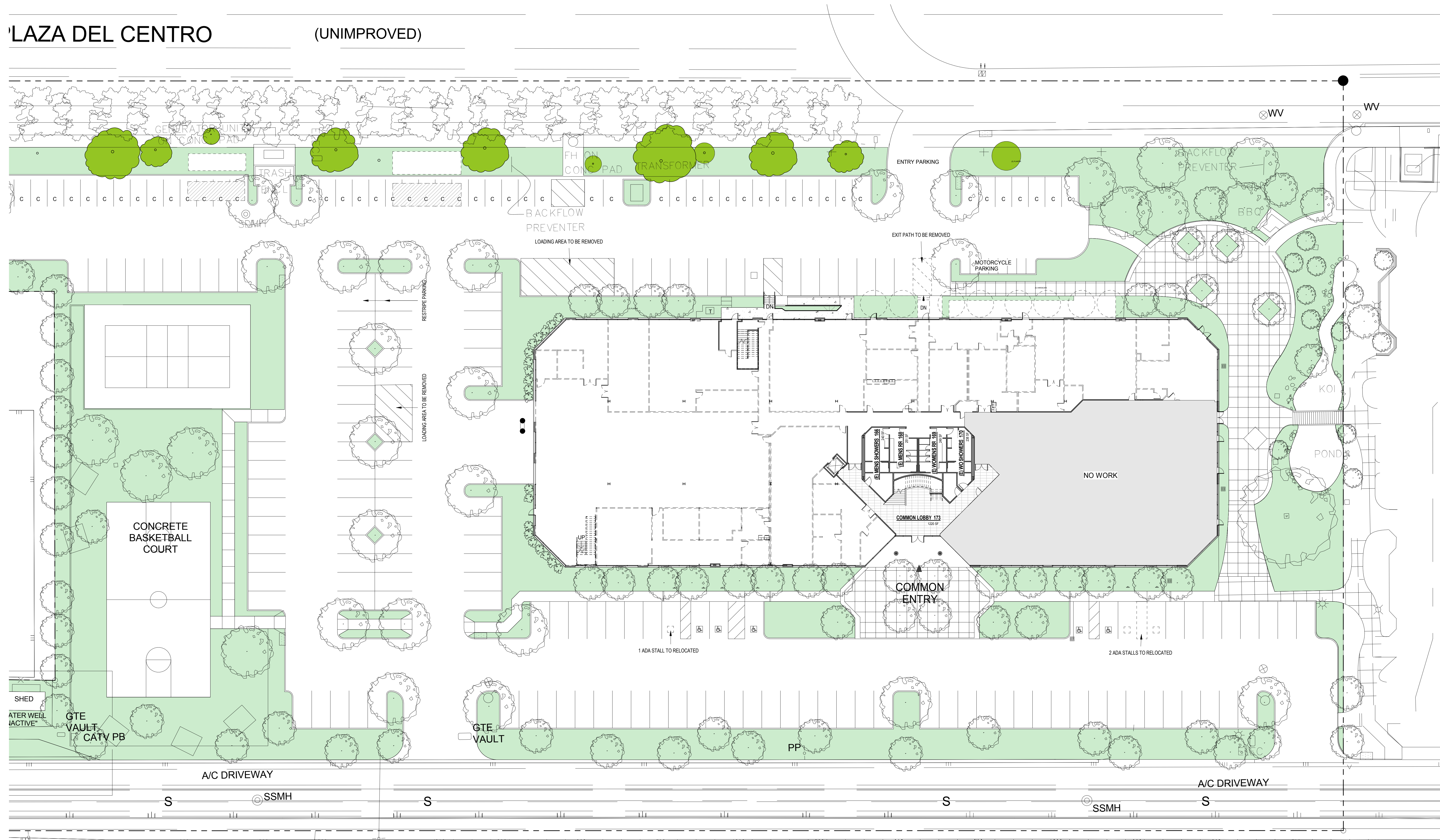


LANDSCAPE DEMOLITION LEGEND



LAZA DEL CENTRO

(UNIMPROVED)



GOOGLE Q2 T.I.

301 MENTOR DRIVE  
GOLETA, CA 93111

JOB NO. 1758

DESIGN REVIEW

SCALE: As indicated  
DATE: 06/04/2018

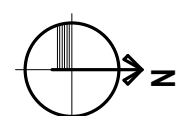
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INC.

DEMO LANDSCAPE  
PLAN

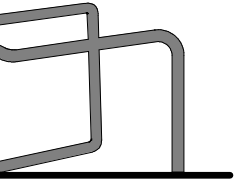
AD1.01

DEMO LANDSCAPE AND TREE PLAN  
SCALE: 1" = 20'-0"



NOT FOR CONSTRUCTION

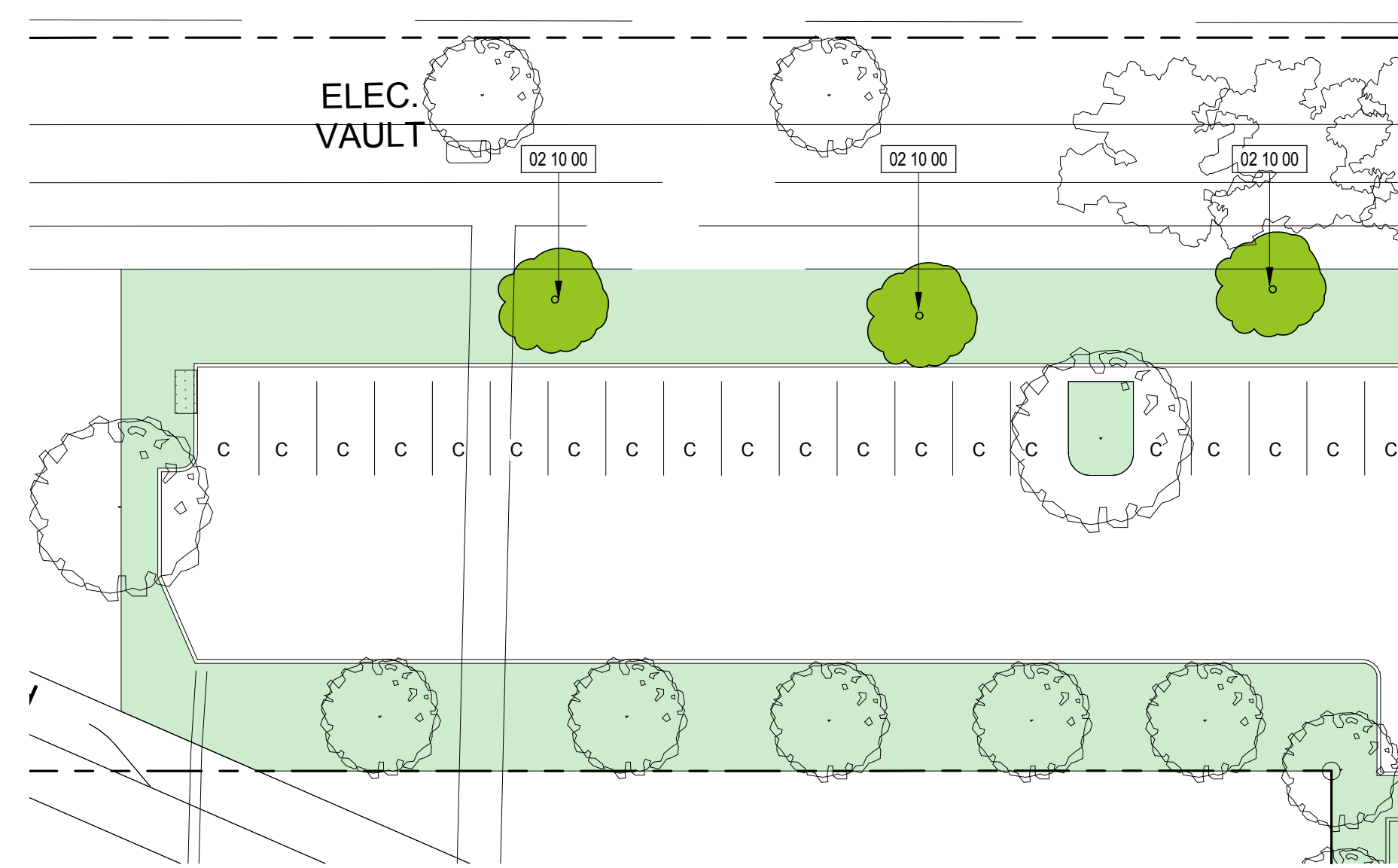




#### KEYNOTE LEGEND

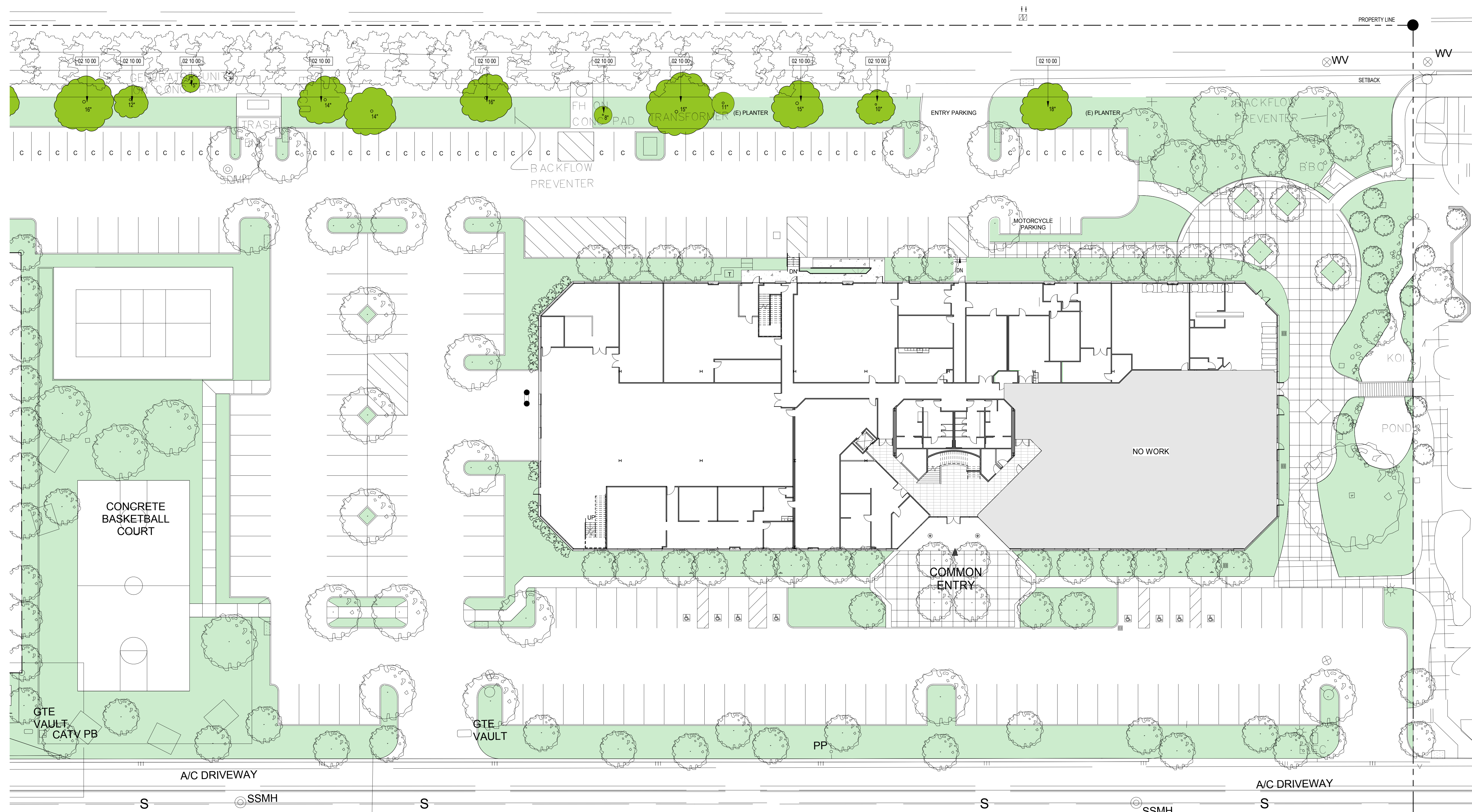
KEY	DESCRIPTION
02 10 00	EXISTING OAK TREE

## PLAZA I



PARTIAL (E) TREE PLAN  
SCALE: 1" = 20'-0"

## PLAZA DEL CENTRO (UNIMPROVED)



(E) TREE PLAN  
SCALE: 1" = 20'-0"

GOOGLE Q02 T.I.  
301 MENTOR DRIVE  
GOLETA, CA 93111

JOB NO. 1758

DESIGN REVIEW

SCALE: 1" = 20'-0"

DATE: 06/04/2018

REV.	DATE	DESCRIPTION

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EXISTING TREE PLAN

# PL 1.00

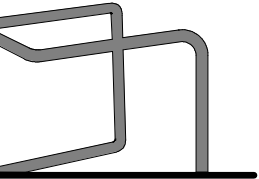
01/10/2018 2:44:51 PM

NOT FOR CONSTRUCTION









POLIOUIN KELLOGG DESIGN GROUP  
ARCHITECTURE PLANNING INTERIOR DESIGN  
20700 Venture Boulevard, Suite 215  
Woodland Hills, CA 91367  
(P) 818 316 6817 (F) 818 316 6817

A BERKANT DEVELOPMENT COMPANY PROJECT



OFFICE BUILDING  
HOLLISTER AVENUE  
SANTA BARBARA, CALIFORNIA

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Date	By
BID SET	3/22/98
PLANNING PRELIMINARY	7/27/98
BULLETIN 2	10/2/98

Sheet Title  
**LANDSCAPE PLAN**

Drawn By

Project No  
**96-082.01**

Date  
**10-6-98**

Scale

Sheet  
**L-4**

GOOGLE GQ2 T.I.  
301 MENTOR DRIVE  
GOLETA, CA 93111

DESIGN REVIEW

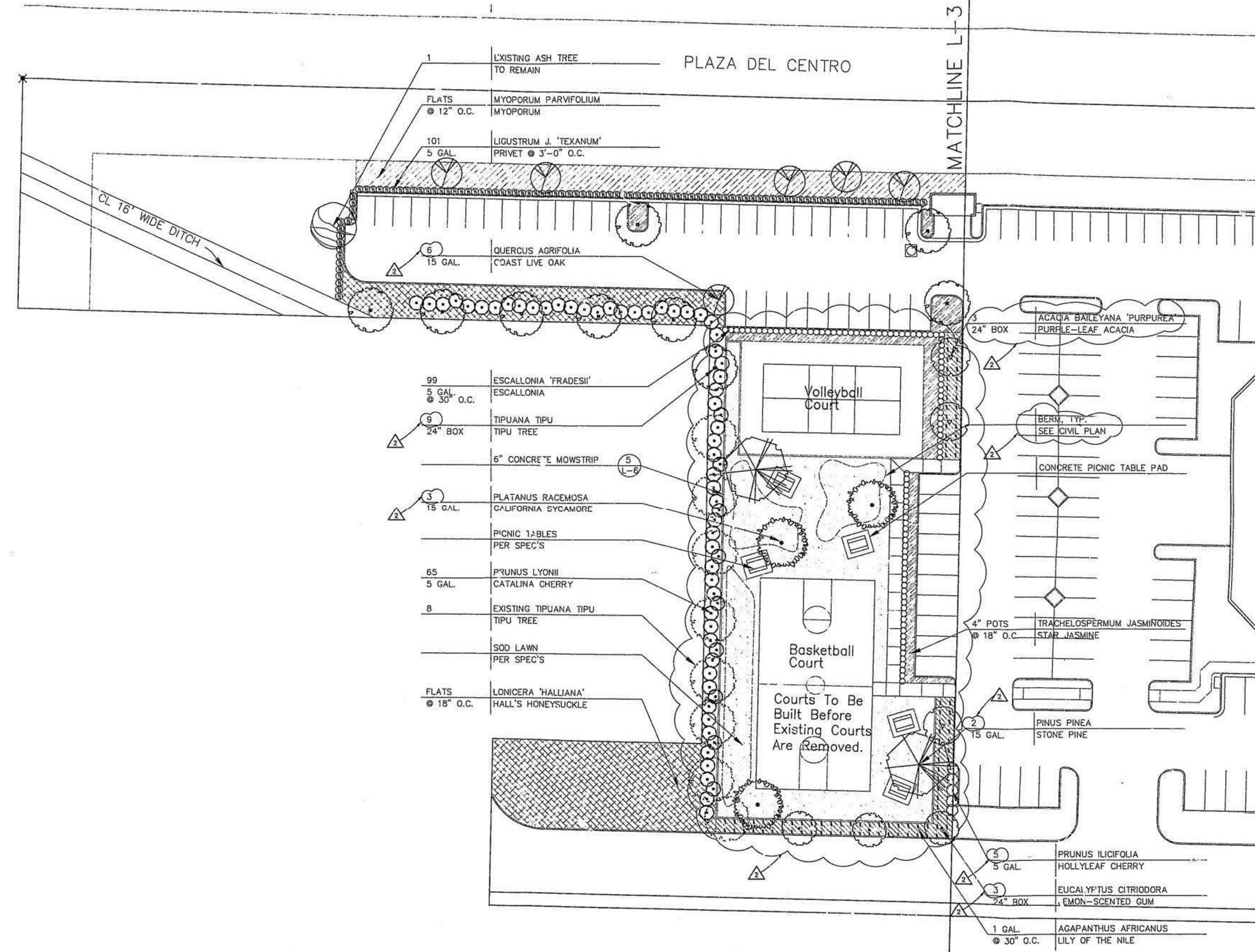
SCALE:  
DATE: 06/04/2018

REV.	DATE	DESCRIPTION

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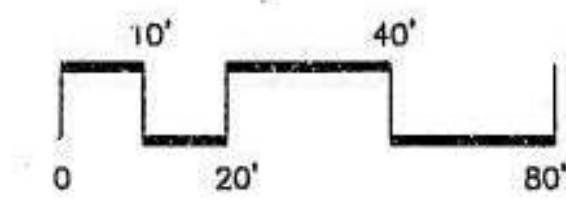
APPROVED  
LANDSCAPE PLAN  
**PL-0.02**

NOT FOR CONSTRUCTION



**LANDSCAPE PLAN**

SCALE: 1" = 20'



NOV 05 1998  
ZONING APPROVED

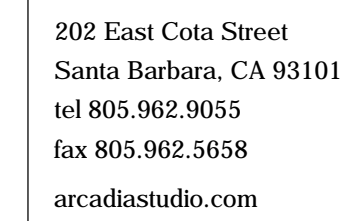
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ZONING APPROVED

NOV 17 1998  
ZONING APPROVED



NOV 05 1998  
ZONING APPROVED  
NOV 17 1998  
ZONING APPROVED  
NOV 17 1998  
ZONING APPROVED





**GOOGLE GOLETA**  
301 Mentor Drive  
Goleta, CA 93111

# PRELIMINARY LANDSCAPE PLAN

• •  
*Issue*

Preliminary

<i>Date</i>	<i>Job Number</i>
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<i>Drawn By</i>	<i>Checked by</i>
-----------------	-------------------

Sheet	-	of	-
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\_\_\_\_\_

*PL-1*



A3.01

KEY MAP: Not to scale

