



FIRE STATION 10

Planning Commission Hearing

October 8, 2018

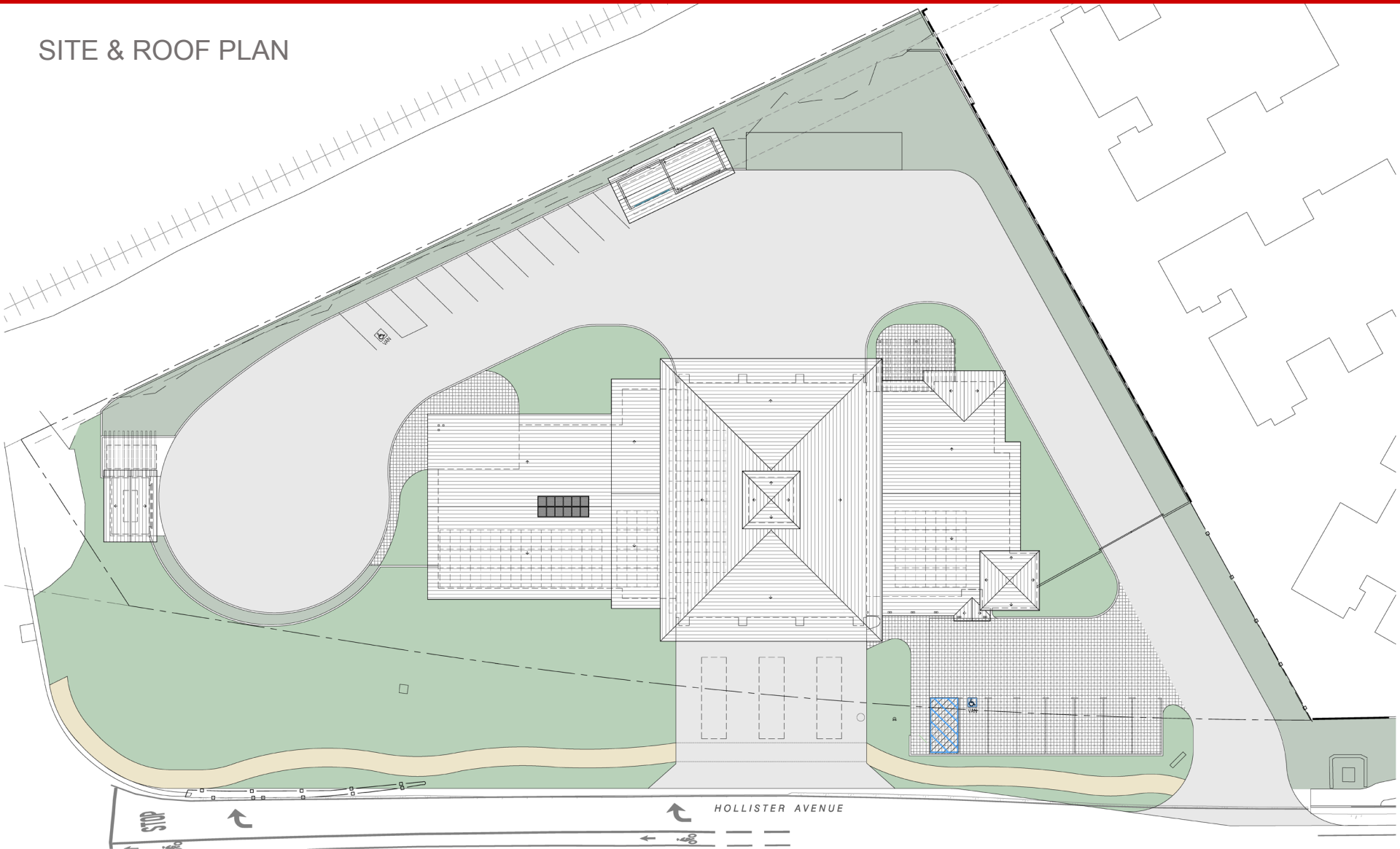
Dept. of Neighborhood Services & Public Safety

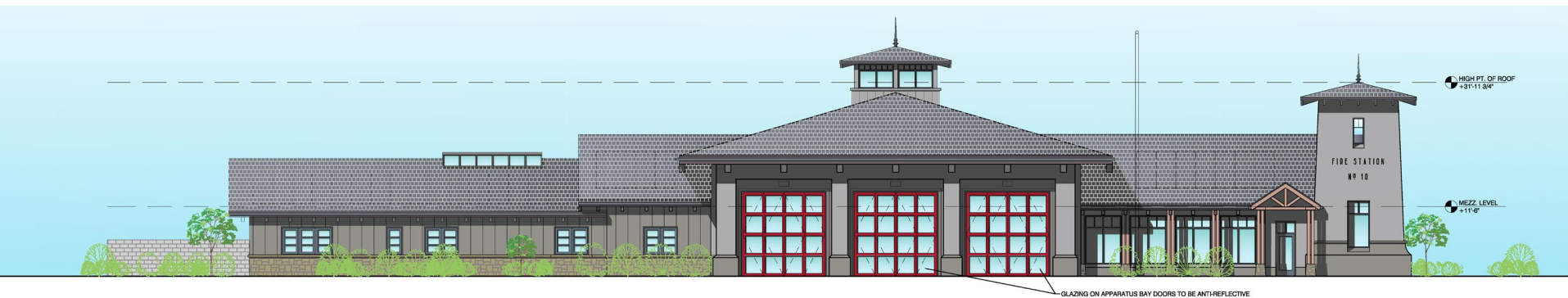


Goleta Fire Station 10
7952 Hollister Ave.



SITE & ROOF PLAN







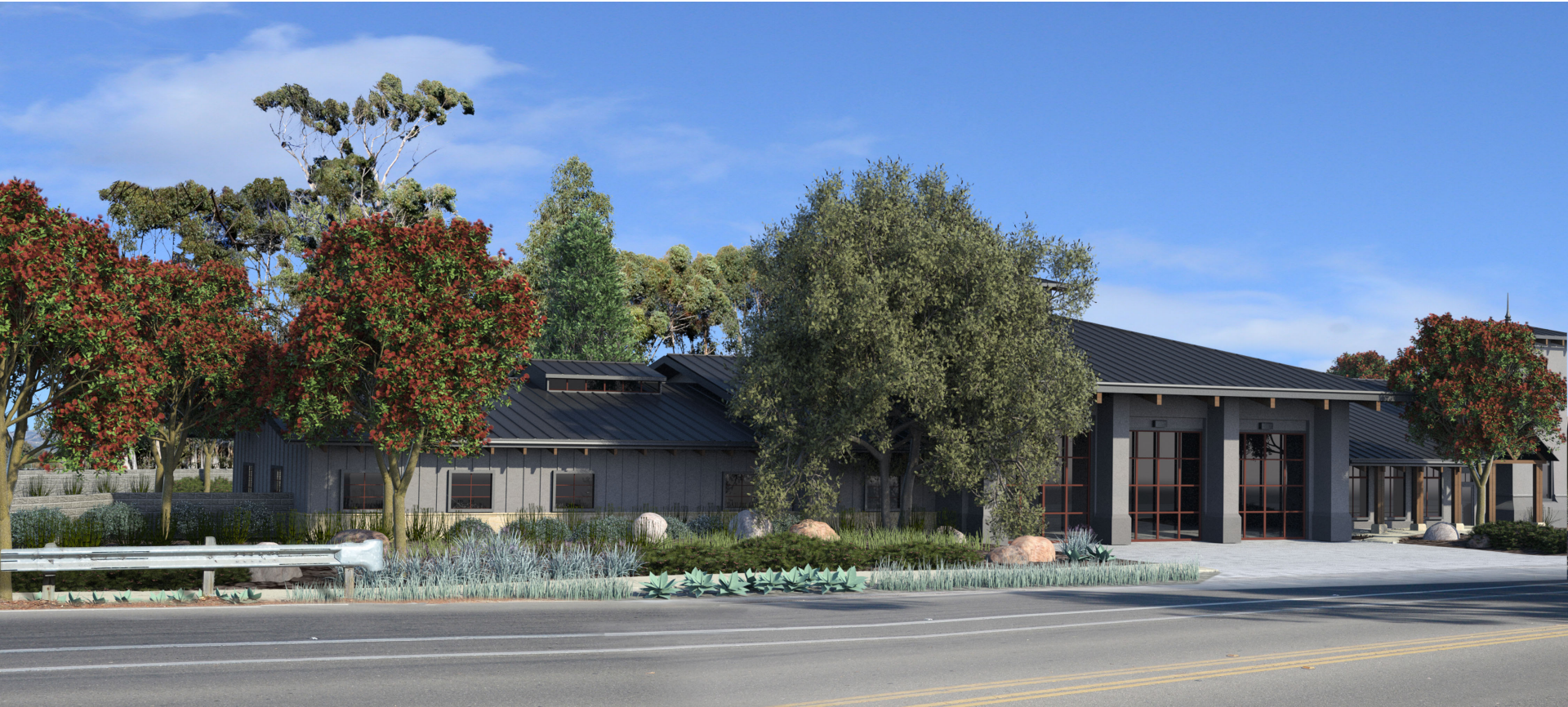
Proposed South
Elevation at Entry

VISUAL SIMULATION



View: Existing From Across
Hollister Ave.

VISUAL SIMULATION



View: Proposed From Across
Hollister Ave.

VISUAL SIMULATION



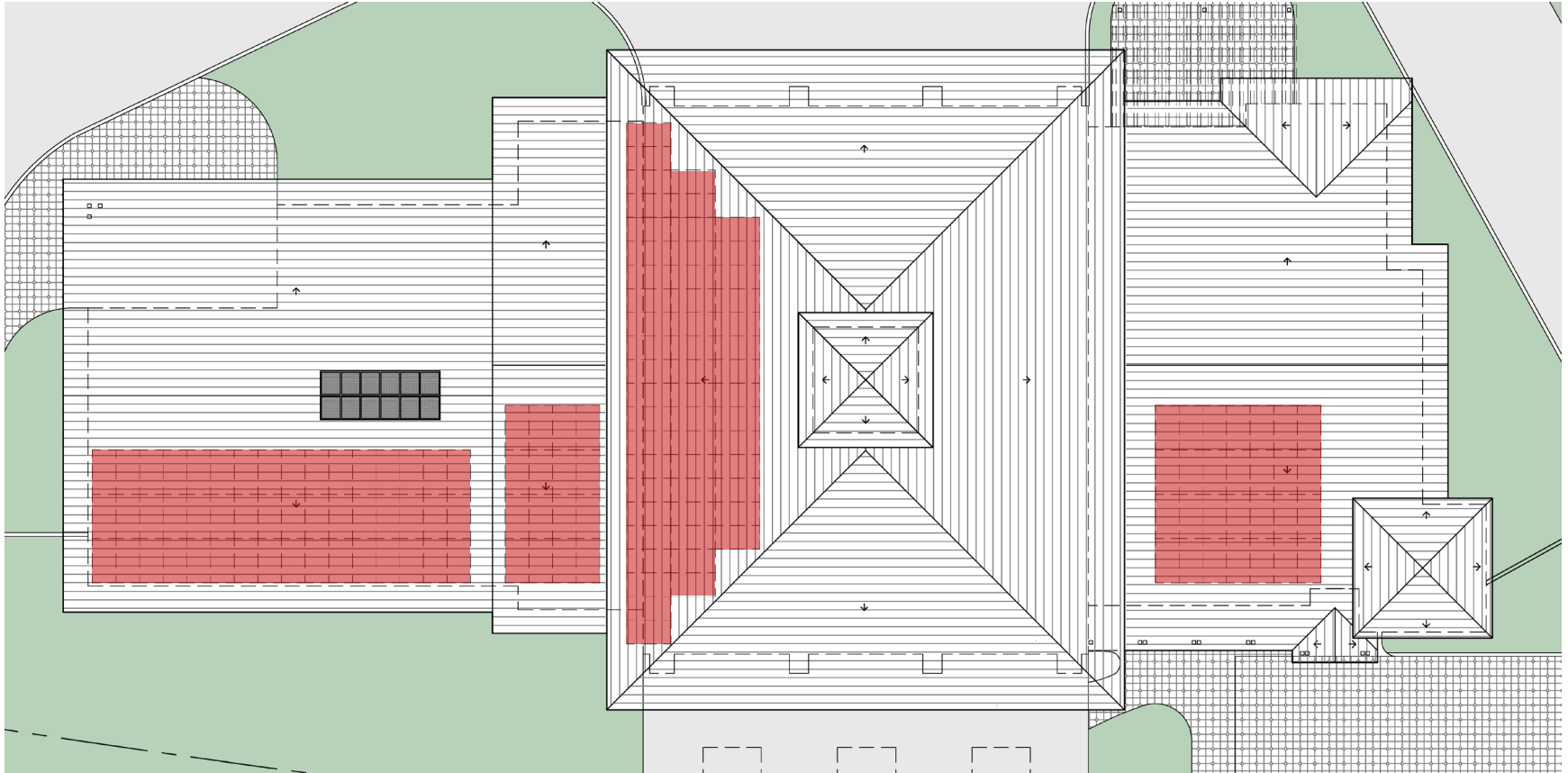
View: Existing Hollister Ave. looking
West toward Cathedral Oaks Overpass

VISUAL SIMULATION



View: Proposed Hollister Ave. looking
West toward Cathedral Oaks Overpass

PHOTOVOLTAIC PANELS



Solar Roof Area Exceeds Code Requirements

LANDSCAPE PLAN





FIRE STATION 10



THANK YOU

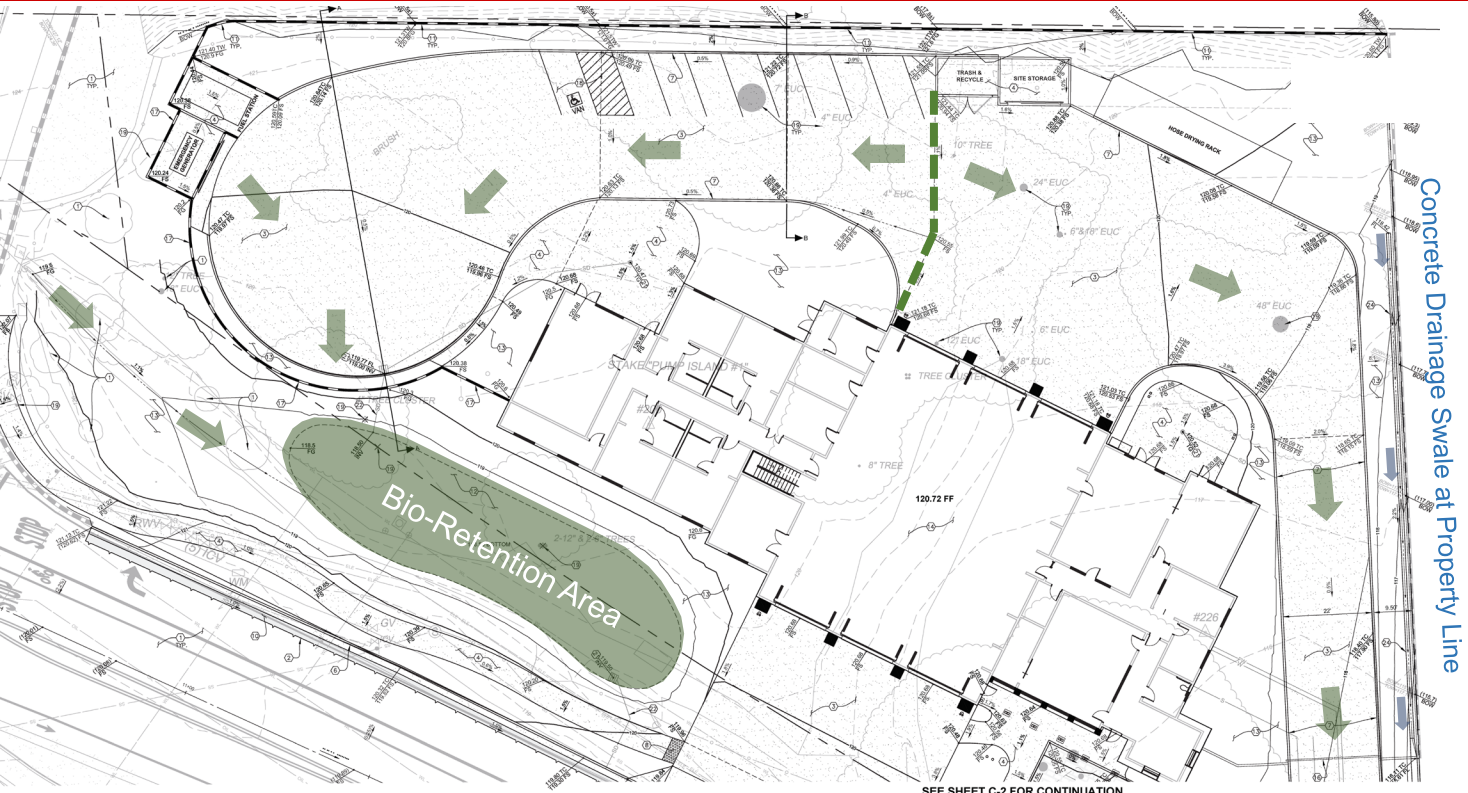


FIRE STATION 10



DRAINAGE

8



SEE SHEET C-2 FOR CONTINUATION

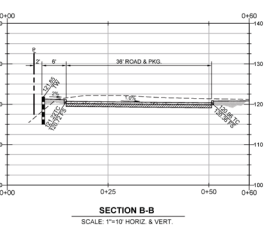
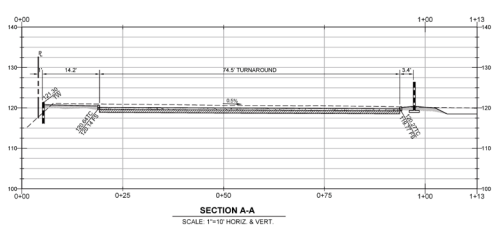
ESTIMATED EARTHWORK QUANTITIES:
EXCAVATION: 1,100 CUBIC YARDS
EMBANKMENT: 2,300 CUBIC YARDS

NOTE: SHRINKAGE, CONSOLIDATION AND SUBSISTENCE FACTORS AND LOSSES DUE TO CLEARING AND DRAINAGE OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISH GRADES OF PAVEMENT SURFACES, AS LOCATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES.

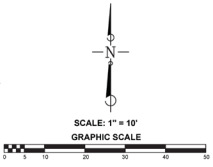
CONTRACTOR SHALL ACCEPT OR CONFIRM EXISTING TOPOGRAPHIC INFORMATION. SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORTS AND MAKE HIS OWN INTERPRETATIONS AND CONCLUSIONS WITH RESPECT THERETO, AND SHALL PERFORM AN INDEPENDENT EARTHWORK ESTIMATE ON WHICH TO BASE HIS BID. ONCE GRADING IS STARTED, THE TOPOGRAPHIC INFORMATION HAS BEEN ACCEPTED BY CONTRACTOR.

IMPORTANT NOTICE
ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY UTILITY DEPTHS AND RECORDS. ALERT TWO WORKING DAYS PRIOR TO STARTING ANY EXCAVATION OR REPAIRS.

CALL TOLL FREE 1-800-423-4133

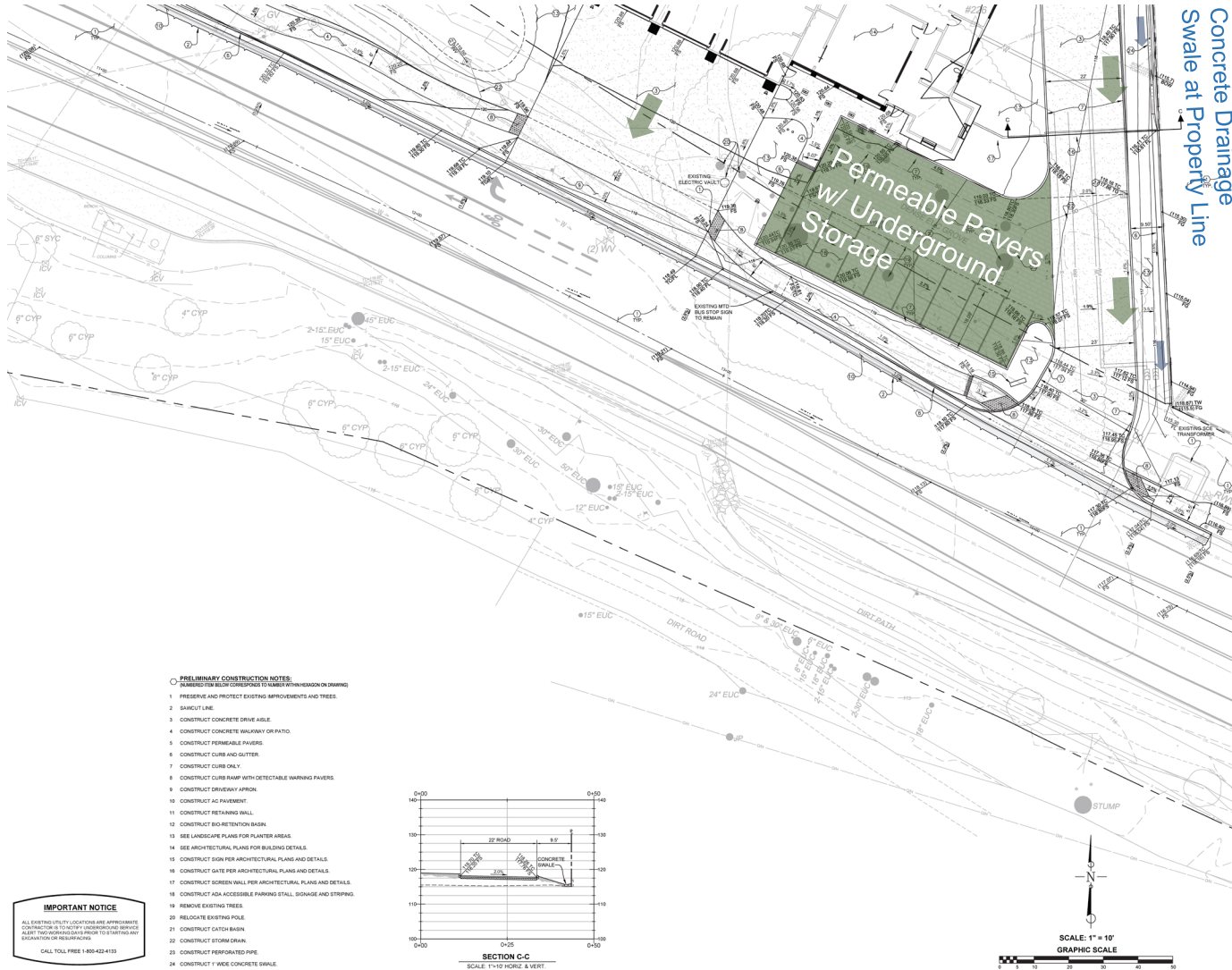


- PRELIMINARY CONSTRUCTION NOTES:**
1. PRESERVE AND PROTECT EXISTING IMPROVEMENTS AND TREES.
2. SAVED LINE.
3. CONSTRUCT CONCRETE DRIVE AISLE.
4. CONSTRUCT CONCRETE WALKWAY OR PATIO.
5. CONSTRUCT PERMEABLE PAVERS.
6. CONSTRUCT CURBS AND RUTTER.
7. CONSTRUCT CURBS ONLY.
8. CONSTRUCT CURB RAMP WITH DETECTABLE WARNING PAVERS.
9. CONSTRUCT DRIVEWAY APRON.
10. CONSTRUCT AC PAVEMENT.
11. CONSTRUCT RETAINING WALL.
12. CONSTRUCT BIO-RETENTION BASIN.
13. SEE LANDSCAPE PLANS FOR PLANTER AREAS.
14. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS.
15. CONSTRUCT SIGN PER ARCHITECTURAL PLANS AND DETAILS.
16. CONSTRUCT GATE PER ARCHITECTURAL PLANS AND DETAILS.
17. CONSTRUCT SCREEN WALL PER ARCHITECTURAL PLANS AND DETAILS.
18. CONSTRUCT ADA ACCESSIBLE PARKING STALL, SIGNAGE AND STRIPING.
19. REMOVE EXISTING TREES.
20. RELOCATE EXISTING POLE.
21. CONSTRUCT CATCH BASIN.
22. CONSTRUCT STORM DRAIN.
23. CONSTRUCT PERFORATED PIPE.
24. CONSTRUCT 1' WIDE CONCRETE SWALE.



Overall Drainage Pattern





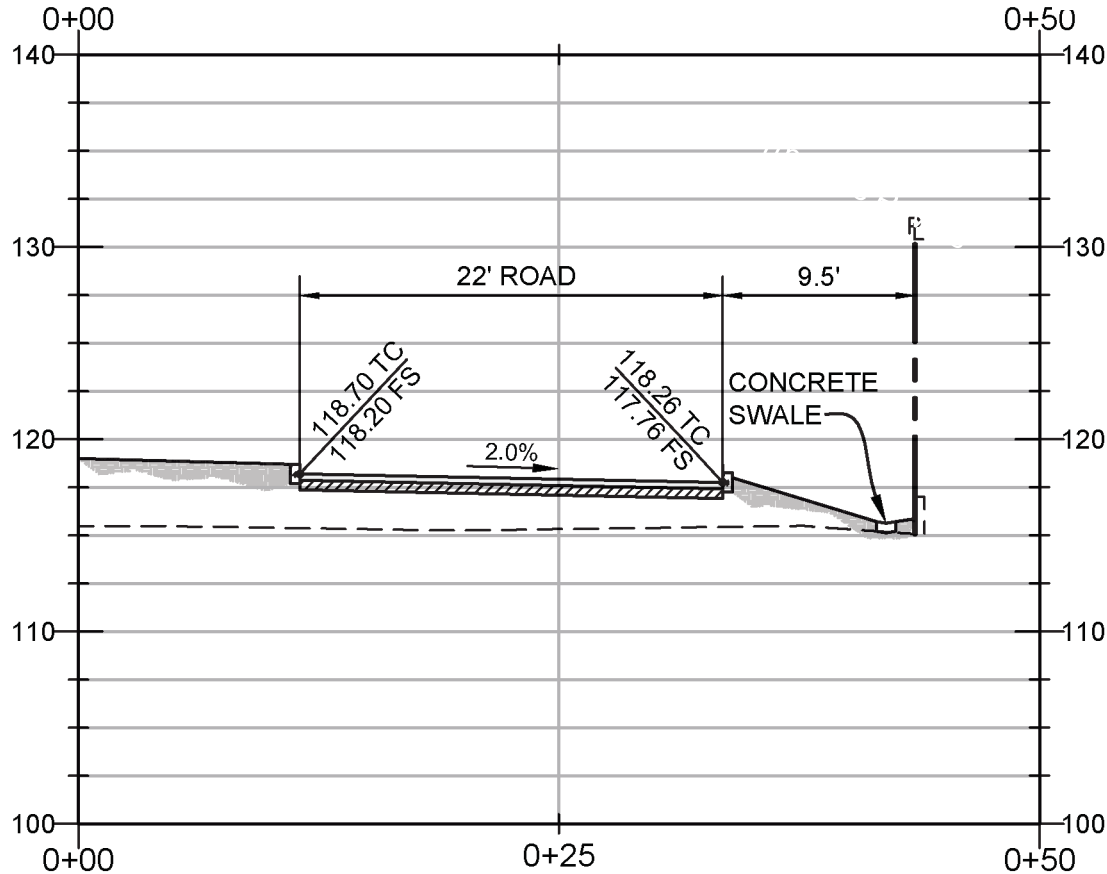
DRAINAGE

8

Drainage – Southeast

DRAINAGE

8



SECTION C-C

SCALE: 1"=10' HORIZ. & VERT.

Section C-C thru
Driveway and East
Property Line – near
Gate