

LENVIK RESIDENCE

6221 MOMOUTH AVENUE

GOLETA, CA 93117

(N) SECOND STORY ADDITION AND REMODEL OF (E) SINGLE FAMILY DWELLING

GENERAL REQUIREMENTS

All work shall be performed in a professional workmanlike manner by a licensed contractor and shall comply with the following:

- These General notes unless otherwise noted on plans or specifications.
- This project shall comply with:
 - 2016 California Building Code (Title 24)
 - 2016 CRC (or current edition)
 - 2016 CMC (or current edition)
 - 2016 CPC (or current edition)
 - 2016 CEC (or current edition)
 - California Efficiency Standards
 - California Green Building Standards 2016 (Cal Green) or current
 - TITLE 30 - The Zoning Ordinance
 - City of Santa Barbara Municipal Code (5780)
- All applicable Local, State and Federal Codes, Ordinances, Laws, Regulations and Protective Covenants governing the site of work.
- Standard Specifications of ASTM.
- In case of conflicts, the more stringent requirements shall govern.

- "Or Equal": the Contractor shall submit for the Designer's and Builder's approval all materials or equipment which is considered "or equal" to that specified.

On Site Verification of all dimensions and conditions shall be the responsibility of the Contractor and Sub-contractors. Noted dimensions to take precedence over scale. Each Contractor and Subcontractor shall report to designer and Project Superintendent all Conditions which prevent the proper execution of their work. Client's Architect and Project Superintendent to be notified immediately by Contractor and Sub-Contractor should any discrepancy, error, omission, addition, or other question arise pertaining to the working drawings and/or specifications. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work.

Sub- contractor shall: Insure that all work is done in a professional workmanlike manner by skilled mechanics and shall replace any materials or items damaged by Sub-contractor performance. Sub- contractors and suppliers are hereby notified that they are to confer and cooperate fully with each other during the course of construction to determine the exact extent and overlap of each other's work and to successfully complete the execution of the work. All Sub-contractor workmanship will be of quality to pass inspections by local authorities, lending institutions, Architect or Builder. Any one or all of the above mentioned inspectors may inspect workmanship at any time, and any corrections needed to enhance the quality of building will be done immediately. The Contractor shall, at all times, provide protection against weather, rain, wind, storms, frost, heat or breakage so as to maintain all work, materials, apparatus, and fixtures free from injury or damage. The contractor shall at all times keep the premises free from all accumulations of waste material or rubbish caused by his employees, and at the completion of the work shall remove all rubbish, debris, equipment and surplus materials belonging to him from in and about the building and leave work site "Broom Clean". At the end of the day's work, all work likely to be damaged shall be covered. Any work damaged due to failure of protection as defined above shall be removed and replaced with new work at the Contractor's expense. Each Sub-contractor, unless specifically exempted by the terms of his sub-contract agreement, shall be responsible for cleaning up and removing from the job site all trash and debris not left by other Sub-contractors. Builder will determine how soon after Sub-contractor completes each phase of his work that trash and debris will be removed from the site.

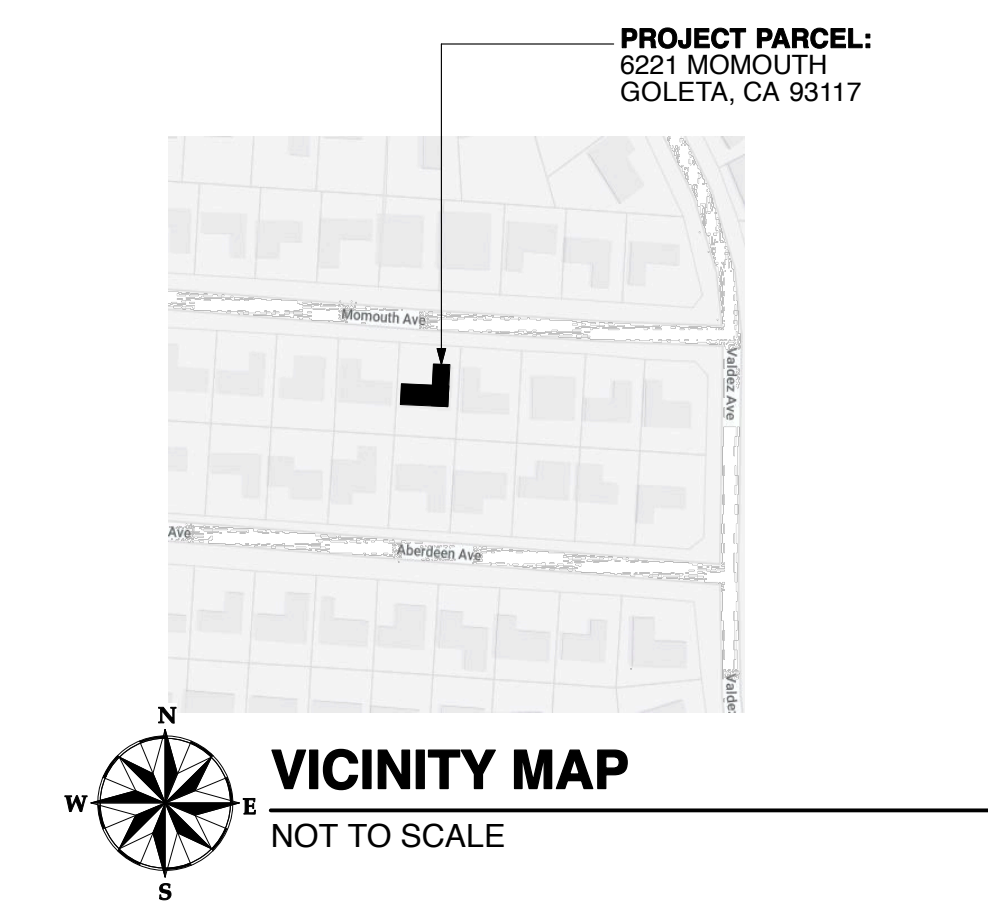
Workmanship: Compliance with drawings and/or specifications with regard to materials and methods of assembly will not, in itself, assure acceptance of the work. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the work.

AGENCY CONTACT

CITY OF GOLETA:	CITY OF GOLETA 130 CREMONA DRIVE, SUITE B GOLETA, CA 93117 PERMIT & DESIGN CENTER: (805) 961-7543 BUILDING & SAFETY: (805) 961-7552
ELECTRICAL AGENCY:	SOUTHERN CALIFORNIA EDISON 333 LOVE PLACE SANTA BARBARA, CA 93117 (805) 683-5252
GAS AGENCY:	SOUTHERN CALIFORNIA GAS P.O. BOX 6466 SANTA BARBARA, CA 93160-6466 (805) 681-8060
SEWER AGENCY:	GOLETA SANITARY DISTRICT 1 MOFFETT PL. GOLETA, CA 93117 (805) 967-4519
WATER AGENCY:	SANTA BARBARA COUNTY WATER 123 E ANAPAMU ST SANTA BARBARA, CA (805) 568-3440

ABBREVIATIONS

& L @ CL (E) (N) #	And Angle At Center-line Diameter Existing New Found or Number	FDN. FIN. FL. FLASH. FLOUR. F.O.C. F.O.F. F.O.M. F.O.S. FA. GALV. G.F.I. GL. G.L.B. GND. GR. GYP. H.B. HDR. HDWE. HORIZ. HR. HT. I.D. INSUL. INT. JT. KIT. LAM. LAV. LIN. LT. L.V.L. MAX. M.B. M.C. MECH. MTL. MFR. MIN. MIR. MISC. M.O. N. N.I.C. NO./# NO.M. N.T.S. O.A. O.C. O.D. OFF. OPNG. OPP. PL. PLAM. PLAS. PLYWD. PR. PRCST. P.T. Q.T. R. RAD. R.D. REF. REFR. RGR. REINF. REQ.D. RESIL. RM. R.O. RWD. R.W.L. S. SCHED. SECT. S.F. S.H. S & P SHWR. SH. SIM. SPEC. SQR. STD. STL. STR. SUSP. S.W. SYM. TRD. T.B. T.C. TEL. THK. T.O. T.P. T.P.D. T.V. T.S. TYP. UBC UNF. U.N.O. VERT. W. W.C. W.D. W/O. W/P. W.R. WSCT. WT.	Foundation Finish Floor Flashing Fluorescent Face of Concrete Face of Finish Face of Masonry Face of Stud Full size Foot or Feet Footing Furring Gauge Galvanized Ground Fault Interrupter Glass Glued Laminated Beam Ground Grade Gypsum Hose Bid Hold Down Header Hardware Horizontal Hour Height Inside Diameter Insulation Interior Joint Kitchen Laminate Lavatory Linen Light Laminated Veneer Maximum Machine Bolt Medicine Cabinet Mechanical Metal Manufacturer Minimum Mirror Miscellaneous Masonry Opening North Not in Contract Number Nominal Not to Scale Overall On Center Outside Diameter Office Opening Opposite	Plate PlasticLaminate Plaster Plywood Pair Pre-cast Pressure-treated Quarry Tile Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient Room Rough Opening Redwood Rain Water Leader South Schedule Section Square Feet Shelf and Pole Shower Sheet Similar Specification Squire Standard Steel Storage Structural Suspended Shearwall Symmetrical Tread Towel Bar Top of Curb Telephone Tounge and Groove Thick Top of Top of Pavement Toilet Paper Dispenser Television Tube Steel Typical Uniform Building Code Unfinished Unless Noted Otherwise Vertical West With Water Closet Wood Without Waterproof Water Resistant Wainscot Weight
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SCOPE OF WORK

(N) SECOND STORY ADDITION AND REMODEL OF (E) SINGLE FAMILY DWELLING

- (N) SECOND STORY ADDITION
- (N) UPPER LEVEL DECK
- (N) TRELLIS AT (N) UPPER DECK
- (N) LOWER LEVEL ADDITION
- (N) TRELLIS AT MASTER BEDROOM DOOR
- INTERIOR ALTERATIONS PER PLANS
- (E) GARAGE DOOR TO BE RELOCATED TO NORTH WALL (STREET)
- (N) DRIVEWAY AND CURB CUT / REMOVE (E) DRIVEWAY AND CURB CUT

SQUARE FOOTAGE BREAKDOWN

EXISTING SQUARE FOOTAGE:	NET	GROSS
(E) SINGLE FAMILY RESIDENCE:	± 1,580 SF	± 1,662 SF
(E) 2 CAR GARAGE:	± 400 SF	± 425 SF
TOTAL EXISTING SF:	± 1,980 SF	± 2,087 SF

PROJECT SQUARE FOOTAGE:	NET	GROSS
(N) LOWER LEVEL ADDITION:	± 57 SF	± 68 SF
(N) SECOND STORY ADDITION:	± 782 SF	± 835 SF

EXISTING & PROPOSED SQUARE FOOTAGE:	NET	GROSS
LOWER LEVEL:	± 1,637 SF	± 1,730 SF
UPPER LEVEL:	± 782 SF	± 835 SF

TOTAL PROPOSED RESIDENCE :	± 2,419 SF	± 2,565 SF
2 CAR GARAGE (NO CHANGES):	± 400 SF	± 425 SF

GRAND TOTAL:	± 2,819 SF	± 2,990 SF
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(N) UPPER LEVEL DECK:	± 207 SF
(N) TRELLIS AT (N) UPPER LEVEL DECK:	± 145 SF
(N) LOWER LEVEL TRELLIS	± 74 SF

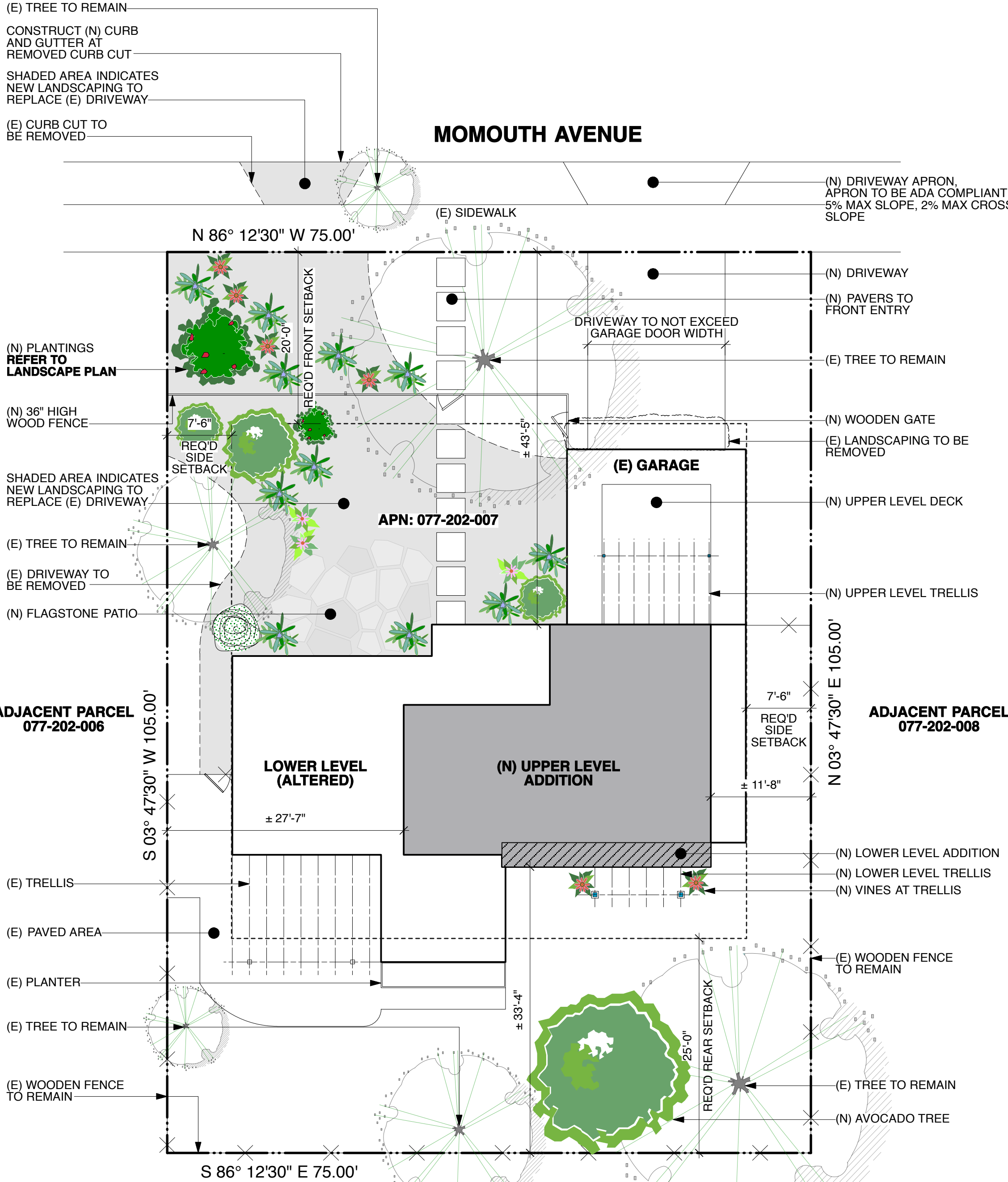
SHEET INDEX

T 1.0	TITLE SHEET / GENERAL NOTES / PROJECT STATISTICS / SITE PLAN
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A 1.2	PROPOSED - UPPER LEVEL FLOOR PLAN / LOWER LEVEL ROOF PLAN
A 1.3	PROPOSED - UPPER LEVEL ROOF PLAN / SIGHT LINE SECTION
A 2.0	PROPOSED - ELEVATIONS
A 2.1	PROPOSED - ELEVATIONS

6 SHEETS TOTAL

PROFESSIONALS

ARCHITECT: SHERRY & ASSOCIATES, ARCHITECTS
535 SANTA BARBARA STREET
SANTA BARBARA, CA 93101
PH: (805) 963-0366 / FAX: (805) 963-0178



SITE / LANDSCAPE PLAN - EXISTING & PROPOSED

SCALE: 1" = 10'-0"

(N) SECOND STORY ADDITION AND REMODEL OF
SINGLE FAMILY DWELLING

LENVIK RESIDENCE
6221 MOMOUTH AVE.
GOLETA, CA 93117

DATE	DESCRIPTION
09/13/18	LUP/DRB SUBMITTAL
10/23/18	LUP/DRB RE-SUBMITTAL
11/05/18	LUP/DRB RE-SUBMITTAL

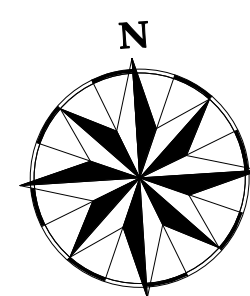
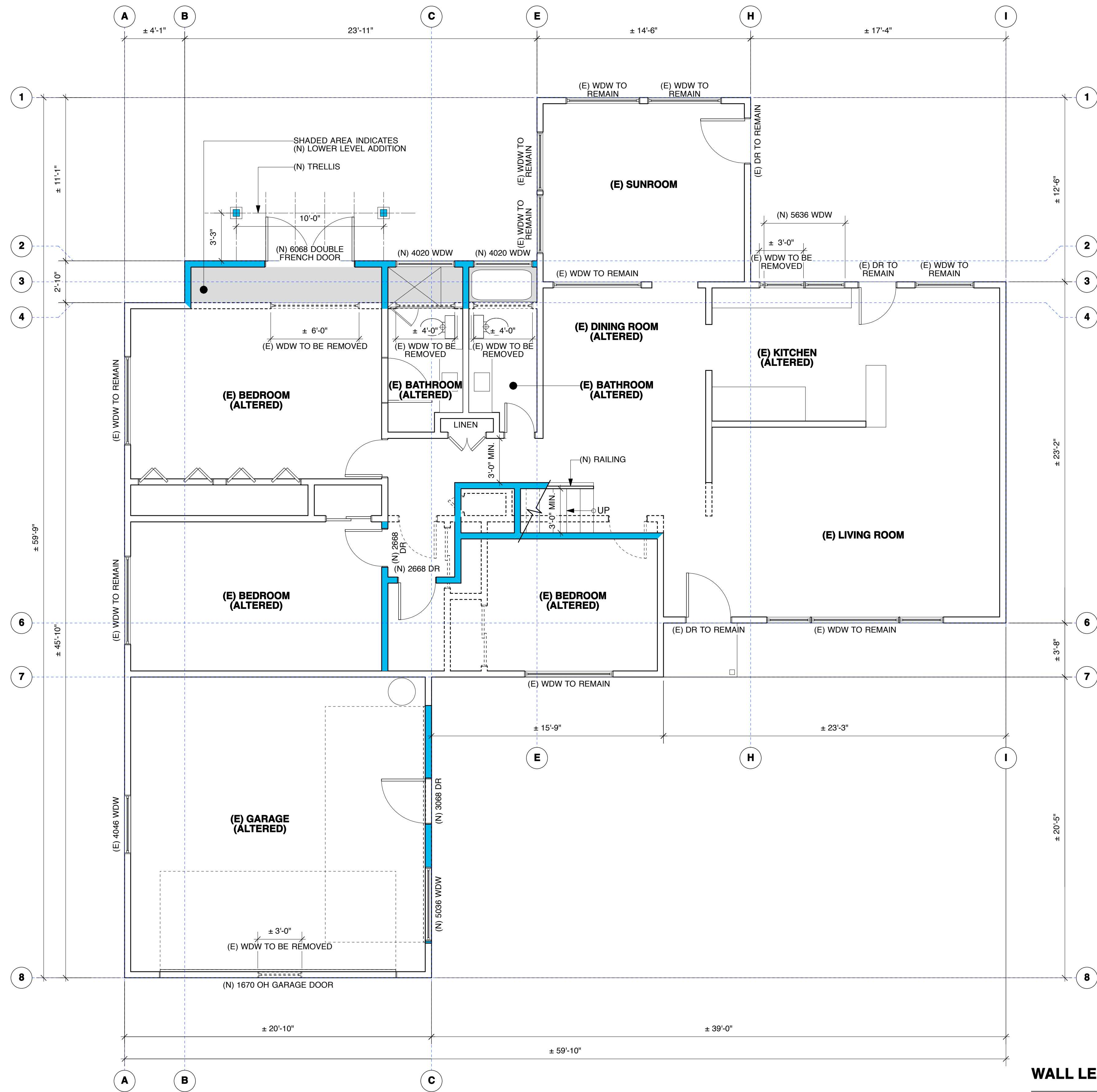
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TITLE SHEET / SITE PLAN

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535 SANTA BARBARA STREET
MAIL TO:
SHERRY & ASSOCIATES
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D A W N S H E R R Y . C O M

THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.



LOWER LEVEL FLOOR PLAN - EXISTING / PROPOSED
SCALE: 1/4" = 1'-0"

WALL LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL

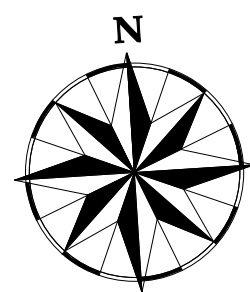
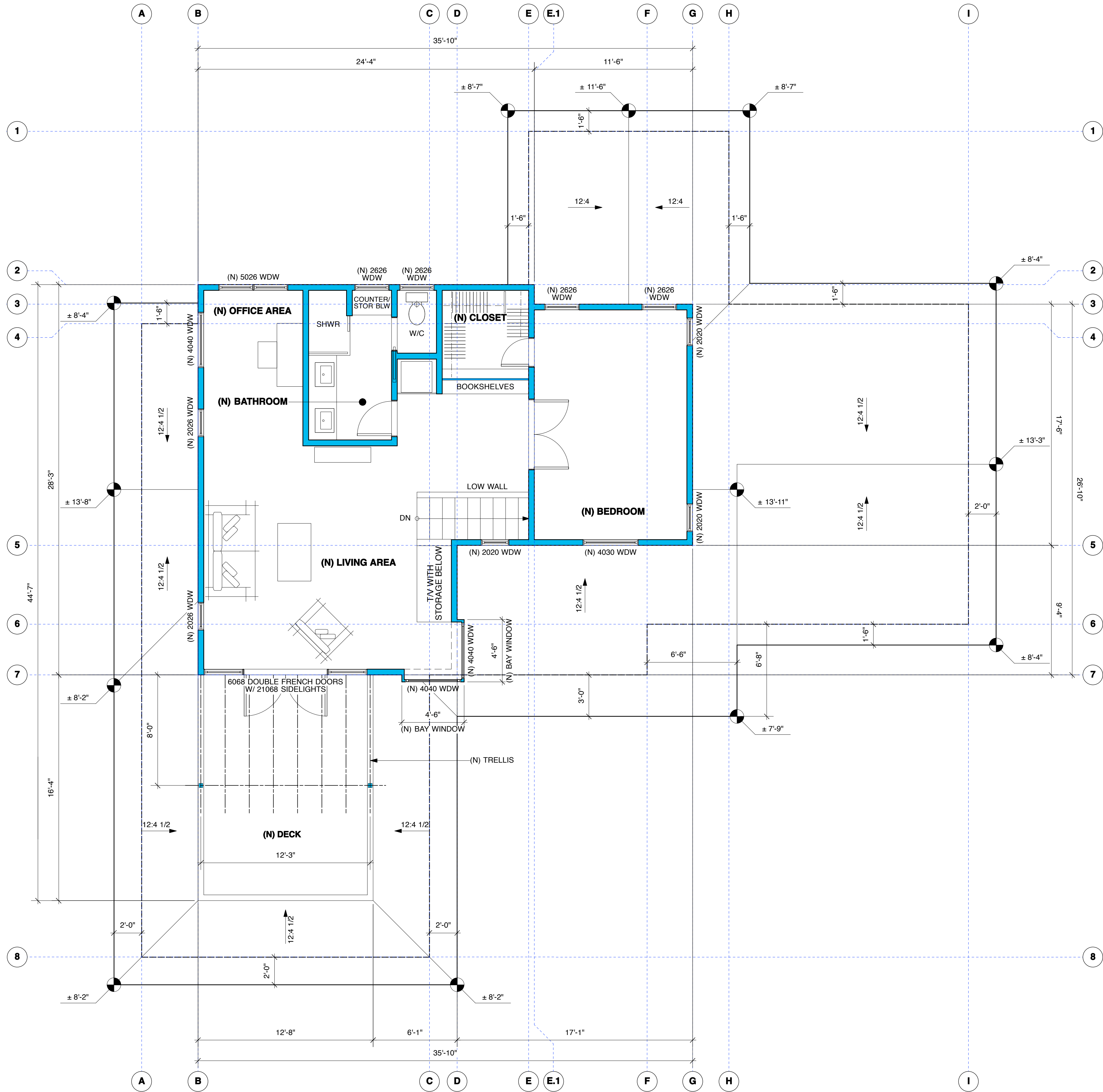
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D A W N @ D A W N S H E R R Y . C O M

DATE	DESCRIPTION
09/13/18	LUP/DRB SUBMITTAL
10/23/18	LUP/DRB RE-SUBMITTAL
11/05/18	LUP/DRB RE-SUBMITTAL



PROPOSED - UPPER LEVEL FLOOR PLAN / LOWER LEVEL ROOF PLAN

SCALE: 1/4" = 1'-0"

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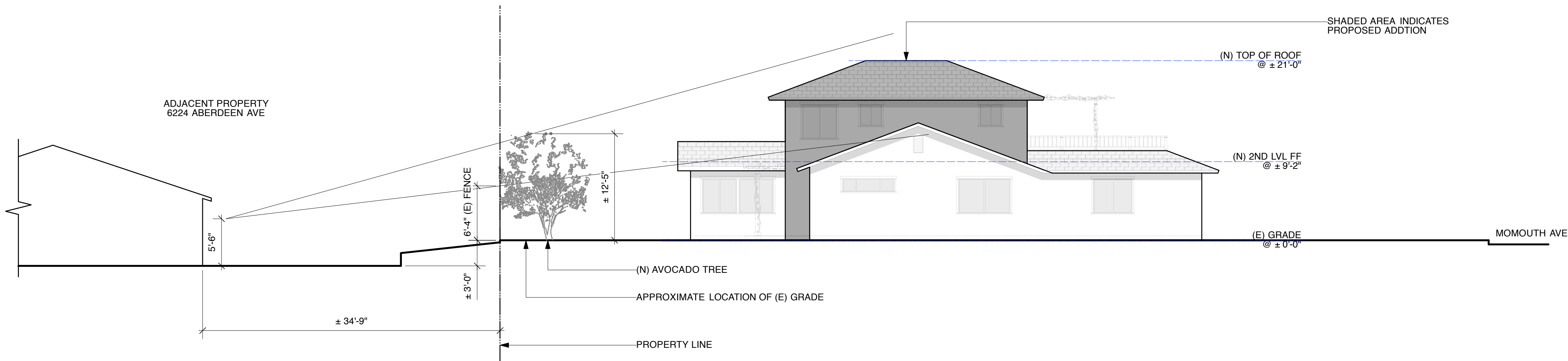
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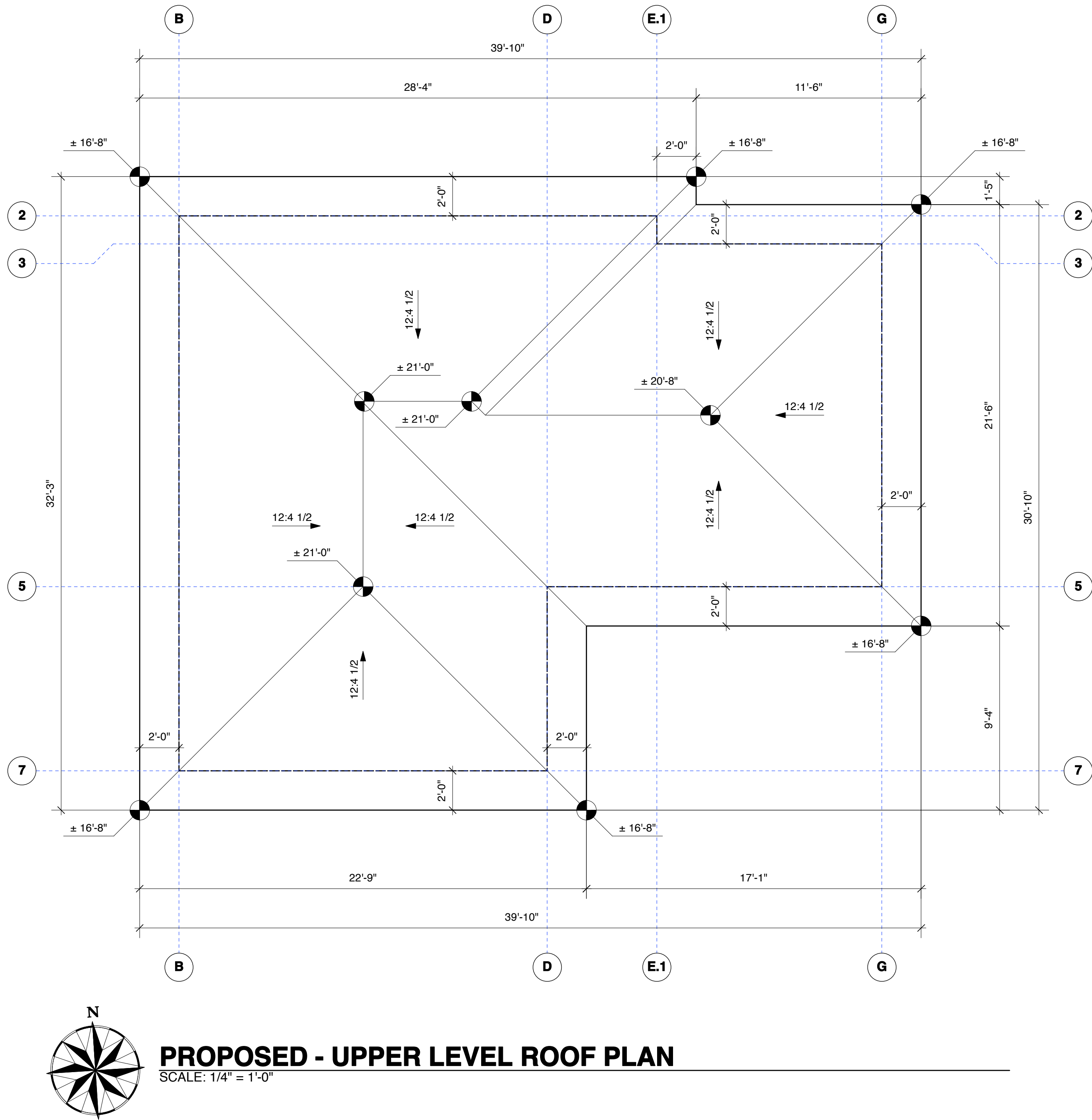
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A 1.2
PROPOSED - UPPER LEVEL FLOOR PLAN
/ LOWER LEVEL ROOF PLAN

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SIGHT LINE SITE SECTION
SCALE: 1/8" = 1'-0"

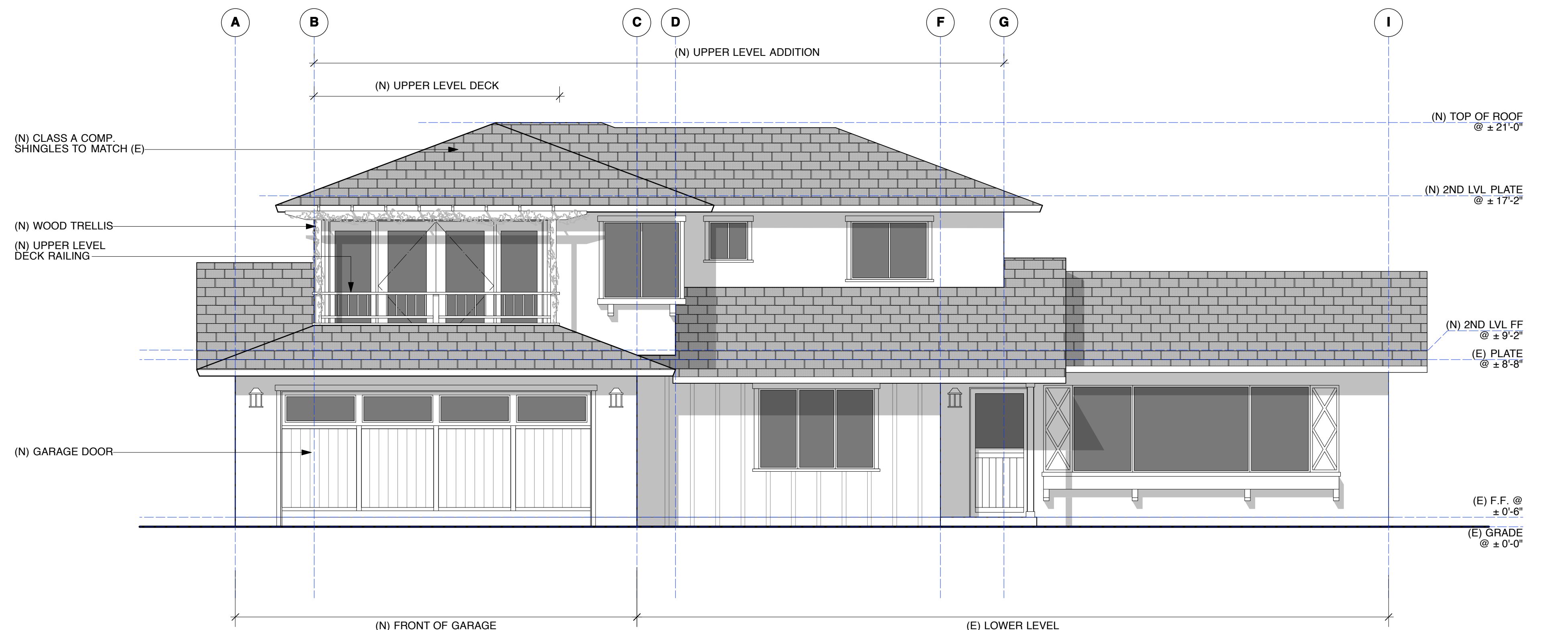


PROPOSED - UPPER LEVEL ROOF PLAN
SCALE: 1/4" = 1'-0"

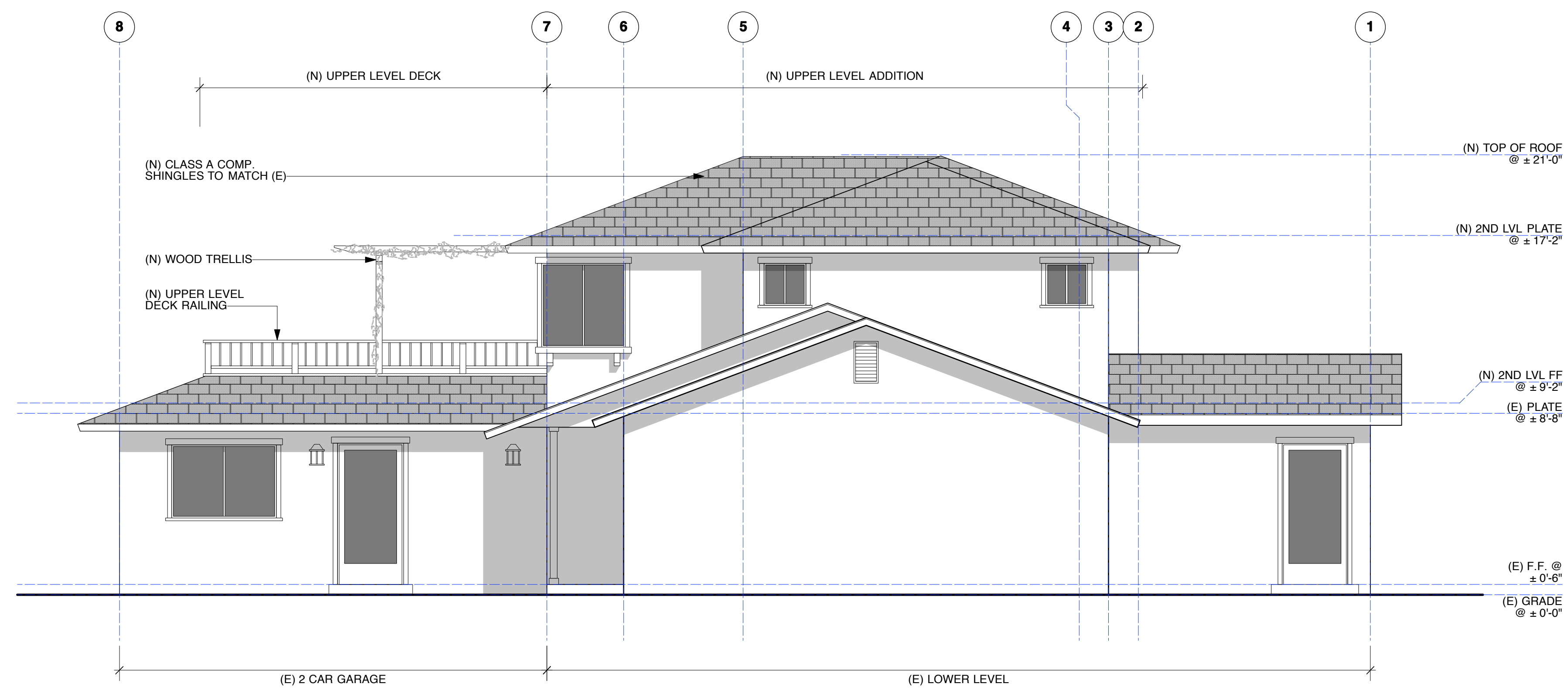
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

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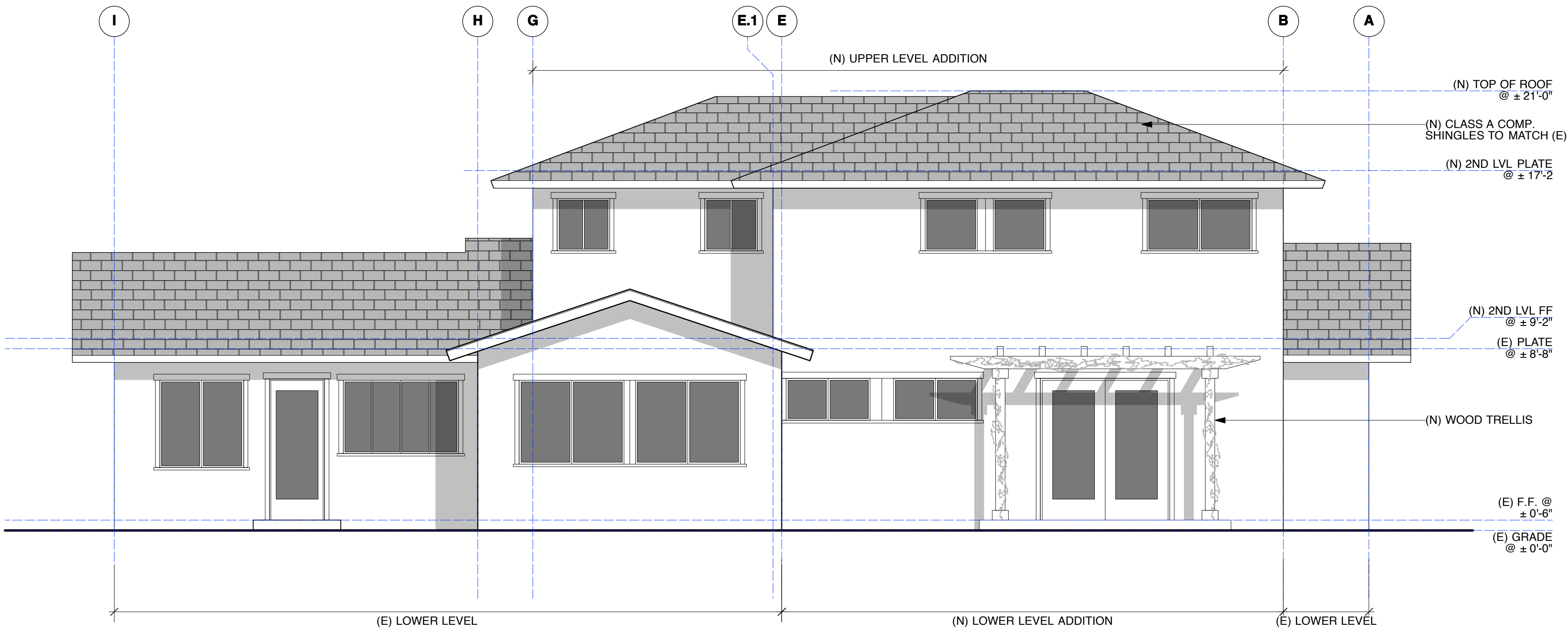
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DAWN SHERRY, ARCHITECT

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11/05/18	LUP/DRB RE-SUBMITTAL

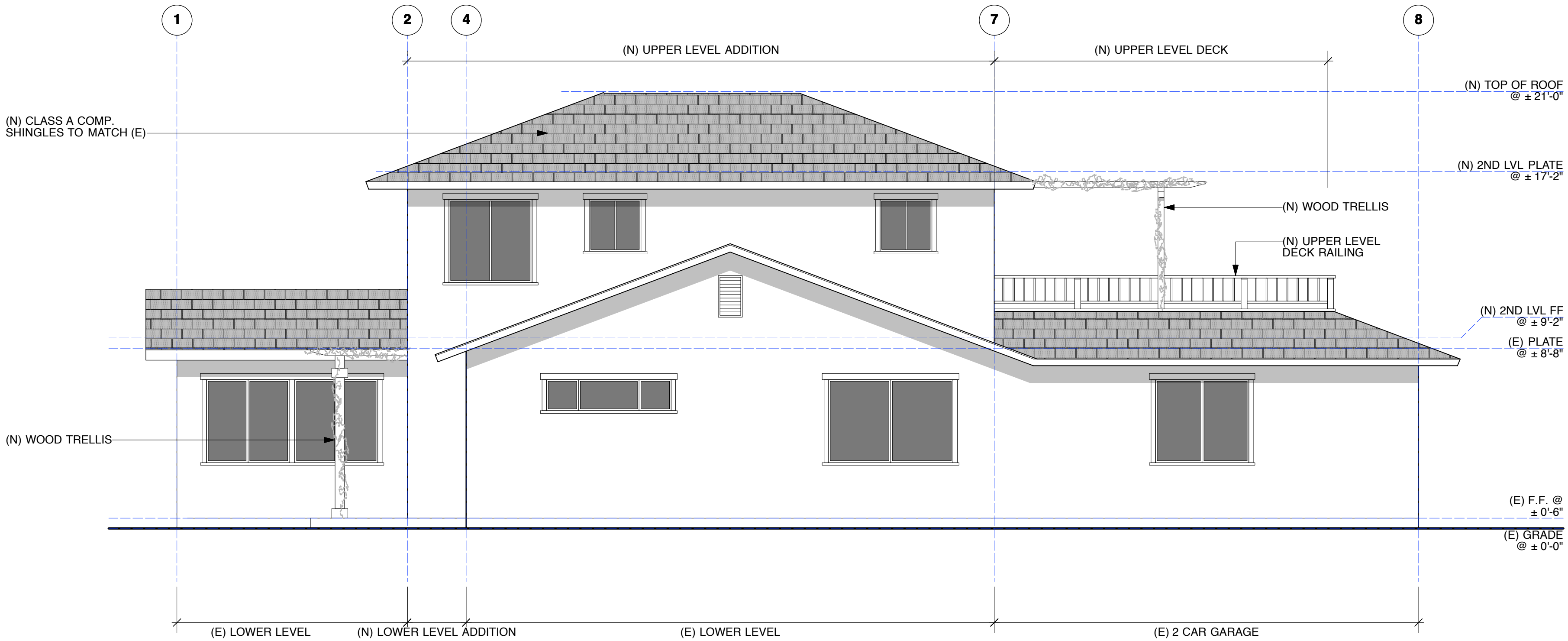
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ELEVATIONS - PROPOSED



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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A 2.1

ELEVATIONS - PROPOSED

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