

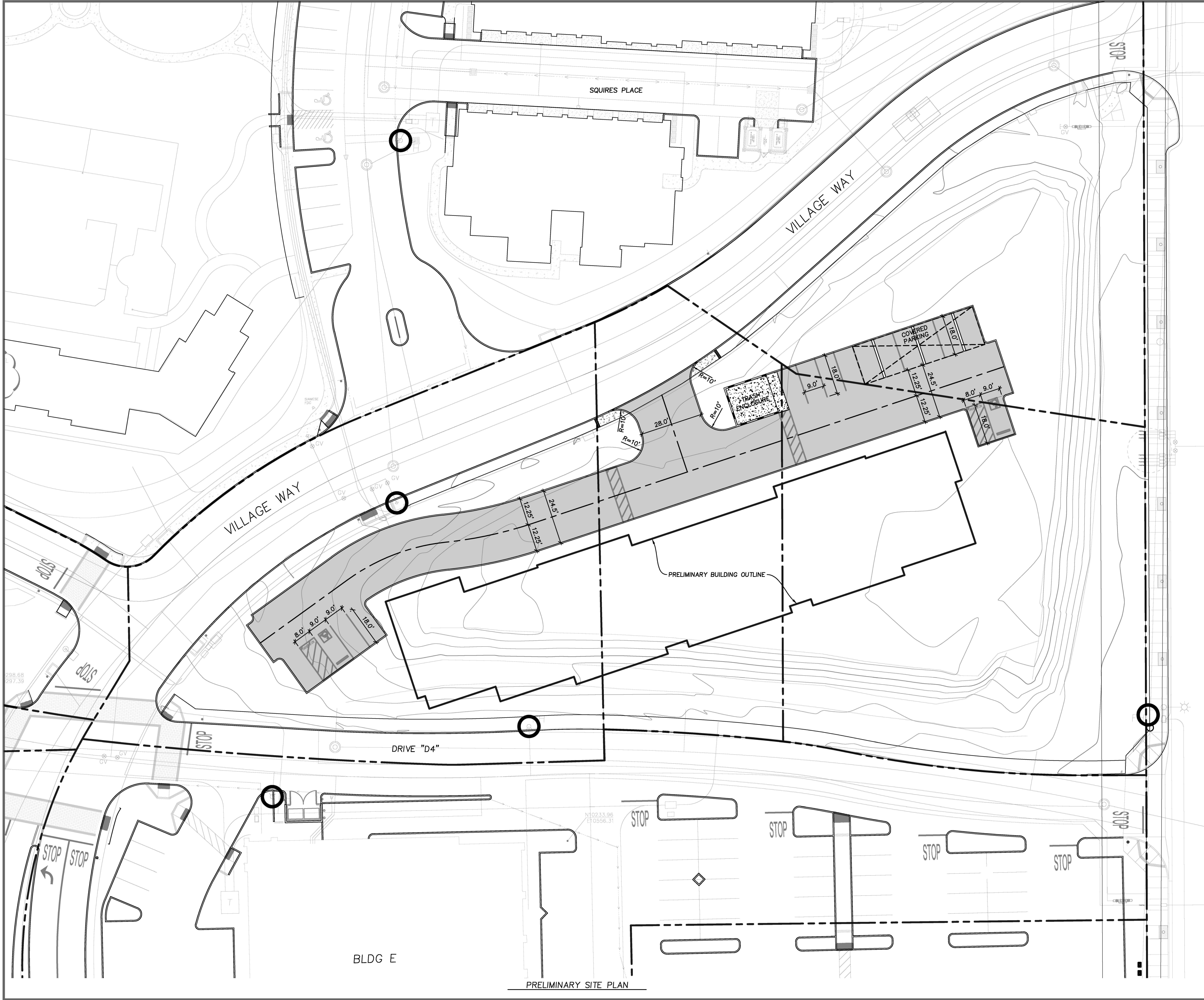






OPEN SPACE ILLUSTRATIVE





VICINITY MAP

ASSESSORS PARCEL MAP

PROJECT DATA

PROJECT ADDRESS: 7000 HOLLISTER AVE.  
GOLETA, CA 93117

CLIENT INFORMATION: WESTAR ASSOCIATES

PROPOSED WORK: GRADING, DRAINAGE AND RELATED SITEWORK

ABBREVIATIONS

AC	ASPHALT CONCRETE	N.T.S.	NOT TO SCALE
BW	BACK OF WALK	PP	POWER POLE
C	COMMUNICATIONS	RM	TOP OF STRUCTURE
CL	CHAIN LINK FENCE	S	SEWER
CO	CLEANOUT	SD	STORM DRAIN
E	ELECTRICAL	SDMH	STORM DRAIN MANHOLE
EP	EDGE OF PAVEMENT	SL	SEWER LATERAL
FF	FINISHED FLOOR	SSMH	SEWER MANHOLE
FG	FINISHED GRADE	STBK	SETBACK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TF	TOP OF FOOTING
FS	FINISHED SURFACE	TG	TOP OF GRATE
FW	FIRE WATER	TP	TOP OF PIPE
G	GAS	TW	TOP OF WALL
GFF	GARAGE FINISHED FLOOR	U	DRY UTILITIES
GM	GAS METER	W	WATER
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WV	WATER VALVE
LP	LOW POINT		

CONSULTANTS

COAST ENGINEERING & SURVEY, INC.  
SCOTT SMITH, P.E. 74892  
5553 HOLLISTER AVE. #5  
GOLETA, CA. 93117  
(760) 522-1527  
scott@coast-inc.com

SCALE: 1"=20'

COAST  
ENGINEERING & SURVEY, INC.  
5553 HOLLISTER AVE. #5  
GOLETA, CA. 93117  
CELL: (760) 522-1527

REVISIONS

DATE	DESCRIPTION	DATE	DESCRIPTION

LOCATION: 7000 HOLLISTER AVE.  
GOLETA, CA.  
APN: 073-030-026, 027, 028 & 033

PROJECT NO. 17122

CLIENT WESTAR ASSOCIATES

CHECKED JSS

STATIONED STS

HOLLISTER VILLAGE  
FINAL PHASE  
TRIANGLE LOTS 4, 5, 6 & 10

SHEET: SP1

DATE: OCT. 29, 2018

OF: 1

THOMAS OCHSNER  
Architect

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CLIENT

WESTAR  
ASSOCIATES

PROJECT

HOLLISTER  
VILLAGE  
APARTMENTS

7000 HOLLISTER AVE.  
GOLETA, CA 93117

SHEET TITLE

EXISTING SITE  
SURVEY

SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL	11/27/2018
APPLICATION COMPLETENESS	1/15/2019

PROJECT #

PROJECT NAME HOLLISTER VILLAGE APARTMENTS

DATE DRAWN

DATE 1/15/2019

SHEET NO.

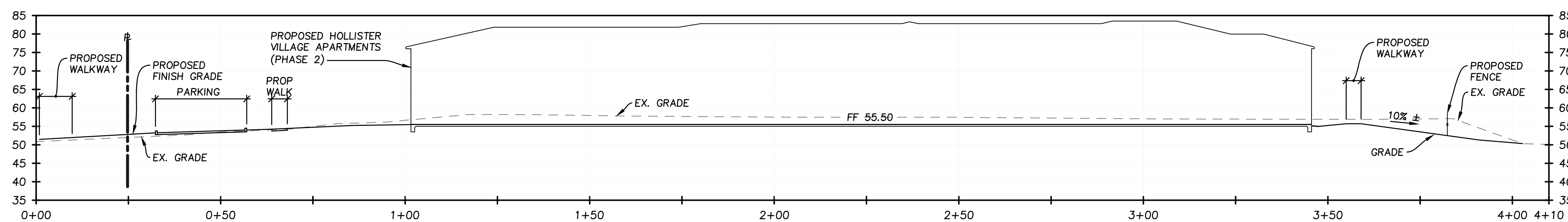
T-1.2



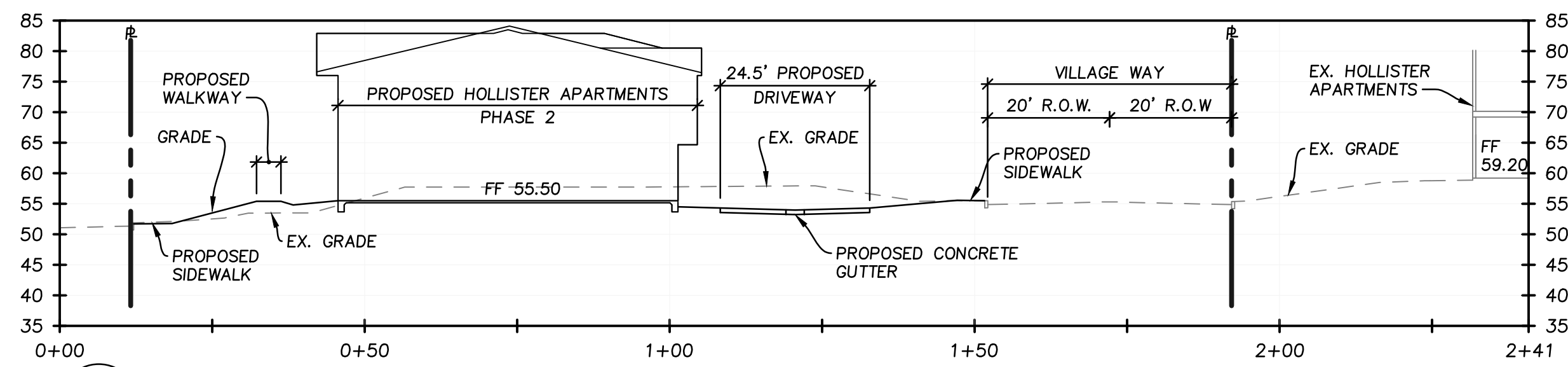
# HOLLISTER VILLAGE – PHASE 2

## PRELIMINARY SITE IMPROVEMENT PLAN

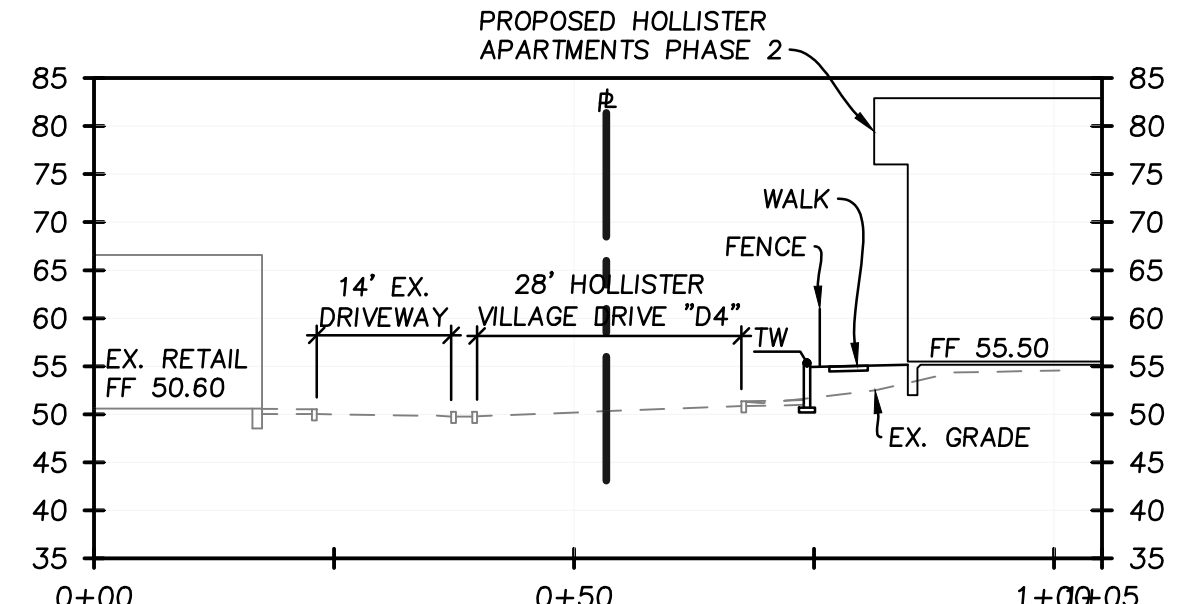
7000 HOLLISTER AVE.  
GOLETA, CA. 93117



1 SECTION  
C1 SCALE: 1"=20'



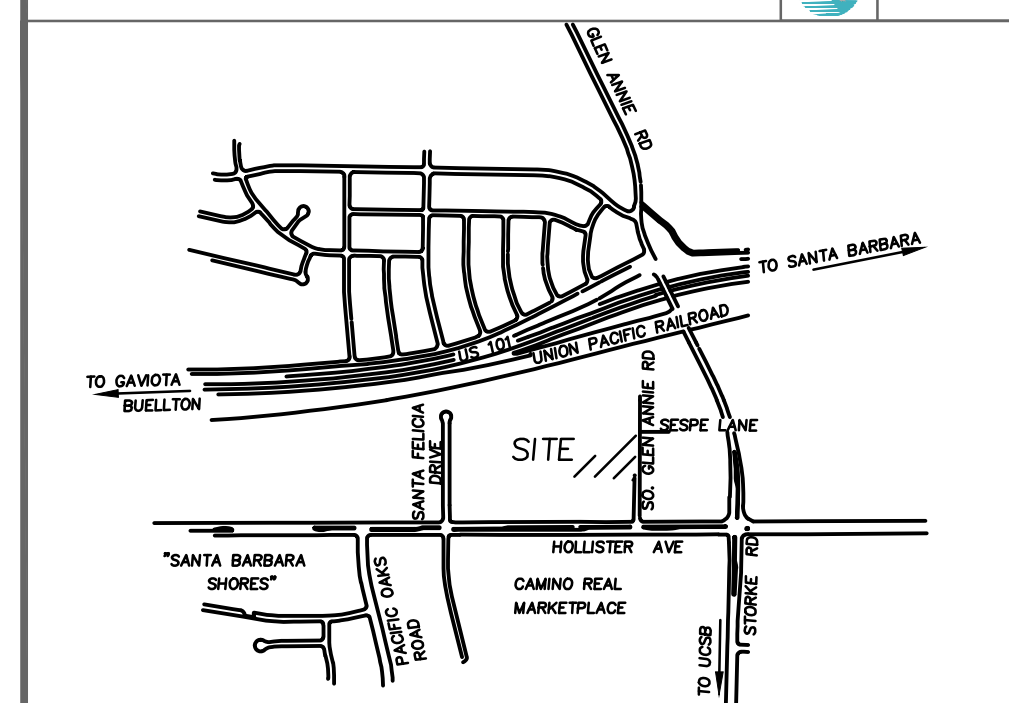
A SECTION  
C1 SCALE: 1"=20'



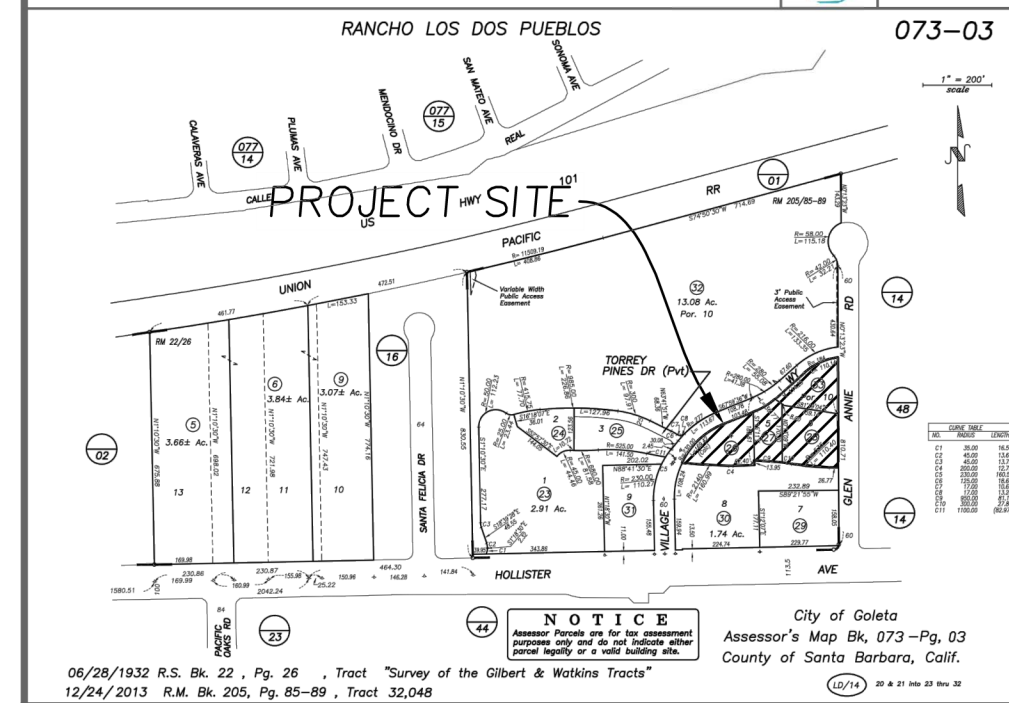
B SECTION  
C1 SCALE: 1"=20'



VICINITY MAP N.T.S.



ASSESSORS PARCEL MAP N.T.S.



PROJECT DATA

PROJECT ADDRESS: 7000 HOLLISTER AVE.  
GOLETA, CA. 93117

CLIENT INFORMATION: WESTAR ASSOCIATES

PROPOSED WORK: GRADING, DRAINAGE, UTILITIES AND RELATED SITEWORK

GRADING STATISTICS

CUT	7,500	CY
FILL	0	CY
TOTAL GRADED AREA	77,450	SF
	1.78	ACRES

EARTHWORK QUANTITIES ARE RAW VOLUMETRIC ESTIMATES FOR PERMITTING ONLY. EARTHWORK VOLUMES ARE CALCULATED FROM THE EXISTING GROUND SURFACE TO THE PROPOSED SUBGRADE. CONTRACTOR SHALL PERFORM INDEPENDENT EARTHWORK ANALYSIS FOR PRICING OR PAY PURPOSES. QUANTITIES ABOVE DO NOT INCLUDE CLEARING, GRUBBING, SUBSIDENCE, SHRINKAGE OR EXPANSION FACTORS.

ABBREVIATIONS

BW	BACK OF WALK	LP	LOW POINT
C	COMMUNICATIONS	RM	TOP OF STRUCTURE
CO	CLEANOUT	S	SEWER
E	ELECTRICAL	SD	STORM DRAIN
FF	FINISHED FLOOR	SL	SEWER LATERAL
FG	FINISHED GRADE	TC	TOP OF CURB
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G	GAS	TW	TOP OF WALL
GP	GARAGE FINISHED FLOOR	U	DRY UTILITIES
HP	HIGH POINT	W	WATER
INV	INVERT		

CONSULTANTS

CIVIL ENGINEER: COAST ENGINEERING & SURVEY, INC.  
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(760) 522-1527  
SCOTT@COAST-INC.COM

ARCHITECT: THOMAS OSCHNER  
(805) 770-7576

LANDSCAPE ARCHITECT: RRM  
WES AROLA  
(805) 543-1794

IMPROVEMENT NOTES

- 1 PROPOSED DRIVEWAY.
- 2 PROPOSED ACCESSIBLE PARKING.
- 3 PROPOSED TRASH ENCLOSURE.
- 4 PROPOSED FENCE.
- 5 PROPOSED WALKWAY.

SHEET INDEX

C1 PRELIMINARY SITE IMPROVEMENT PLAN

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CLIENT

WESTAR

PROJECT

HOLLISTER  
VILLAGE  
APARTMENTS  
PHASE 2

7000 HOLLISTER AVE  
GOLETA, CA 92866

SHEET TITLE

PRELIMINARY SITE  
IMPROVEMENT  
PLAN

REVISIONS



PROJECT #

GOLETA APARTMENTS

DATE DRAWN

12 NOVEMBER 2018

SHEET NO.

C1



A collection of eight colorful, spiky, alien-like creatures (resembling sea urchins or cacti) arranged on a grid background. The creatures are in various colors: purple, pink, green, and grey. Some have multiple eyes or facial features. They are positioned across the grid, with some near the top and others near the bottom.

<u>TREES</u>	<u>COMMON NAME</u>	<u>CONT</u>
CHORISIA SPECIOSA	SILK FLOSS TREE	24"BOX
JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	24"BOX
OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	48"BOX
PLATANUS RACEMOSA	LONDON PLANE TREE	24"BOX
QUERCUS AGRIFOLIA	COAST LIVE OAK	48"BOX
TRISTANIA CONFERTA	BRISBANE BOX	15 GAL
<u>SHRUBS</u>	<u>COMMON NAME</u>	<u>CONT</u>
ALOE STRIATA	CORAL ALOE	5 GAL
AYOGYNE HUEGELI 'SANTA CRUZ'	BLUE HIBISCUS	5 GAL
ANIGOZANTHOS SPP.	BIG RED KANGAROO PAW	1 GAL
BULBINE FRUTESCENS 'HALLMARK'	STALKED BULBINE	1 GAL
CHONDROPETALUM TECTORUM 'EL CAMPO'	WAXE RUSH	1 GAL
DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE FLX LILY	1 GAL
PICUS REPENS	CREEPING FIG	1 GAL
JUNCUS SPP.	RUSH	1 GAL
LAVANDULA X INTERMEDIA 'PROVENCE'	PROVENCE LAVENDIN	1 GAL
LOMANDRA HYSTRX 'TROPIC BELLE'	TROPIC BELLE MAT RUSH	1 GAL
LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL
OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	5 GAL
PHILOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL
PHORMIUM SPP.	NEW ZEALAND FLAX	5 GAL
PITTIOSPORUM SPP.	TAWHIWIHI	5 GAL
ROSMARINUS SPP.	ROSEMARY	1 GAL
SALVIA GREGGII	AUTUMN SAGE	1 GAL
SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL
SENECIO MANDRALISCAE	BLUE FINGER	1 GAL
SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

TREES AND POTTERY WILL BE IRRIGATED BY BUBBLERS. ALL PLANTING WILL RECEIVE DRIP IRRIGATION.

ALL ABOVE GROUND UTILITIES WILL BE SCREEN WITH VEGETATION.

I CERTIFY THAT THIS PLANT PALETTE COUPLED WITH THE IRRIGATION  
SYSTEM  
DESCRIBED ABOVE WILL MEET OR EXCEED THE STATE MODEL  
WATER  
EFFICIENT LANDSCAPE ORDINANCE (MWEO)

x   
WESLEY AROLA  
LANDSCAPE ARCHITECT | CA LICENSE NUMBER #5958

- ① DECOMPOSED GRANITE PATH
- ② OPEN FENCING WITH PEDESTRIAN GATES
- ③ BENCH SEATING, TYP
- ④ PASSIVE LAWN AREA
- ⑤ SIGNATURE TREE
- ⑥ MAIL BOX
- ⑦ VEGETATIVE SCREENING (SHOWN SCHEMATICALLY)
- ⑧ GENERAL PLANTING AREAS OF SHRUBS AND GROUND COVER (NOT LAWN, SEE PLANT LIST AT RIGHT)

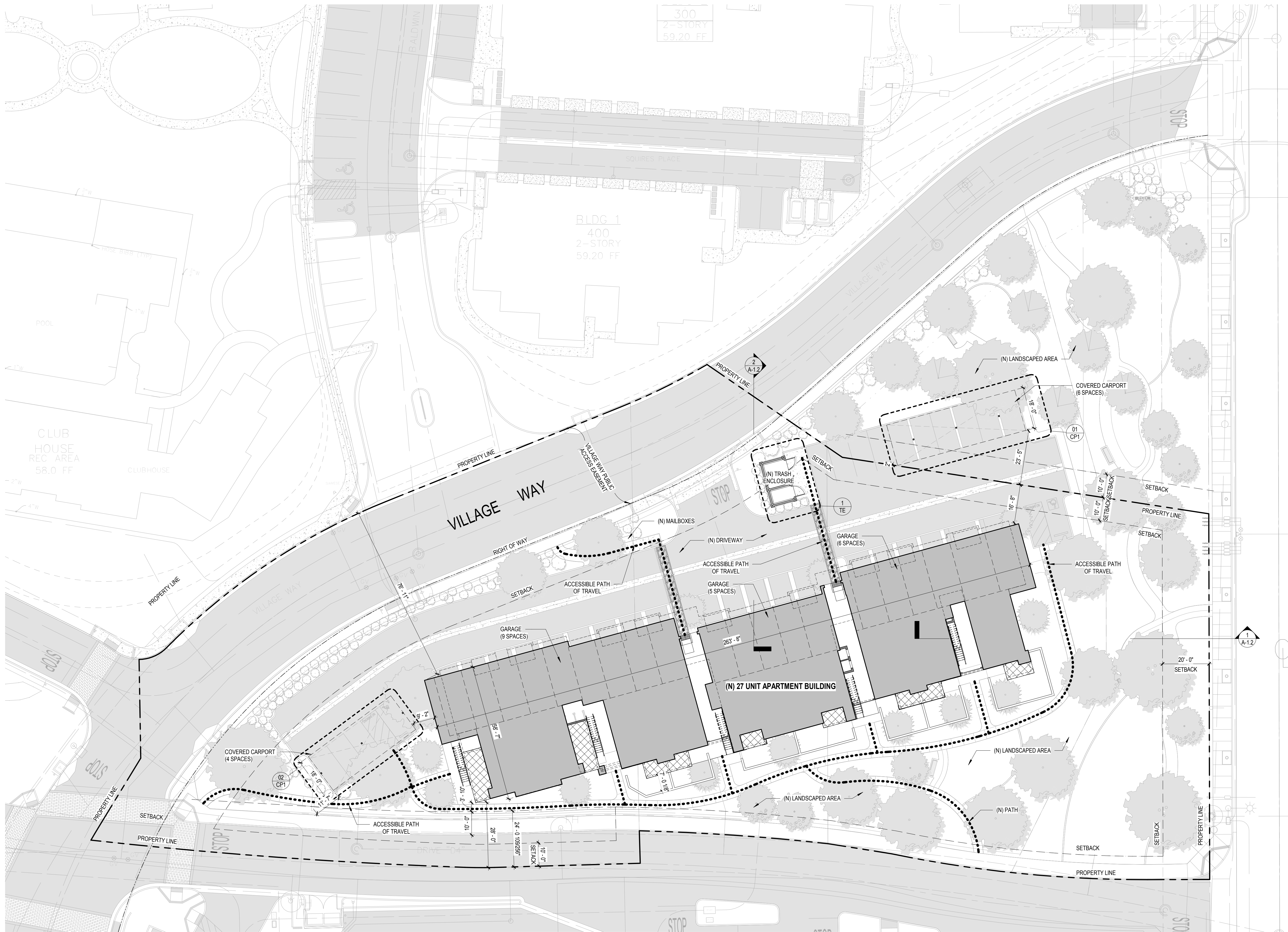
IT IS THE INTENT THAT ALL MATERIALS AND BUILT ELEMENTS  
COMPLIMENT AND CORRESPOND WITH THE EXISTING  
DEVELOPMENT



GRAPHIC SCALE

( In Feet )  
1/16 inch = 1 foot





SITE PLAN  
SCALE: 1" = 20'-0"

GENERAL NOTES - GRADING

1. ALL GRADING SHALL CONFORM WITH SANTA BARBARA COUNTY CODE CHAPTER 14 GRADING ORDINANCE #4477 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO. THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE SOILS ENGINEER AND ENGINEERING GEOLOGIST.
2. CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST **48 HOURS** BEFORE START OF GRADING WORK OR PRE-CONSTRUCTION MEETING.
3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.
4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.
5. THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.
6. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.
7. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.
8. AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHMARKED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.
9. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 ASTM D - 1557 - 91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTATION TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.
10. CUT SLOPES SHALL NOT EXCEED A GRADE OF 1½:1 HORIZONTAL TO 1 VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2:1 HORIZONTAL TO 1 VERTICAL. SLOPES OVER 3 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.
11. SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.
12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION.
13. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.

KEYNOTES

XXX	KEYNOTE DESIGNATION
KEY VALUE	KEYNOTE TEXT

PROJECT DATA

OWNER:	GOLETA HOLLISTER APARTMENTS LLC C/O WESTAR ASSOCIATES 2925 BRISTOL STREET COSTA MESA, CA 92626
A.P.N.	073-030-026
PROJECT ADDRESS:	7000 HOLLISTER AVE. GOLETA, CA 93117
GENERAL PLAN:	R-M-D
ZONE:	DR-20
OCCUPANCY	R-2 APARTMENTS, S-2 GARAGES, U CARPORTS
LOT SIZE:	1.42 ACRES, 61,855 SF
TYPE OF CONSTRUCTION:	V-A 1 HOUR
PROPOSED NUMBER OF STORIES:	2
PROPOSED BUILDING HEIGHT:	27'-8"
PROPOSED MEAN BLDG HEIGHT:	25'-6"
SPRINKLERS:	YES, NFPA 13R
HIGH FIRE:	NO
BUILDING COVERAGE:	14,764 SF*
(* BUILDING COVERAGE NUMBER FOR 1.42 ACRE LOT ONLY)	

BUILDING NET AREA

R-2 RESIDENTIAL:	16,452 SF
S-2 GARAGE:	5,589 SF
U STORAGE/ UTILITY	364 SF
<b>TOTAL</b>	<b>22,405 SF</b>



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CLIENT

WESTAR  
ASSOCIATES

PROJECT

HOLLISTER  
VILLAGE  
APARTMENTS

7000 HOLLISTER AVE.  
GOLETA, CA 93117

HOLLISTER VILLAGE

SHEET TITLE

SITE PLAN

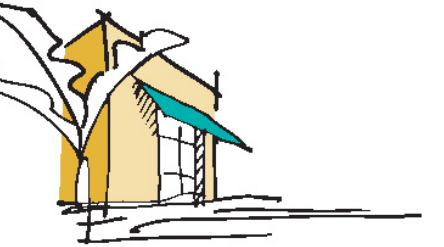
SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL	11/27/2018
APPLICATION COMPLETENESS	1/15/2019

PROJECT #	HOLLISTER VILLAGE APARTMENTS
PROJECT NAME	
DATE DRAWN	
DATE	1/15/2019
SHEET NO.	

A-1.1





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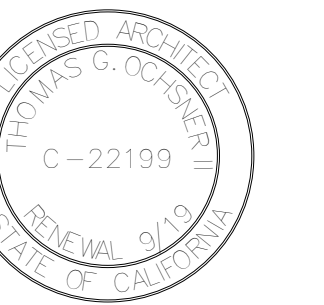
HOLLISTER VILLAGE

SHEET TITLE

SITE  
SECTIONS

SUBMITTALS/ REVISIONS

APPLICATION COMPLETENESS 1/15/2019



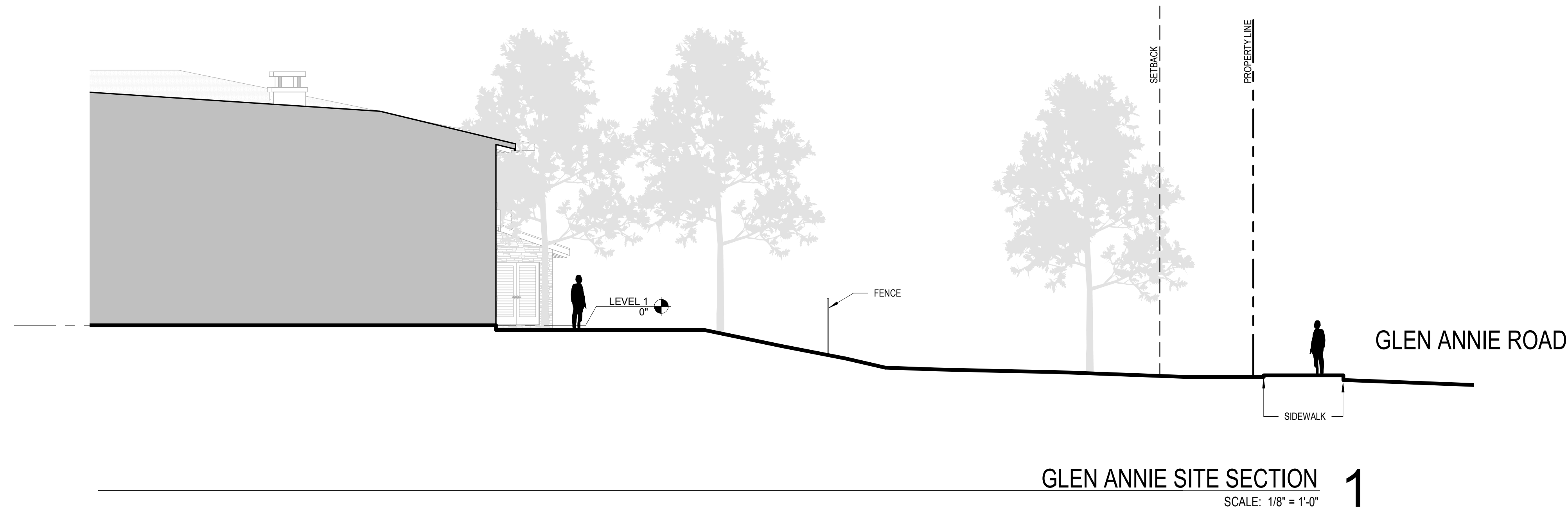
PROJECT #

PROJECT NAME HOLLISTER VILLAGE APARTMENTS

DATE DRAWN

DATE 1/15/2019

SHEET NO.



GLEN ANNIE SITE SECTION

SCALE: 1/8" = 1'-0"

1

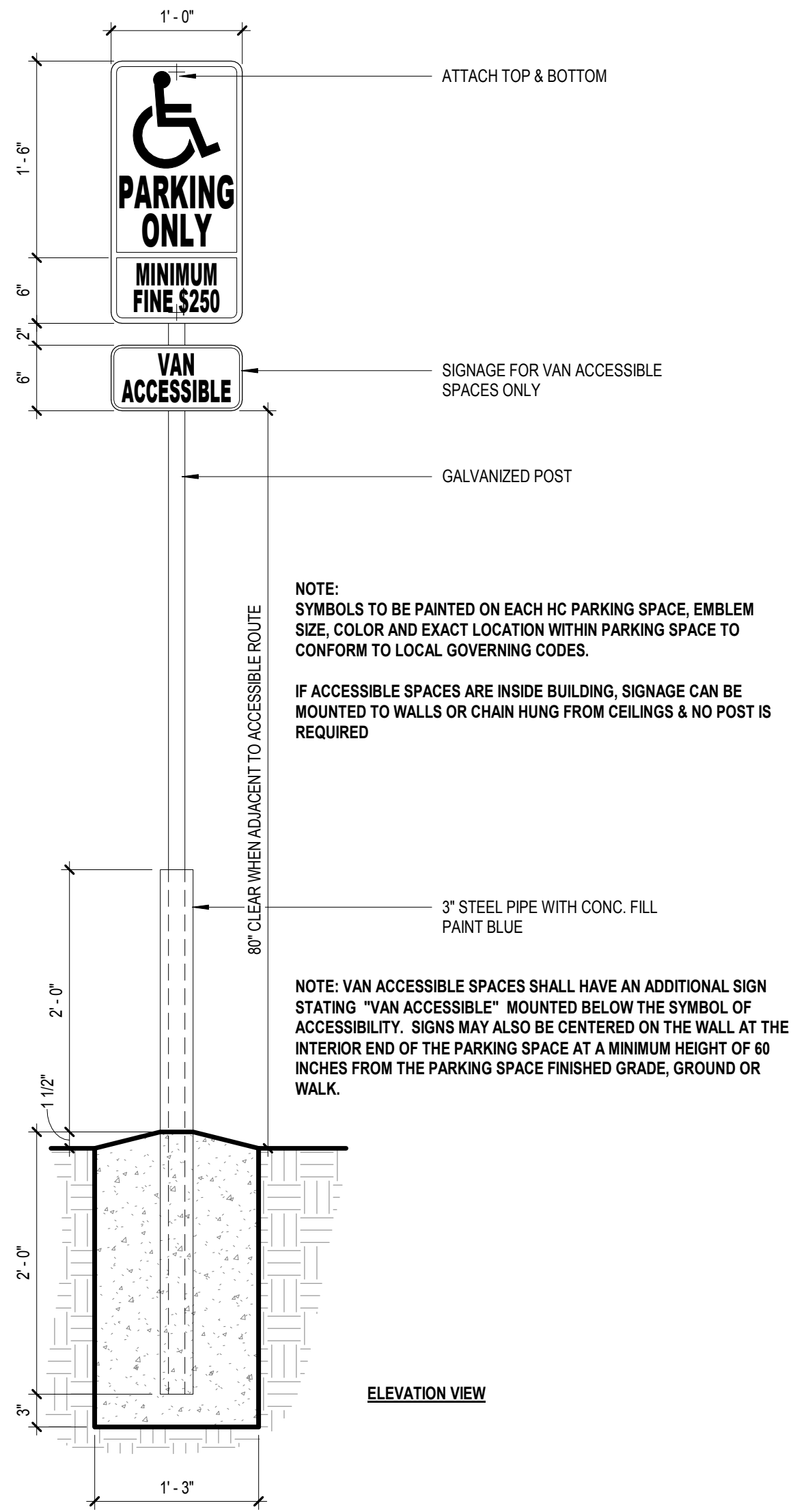


VILLAGE WAY SITE SECTION

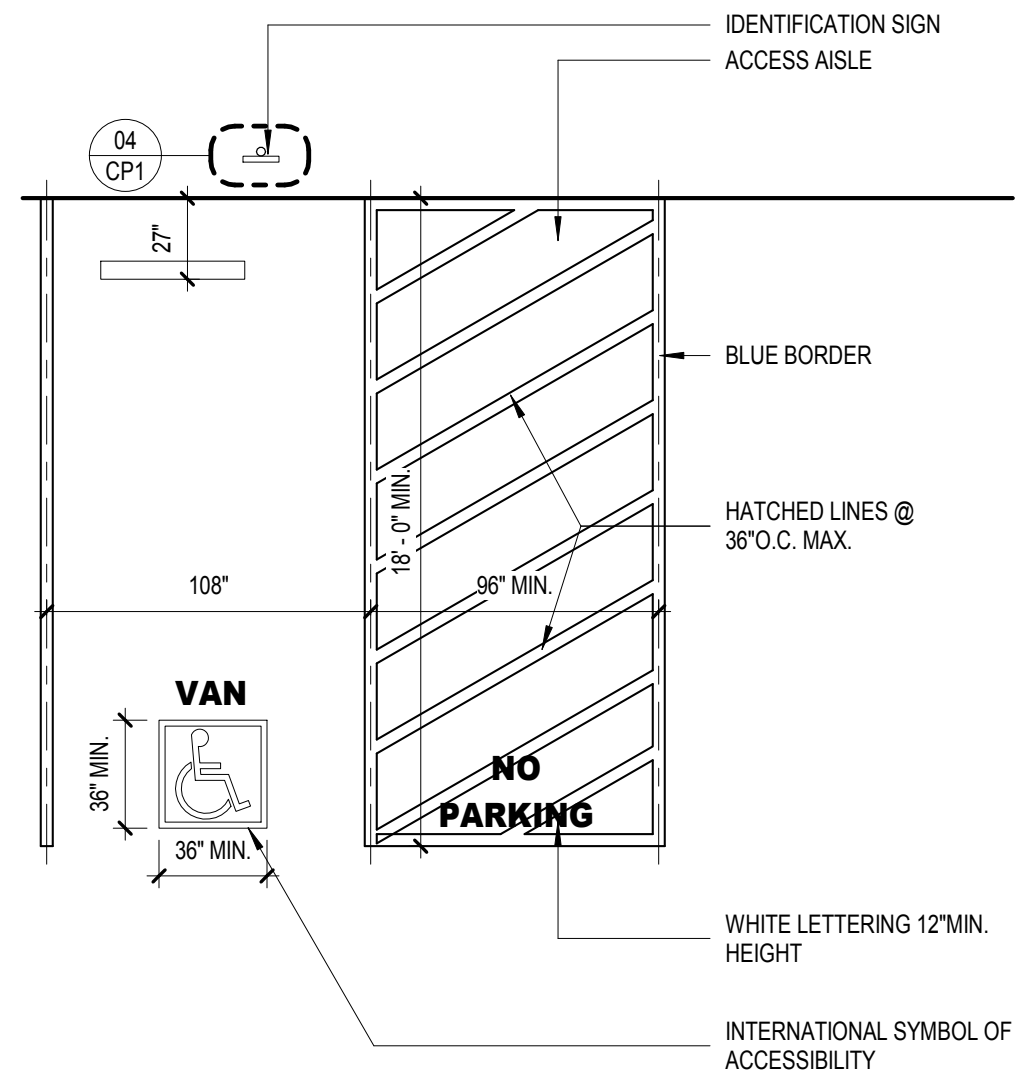
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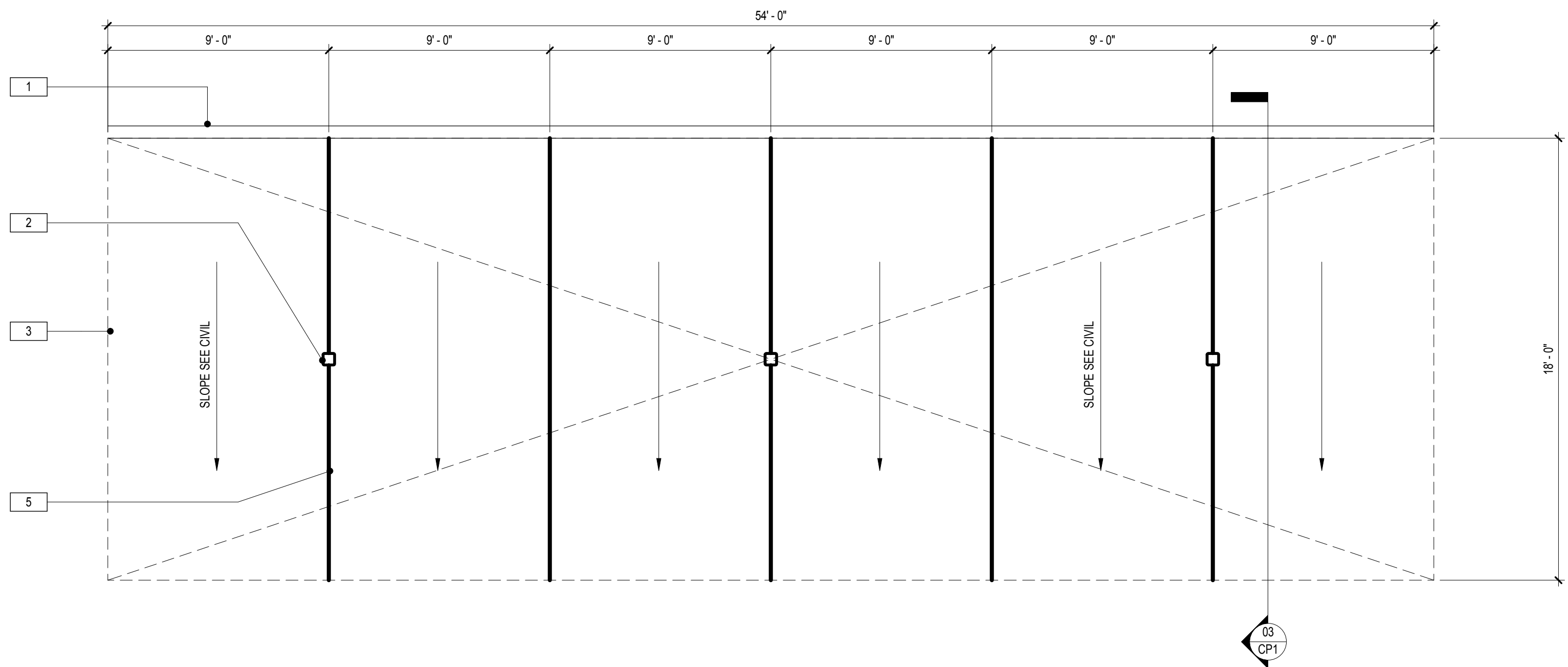




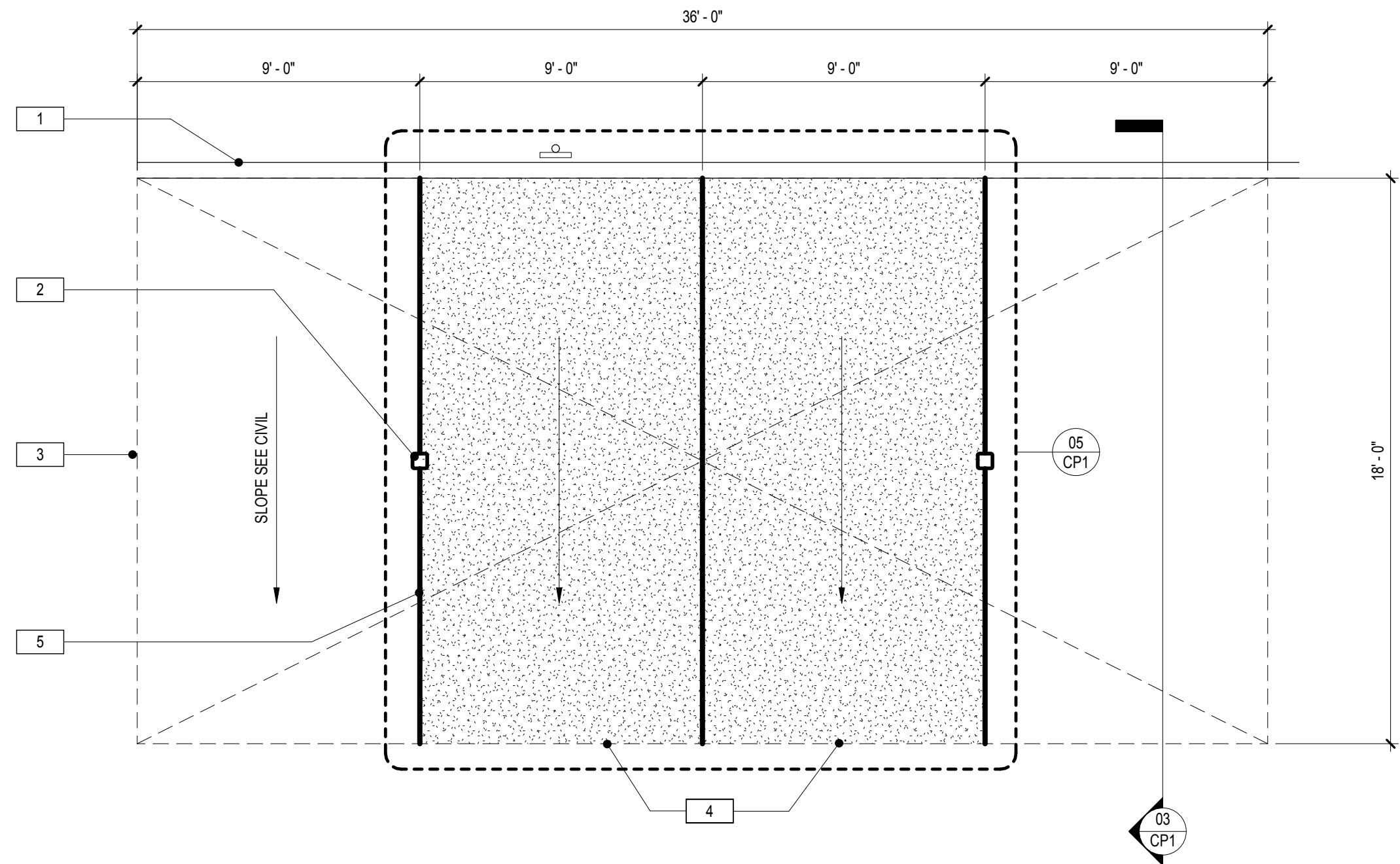
PARKING SIGNAGE 04  
SCALE: 1" = 1'-0"



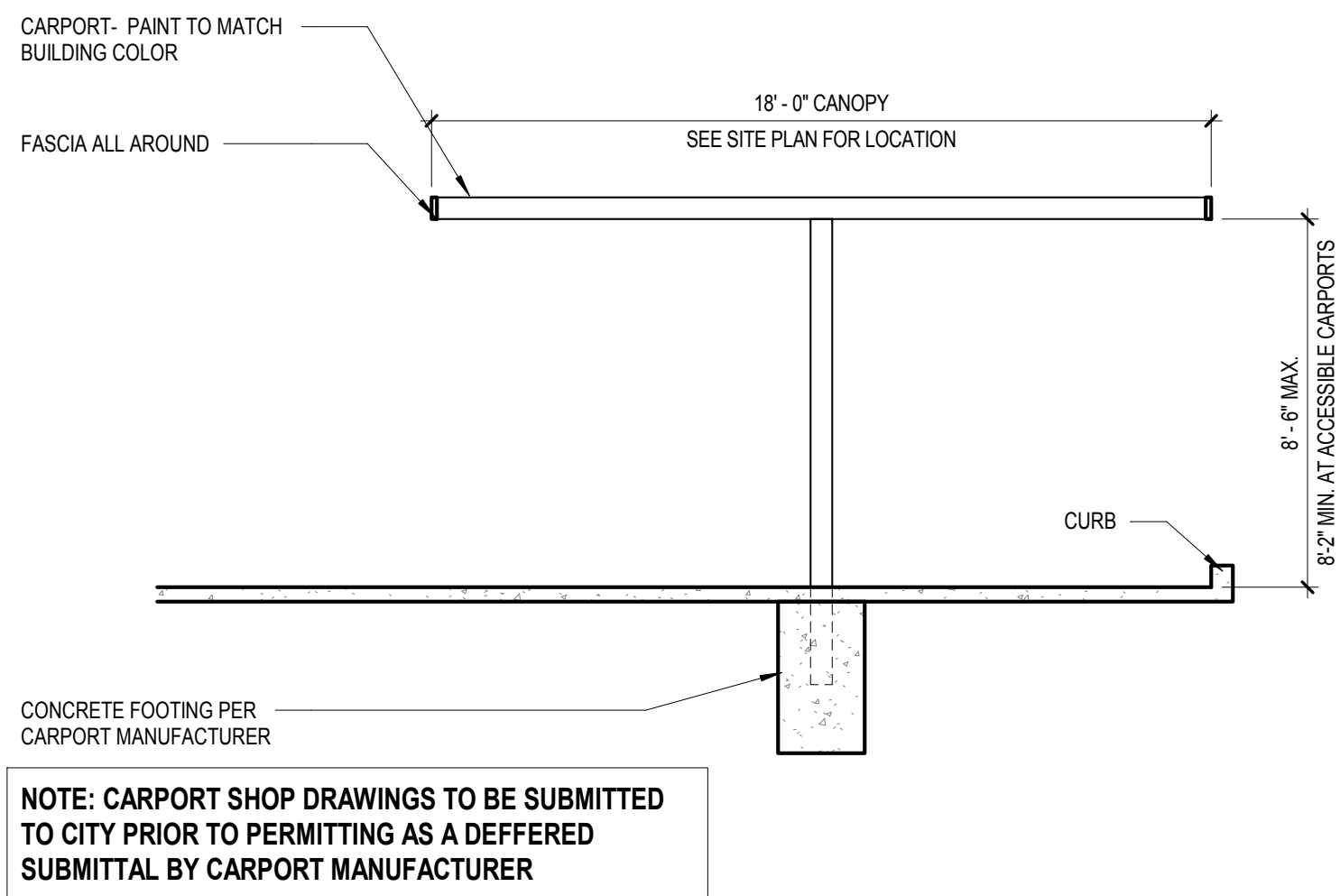
PARKING SPACE 05  
SCALE: 3/16" = 1'-0"



CARPORT 1 ENLARGED PLAN 01  
SCALE: 1/4" = 1'-0"



CARPORT 2 ENLARGED PLAN 02  
SCALE: 1/4" = 1'-0"



CARPORT SECTION 03  
SCALE: 1/4" = 1'-0"

KEY VALUE	KEYNOTE TEXT
1	CONCRETE CURB, SEE CIVIL PLANS
2	STEEL CARPORT POST BY MANUFACTURER
3	PREFAB STEEL CARPORT BY MANUFACTURER
4	ACCESSIBLE STALL & PASSENGER LOADING PER DETAILS, SEE SITE PLAN FOR LOCATIONS
5	STRIPING PER STANDARDS, SEE CIVIL PLANS

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CLIENT

WESTAR  
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PROJECT

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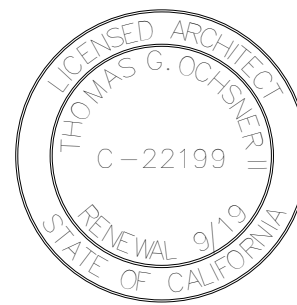
7000 HOLLISTER AVE.  
GOLETA, CA 93117

HOLLISTER VILLAGE

SHEET TITLE

CARPORT  
DRAWINGS

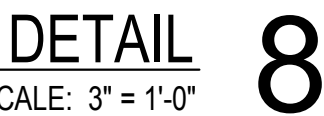
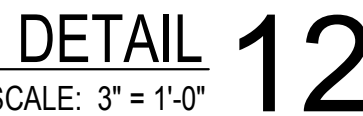
SUBMITTALS/ REVISIONS



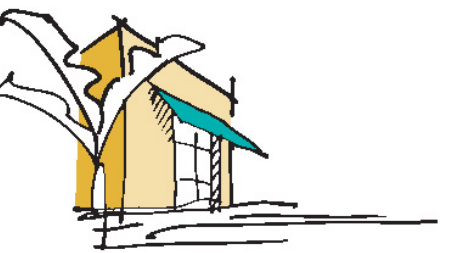
PROJECT #  
PROJECT NAME HOLLISTER VILLAGE APARTMENTS  
DATE DRAWN  
DATE 1/15/2019  
SHEET NO.

CP1









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HOLLISTER  
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APARTMENTS

7000 HOLLISTER AVE.  
GOLETA, CA 93117

HOLLISTER VILLAGE

SHEET TITLE

LEVEL 1  
FLOOR PLAN

SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL	11/27/2018
APPLICATION COMPLETENESS	1/15/2019

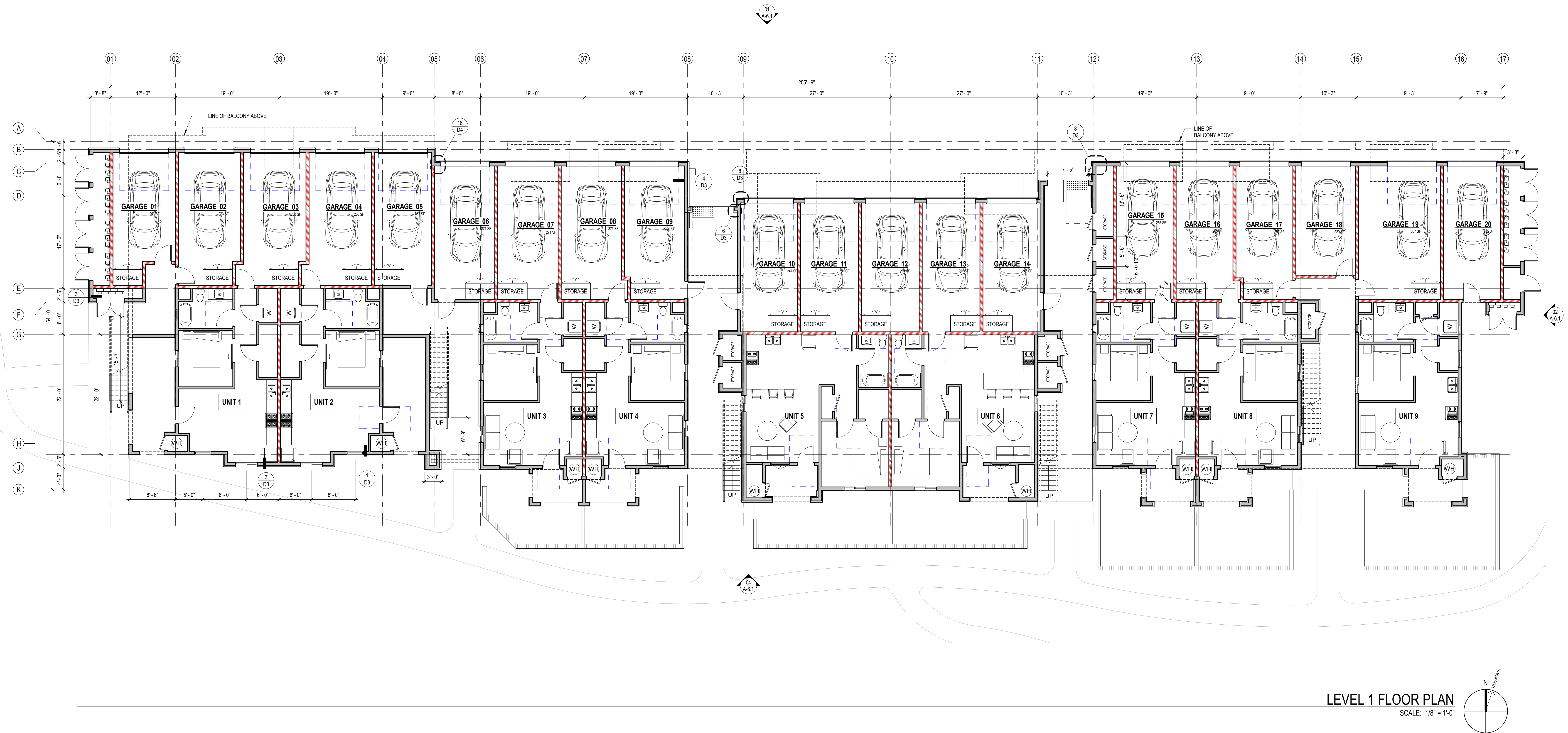
## GENERAL NOTES - FLOOR PLAN

1. HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
2. ALL BEDROOMS REQUIRE AT LEAST ONE EGRESS WINDOW PER CBC SECTION 310.
3. GLAZING MUST CONFORM TO CBC SECTION 2408 WHERE APPLICABLE.
4. FURNITURE NOT IN CONTRACT.

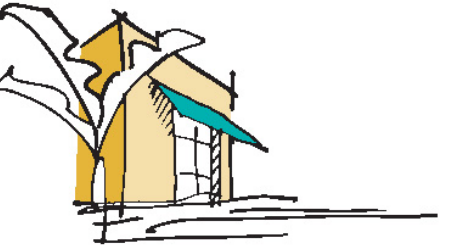
## KEYNOTES

XXX KEYNOTE DESIGNATION

KEY VALUE	KEYNOTE TEXT
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WESTAR  
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PROJECT

HOLLISTER  
VILLAGE  
APARTMENTS

7000 HOLLISTER AVE.  
GOLETA, CA 93117

HOLLISTER VILLAGE

SHEET TITLE

LEVEL 2  
FLOOR PLAN

SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL	11/27/2018
APPLICATION COMPLETENESS	1/15/2019

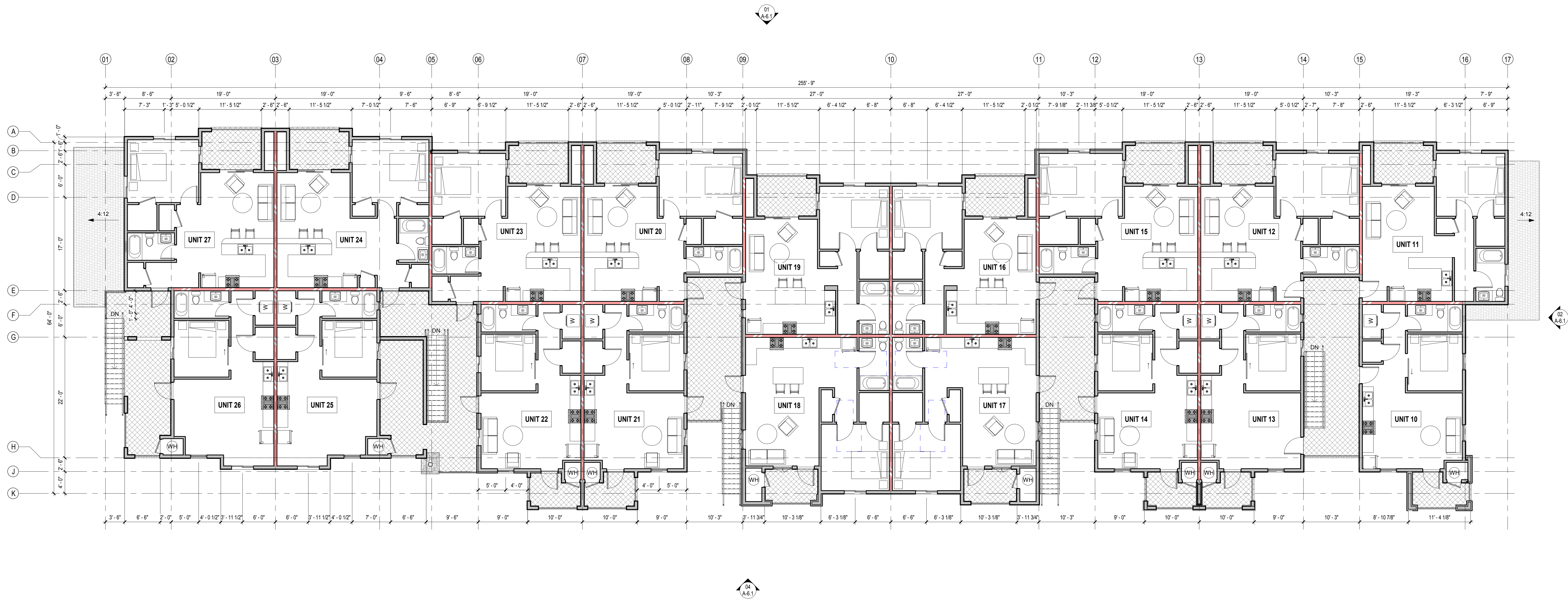
## GENERAL NOTES - FLOOR PLAN

1. HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
2. ALL BEDROOMS REQUIRE AT LEAST ONE EGRESS WINDOW PER CBC SECTION 310.
3. GLAZING MUST CONFORM TO CBC SECTION 2406 WHERE APPLICABLE.
4. FURNITURE NOT IN CONTRACT.

## KEYNOTES

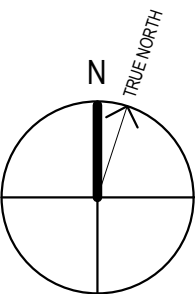
KEYNOTE DESIGNATION

KEY VALUE	KEYNOTE TEXT
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LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROJECT #

PROJECT NAME HOLLISTER VILLAGE APARTMENTS

DATE DRAWN

DATE 1/15/2019

SHEET NO.

A-2.4



GENERAL NOTES - ROOF PLAN

1. PROVIDE FLASHING (8" MIN. LAP) AT ROOF JOINTS. COORDINATE FLASHING MATERIAL SELECTION W/ ARCHITECT, TYP.
2. COORDINATE LOCATION OF (N) VENT RISERS WITH ARCHITECT.
3. ROOF DRAINS AND OVERFLOW DRAINS, WHERE CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE [2010 CBC SECTION 506.4]
4. ATTIC VENT AREA & CALCULATIONS [PER 2010 CBC SECTION 1506.3]

**NOTE:** ENCLOSED ATTICS & ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300TH OF THE SPACE VENTILATED PROVIDED A VAPOR BARRIER NOT EXCEEDING (1) PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION.

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HOLLISTER VILLAGE

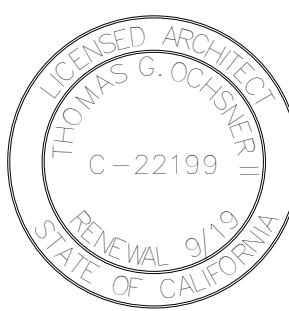
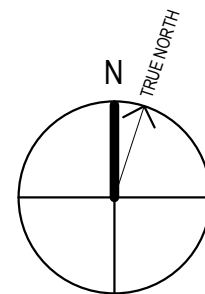
SHEET TITLE

ROOF PLAN

SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL	11/27/2018
APPLICATION COMPLETENESS	1/15/2019

ROOF PLAN  
SCALE: 1/8" = 1'-0"



PROJECT #	HOLLISTER VILLAGE APARTMENTS
PROJECT NAME	
DATE DRAWN	
DATE	1/15/2019
SHEET NO.	

A-4.1





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SHEET TITLE

EXTERIOR  
ELEVATIONS

SUBMITTALS/ REVISIONS

PLANNING SUBMITTAL 11/27/2018  
APPLICATION COMPLETENESS 1/15/2019



PROJECT #

PROJECT NAME HOLLISTER VILLAGE APARTMENTS

DATE DRAWN

DATE 1/15/2019

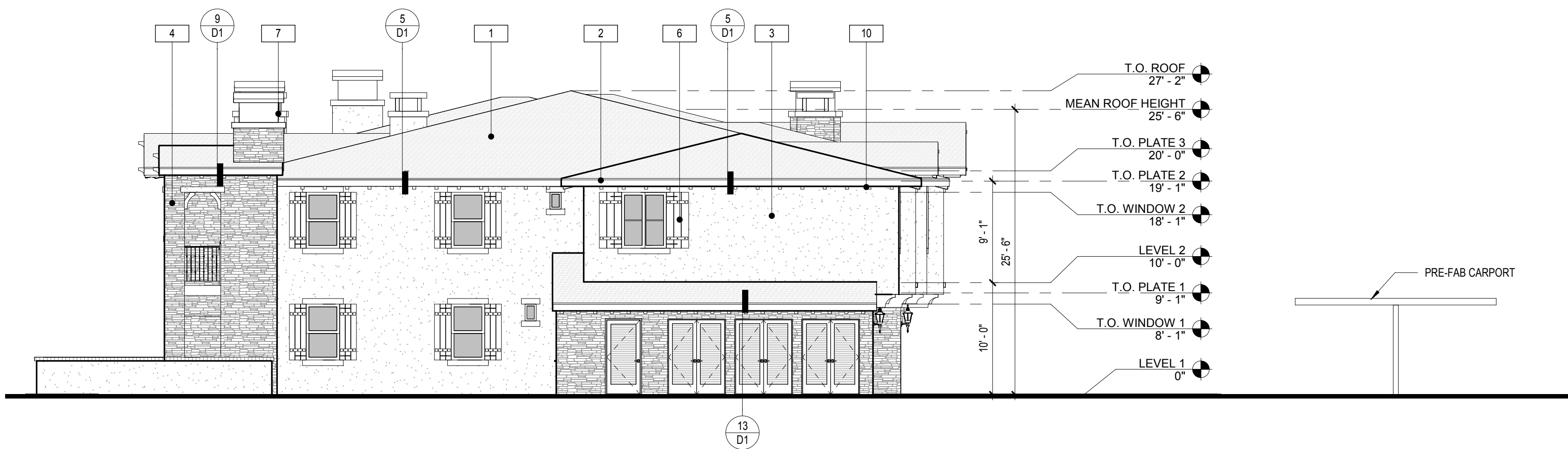
SHEET NO.

A-6.1

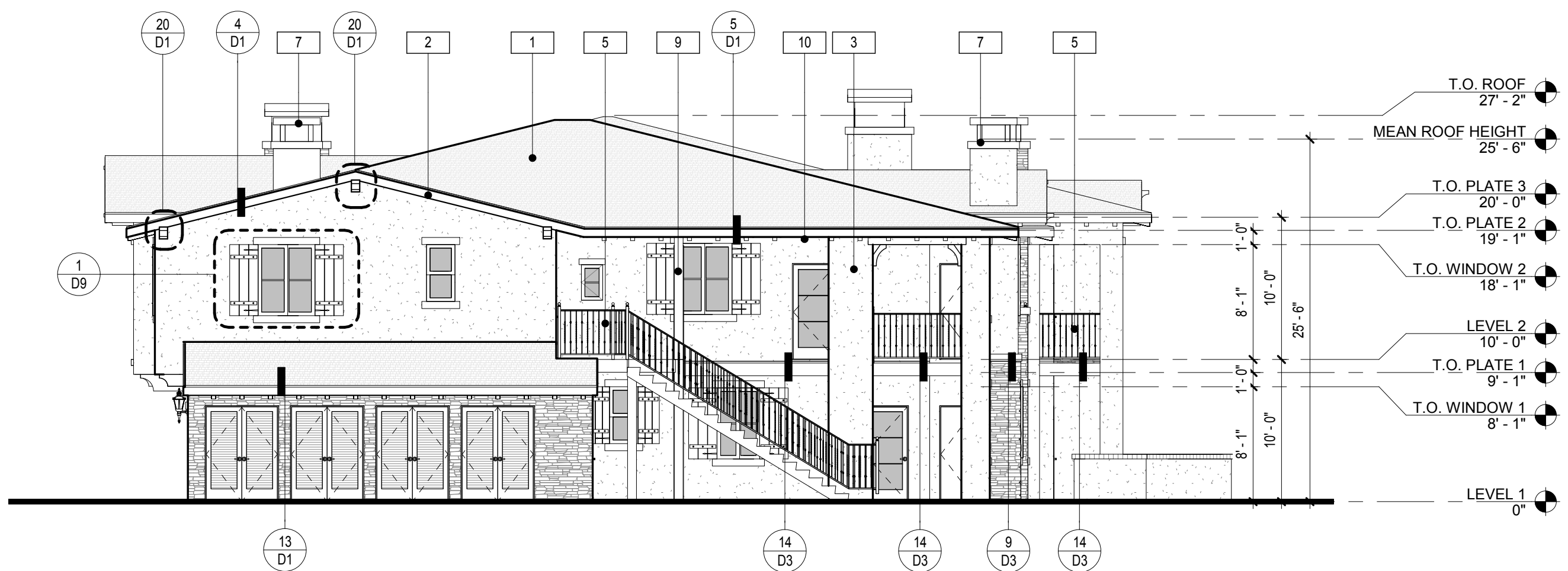
KEY VALUE	KEYNOTE TEXT
1	FLAT CONC. ROOF TILE
2	2X WOOD FASCIA, SEE DETAILS
3	3 COAT EXTERIOR PLASTER, SEE DETAILS
4	SIMULATED STONE O' CEMENT PLASTER
5	44" DECORATIVE IRON GUARDRAIL (42" MIN. FINISH HEIGHT) AT 2ND FLOOR
6	DECORATIVE VINYL SHUTTERS A) 2'-0" X 5'-0" B) 1'-6" X 5'-0" C) 1'-0" X 4'-0"
7	PAINTED SHEET METAL CANOPY SHROUD @ FALSE FRAME CHIMNEY
8	STUCCO FIN. O' DENSE FOAM SILL OR HEAD TRIM
9	HEAVY TIMBER
10	PAINTED FOAM RAFTER TAILS ADHERED TO SOFFIT STUCCO
11	PAINTED FOAM CORBELS ADHERED TO STUCCO SOFFIT
12	SIM. STONE HEAD AND SILL AT WINDOW
13	WINDOW, SEE UNIT PLANS
14	36" HIGH CMU PATIO WALL W/ STUCCO FINISH AT 1ST FLOOR
15	EXTERIOR LIGHT FIXTURE, BOTTOM OF FIXTURE TO BE 84" MIN. FROM FINISH SURFACE, SEE ELECTRICAL PLANS.



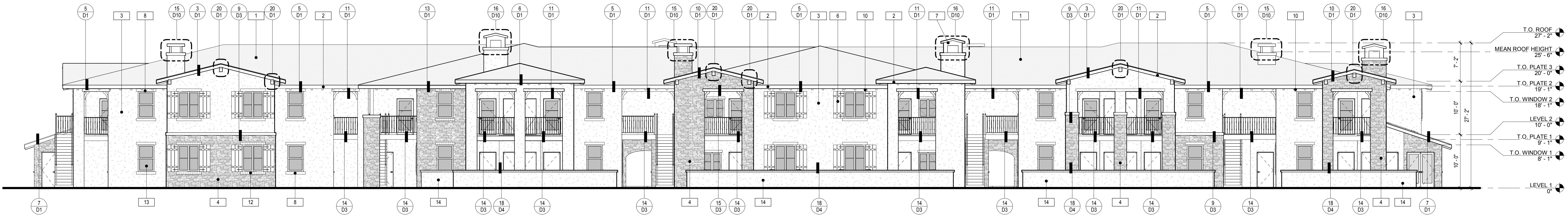
NORTH ELEVATION 01  
SCALE: 1/8" = 1'-0"



EAST ELEVATION 02  
SCALE: 1/8" = 1'-0"



WEST ELEVATION 03  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION 04  
SCALE: 1/8" = 1'-0"