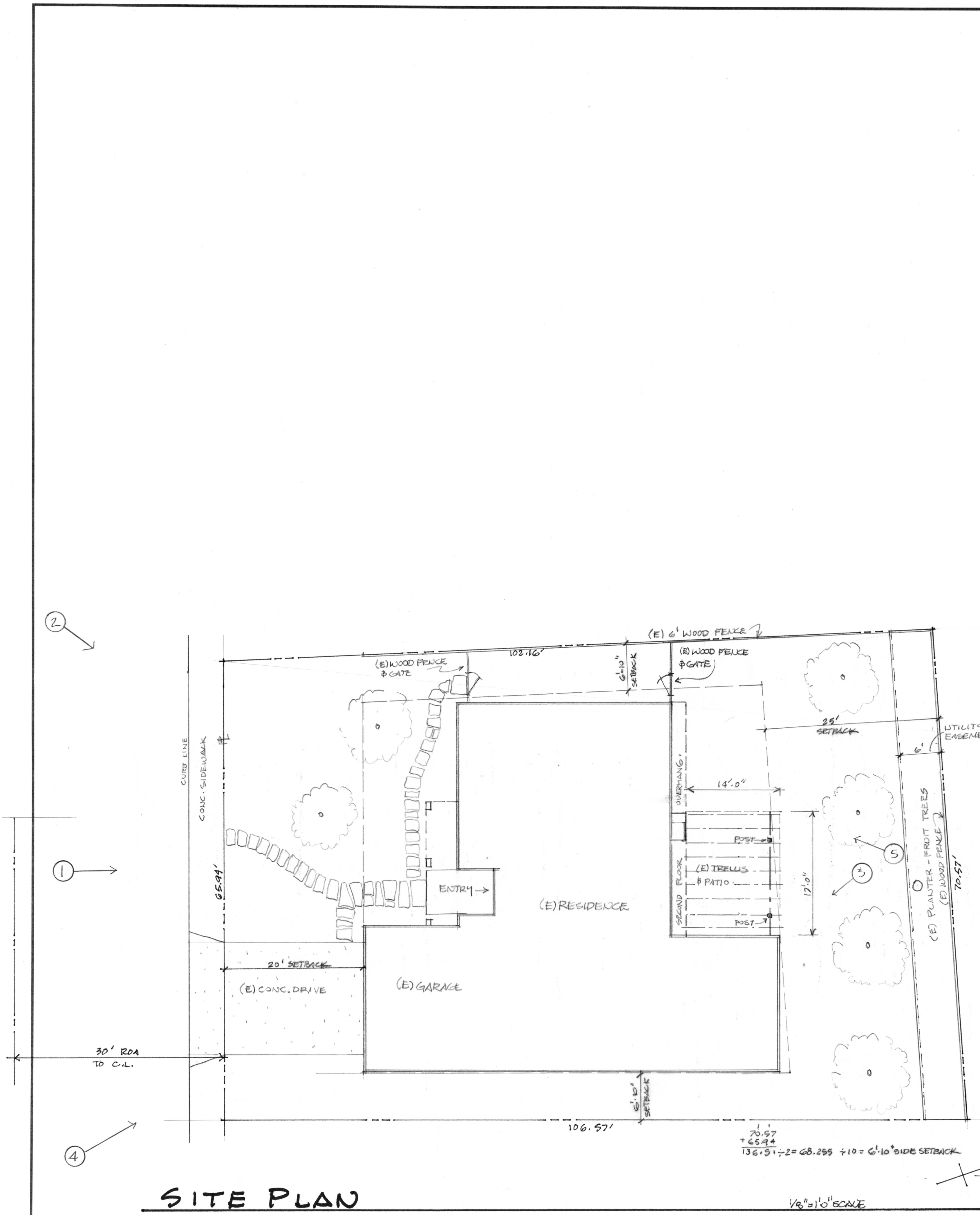
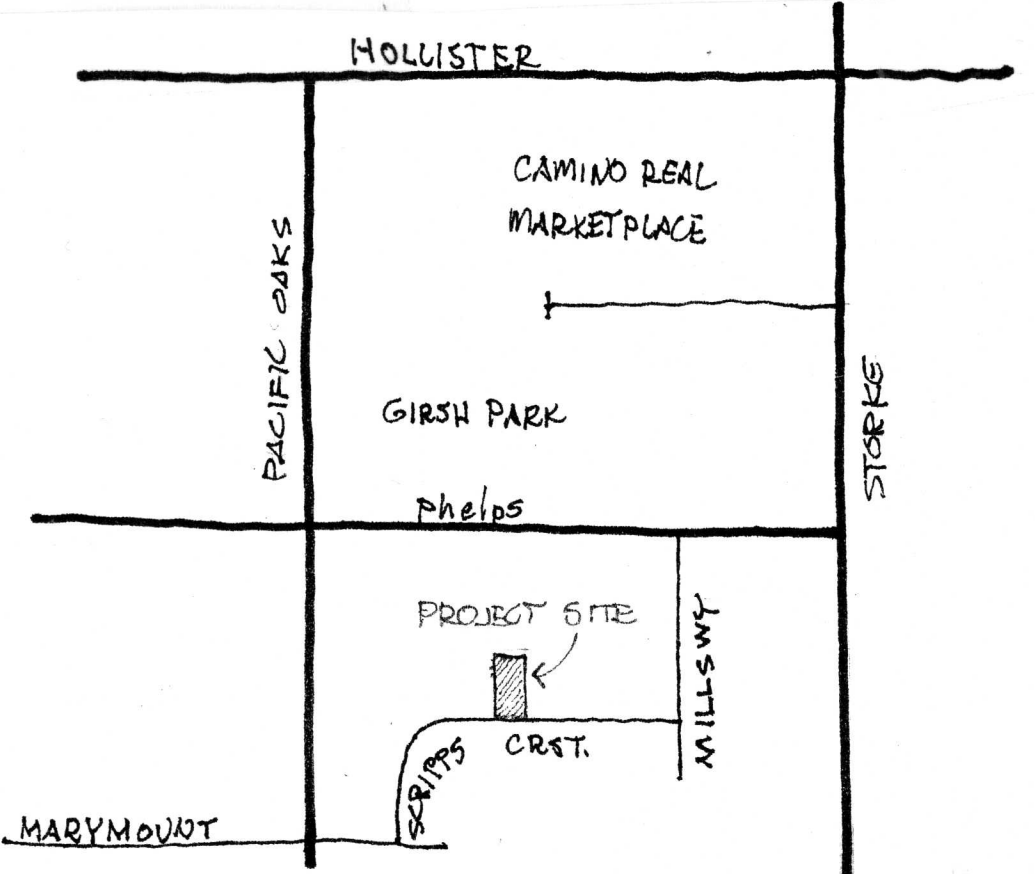




SHT INDEX

- A 1.0 TITLE SHEET/SITE PLAN
- A 2.0 EXIST'G FIRST FLOOR
- A 2.1 EXIST'G SECOND FLOOR
- A 2.2 PROPOSED FIRST FLOOR
- A 2.3 PROPOSED SECOND FLOOR
- A 3.0 SOUTH ELEVATION
- A 3.1 NORTH ELEVATION
- A 3.2 EAST ELEVATION
- A 3.3 WEST ELEVATION

VICINITY MAP



DATA:

ADDRESS: 7028 SCRIPPS CRESCENT ST. APT: 073-184-013
GOLETA CA. 93117
ZONE: DR-10 OCC: R-3 CONST. I.N.R. LOT AREA: 7A05 SF
OWNER: SHELLY BEST
7028 SCRIPPS CRESCENT, GOLETA CA. 93117
ARCHITECT: TOM SMITH- 1115 COAST VILLAGE RD. SB. CA 93108
805 252 7466 thomas.v.smith@landscape.com
#C 27736

PROJECT STATISTICS:

I. EXISTING, PERMITTED	GROSS	NET
1ST FLOOR	1822.7	1750.7
2ND FLOOR	673.2	654.0
GARAGE	434.0	412.4
TOTAL	2495.9	2404.7
HOUSE	2495.9	2404.7
GARAGE	434.0	412.4
1ST FLOOR	1822.7	1750.7
2ND FLOOR	673.2	654.0
GARAGE	434.0	412.4
REAR TRELLIS	240.0	—
FRONT DECK	189.0	—
III. PROPOSED, NEW		
1ST FLOOR	0	0
2ND FLOOR	251.0	225.0
FRONT DECK	36.6	—
INTERIOR REMODELING	830.0	710.5

PROJECT DESCRIPTION:

- Remodel of an existing two-story residence at 7028 Scripps Crescent (2496 s.f.) and attached garage (434 s.f.), to consist of the following: GROSS SF, F.T.G. USED
- 1.) ALTERATION OF 2ND FLOOR BEDROOM 5 (FRONT) WALL. Conversion includes a 6ft. Alum. Slid. Gl. Door and a 4ft. x 3ft. Alum. Slid. Gl. Window
 - 2.) Previously "as-built" second floor deck at front (189 s.f.)
 - 3.) Previously "as-built" rear yard trellis (240 s.f.)
 - 4.) New conversion of attic space into a master bedroom suite ()
 - 5.) DELETED
 - 6.) Removal of existing hot water heater and installation of a new tankless water heater on the east end of the residence.
 - 7.) Interior remodel of first floor (830.0 s.f.) including moving kitchen to family room addition and a new powder room under the main stairs.
 - 8.) All materials, trim and colors shall match the existing residence.
 - 9.) The proposed remodel will not raise the existing ridge line of the house.

FAR CALC. (PER APPENDIX 'E')

Existing Permitted: 1822.7 + 502.2 = 2324.9 SF, exceeding Max FAR by 43.65 SF = 101.9% of Max FAR
Proposed As-Built: 2324.9 + 171 = 2,495.9, exceeding Max FAR by 214.65 SF = 109.4% of Max FAR
Proposed New = 2,495.9 + 251 = 2746.9, exceeding Max FAR by 398.65 SF = 120.4% of Max FAR

MATERIALS, COLORS, FINISHES

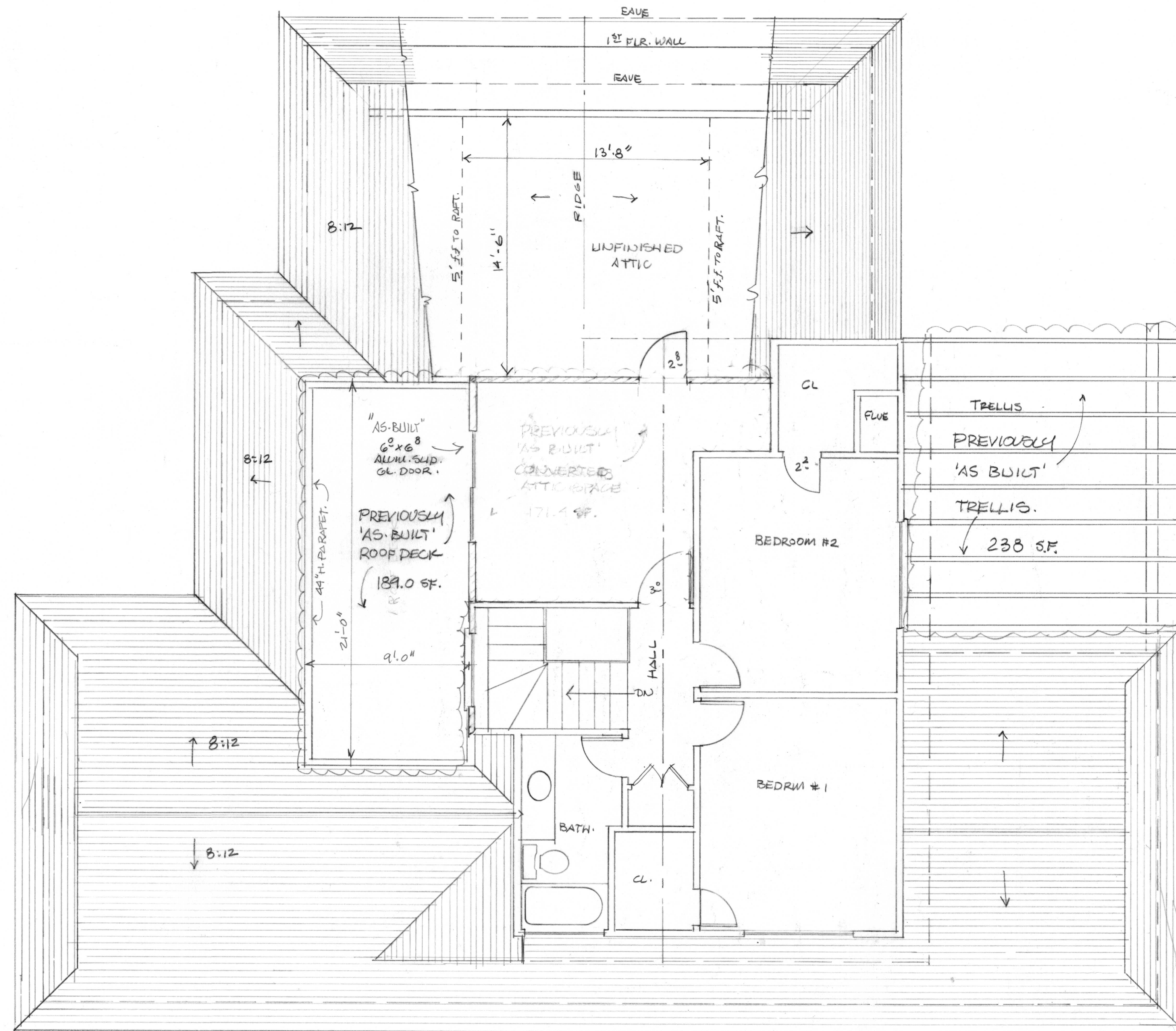
ALL NEW MATERIALS, COLORS & FINISHES TO MATCH CORRESPONDING ITEMS ON EXIST'G BUILDING

REVISIONS	BY
1/17/20	TS

Tom Smith - Architect
1115 Coast Village Rd.
Montecito Ca. 93108

Remodel of (E) Residence
Attic Conversion
7028 Scripps Crescent
Goleta Ca. 93118

Date	
Scale	
Drawn	
Job	
Sheet	A 1.0
Of	Sheets



LEGEND.

- EXISTING, PERMITTED
- TO BE REMOVED
- EXISTING 'AS-BUILT'-UNPERMITTED
- PROPOSED

EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"

PROJECT NORTH

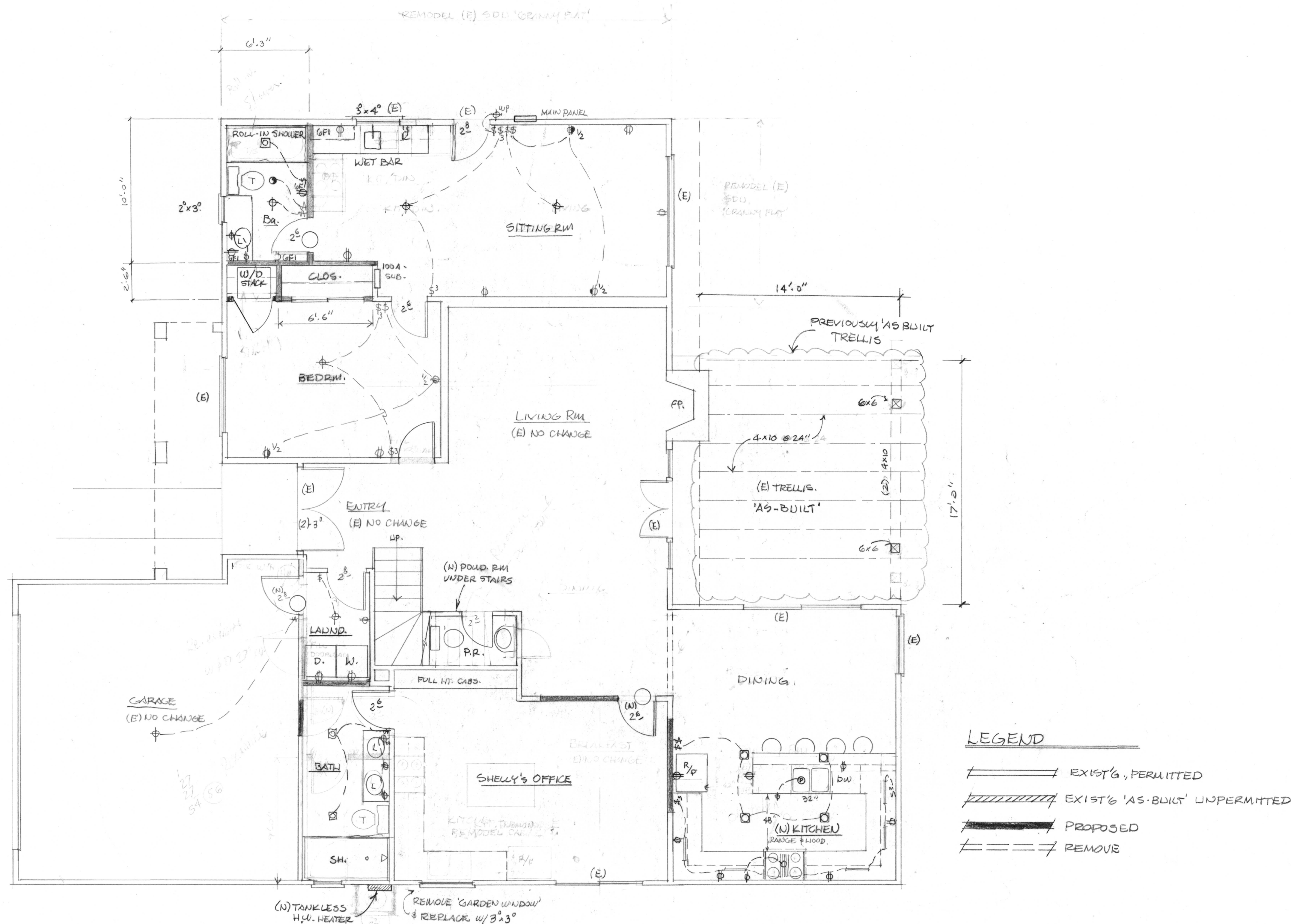
REVISIONS	BY
1/17/20	

TOM SMITH-ARCH.
1115 COAST VILLAGE RD
S.B. CA. 93108

EXISTING SECOND FLR.

REMODEL OF (E) RES.
& ATTIC CONVERSION
2028 SCRIPPS CRES.
GOLETA CA 93117

Date	11.6.19
Scale	1/4" = 1'
Drawn	TJS
Job	BEST
Sheet	A2.1
Of	Sheets



LEGEND

EXIST'G, PERMITTED

EXIST'G 'AS-BUILT' UNPERMITTED

PROPOSED

REMOVE

PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0" SCALE

REVISIONS	BY
1/17/20	

Tom Smith - Arch.
1115 Coast Village Rd
S.B. CA. 93108

PROPOSED FIRST FLOOR

REMODEL OF (E) RES.
7028 SCRIPPS CRES.
GOLFER CA 93117

Date	11.6.19
Scale	1/4" = 1'
Drawn	TJS
Job	BEST.
Sheet	A 2.2
Of	Sheets

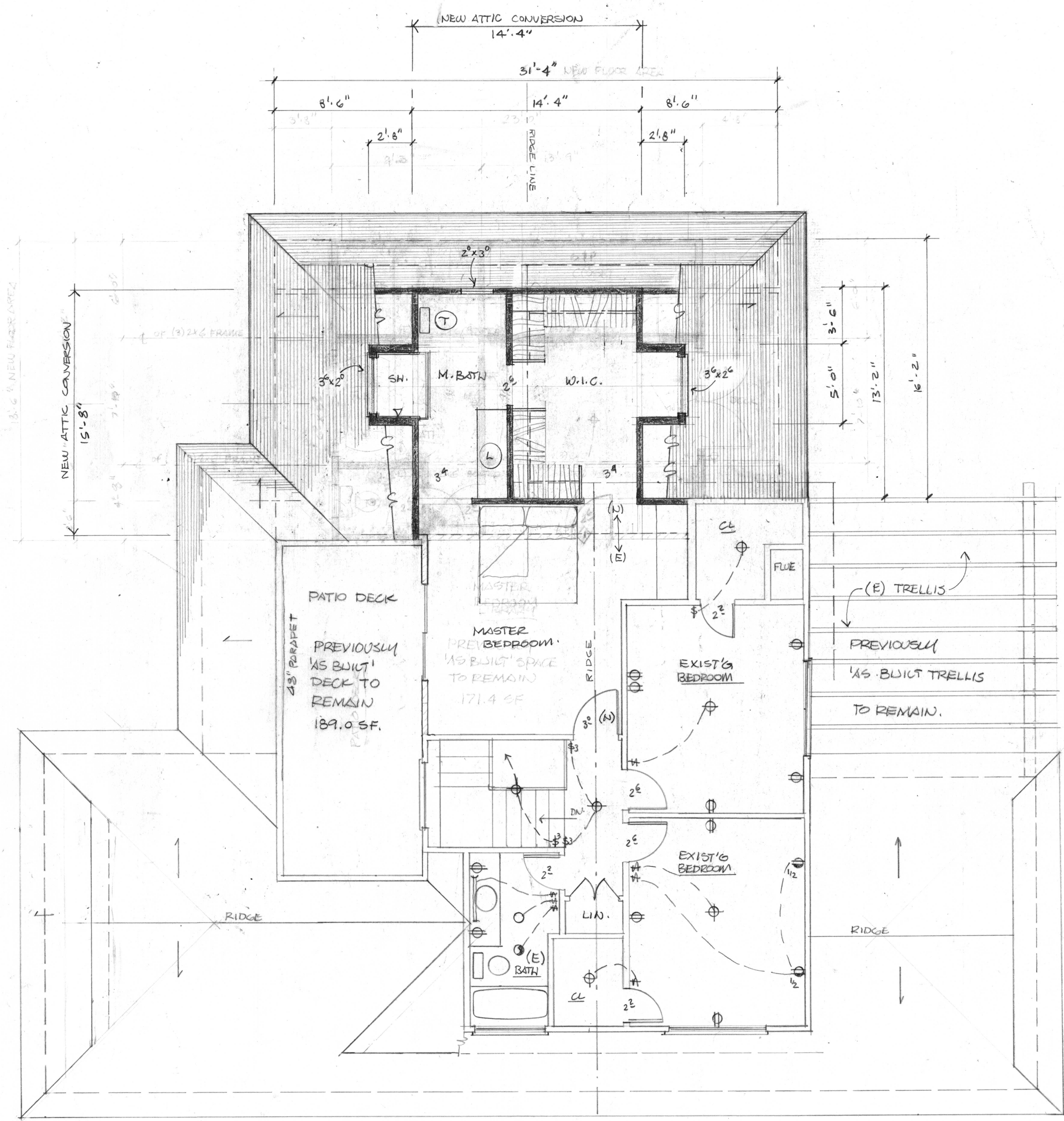
REVISIONS	BY
1/17/20	

Tom Smith - Arch.
1115 Coast Village Rd
S.B. CA 93108

PROPOSED SECOND FLOOR

REMODEL of (E) RES
& ATTIC CONVERSION
7028 SCRIPPS CRES.
Goleta Ca 93117

Date	11.6.19
Scale	1/4"=1'
Drawn	TVS
Job	BEST
Sheet	A 2.3
Of	1 Sheets



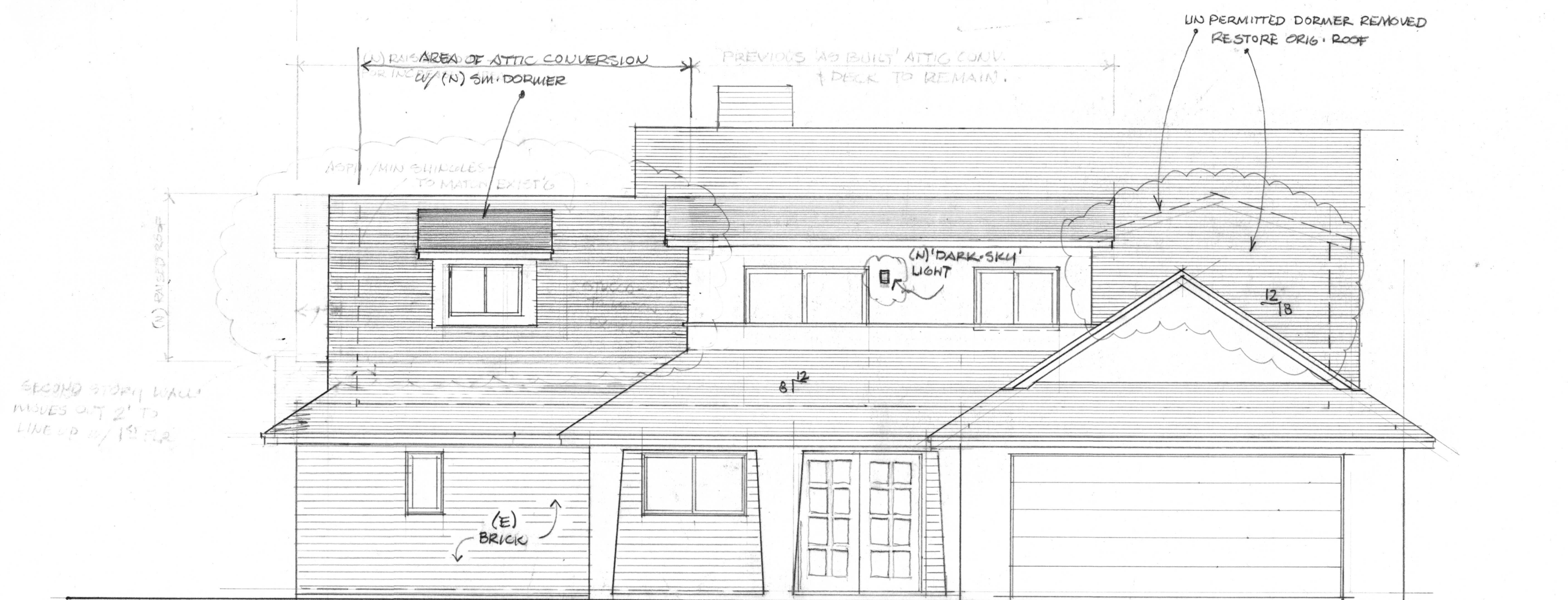
PROPOSED SECOND FLOOR PLAN

1/4"=1'-0" SCALE

N.



SOUTH ELEVATION (FRONT) - EXISTING



SOUTH ELEVATION (FRONT) PROPOSED

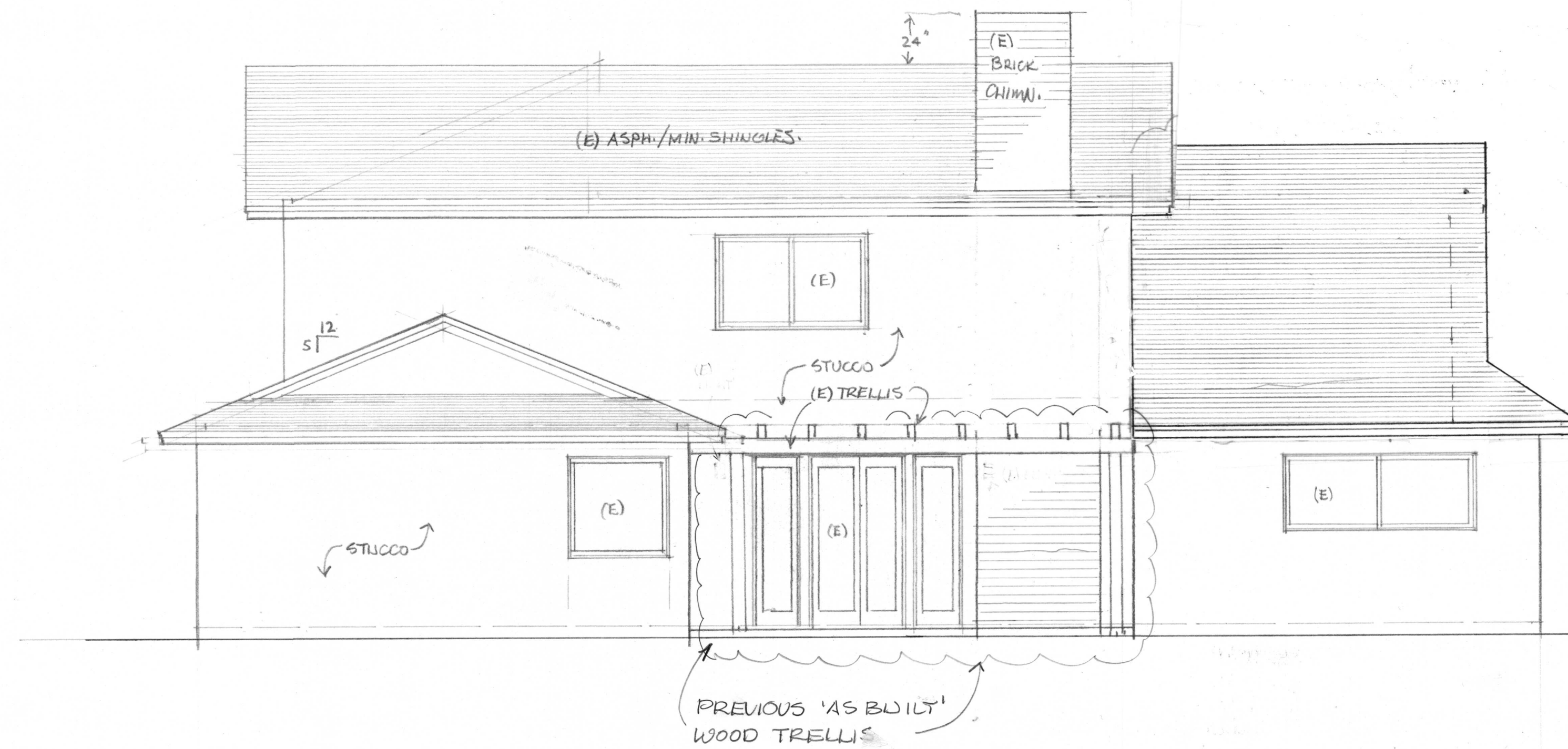
REVISIONS	BY
1/17/20	

TOM SMITH-ARCH.
1115 COAST VILLAGE RD
S.B. CA. 93108
805 252-7966

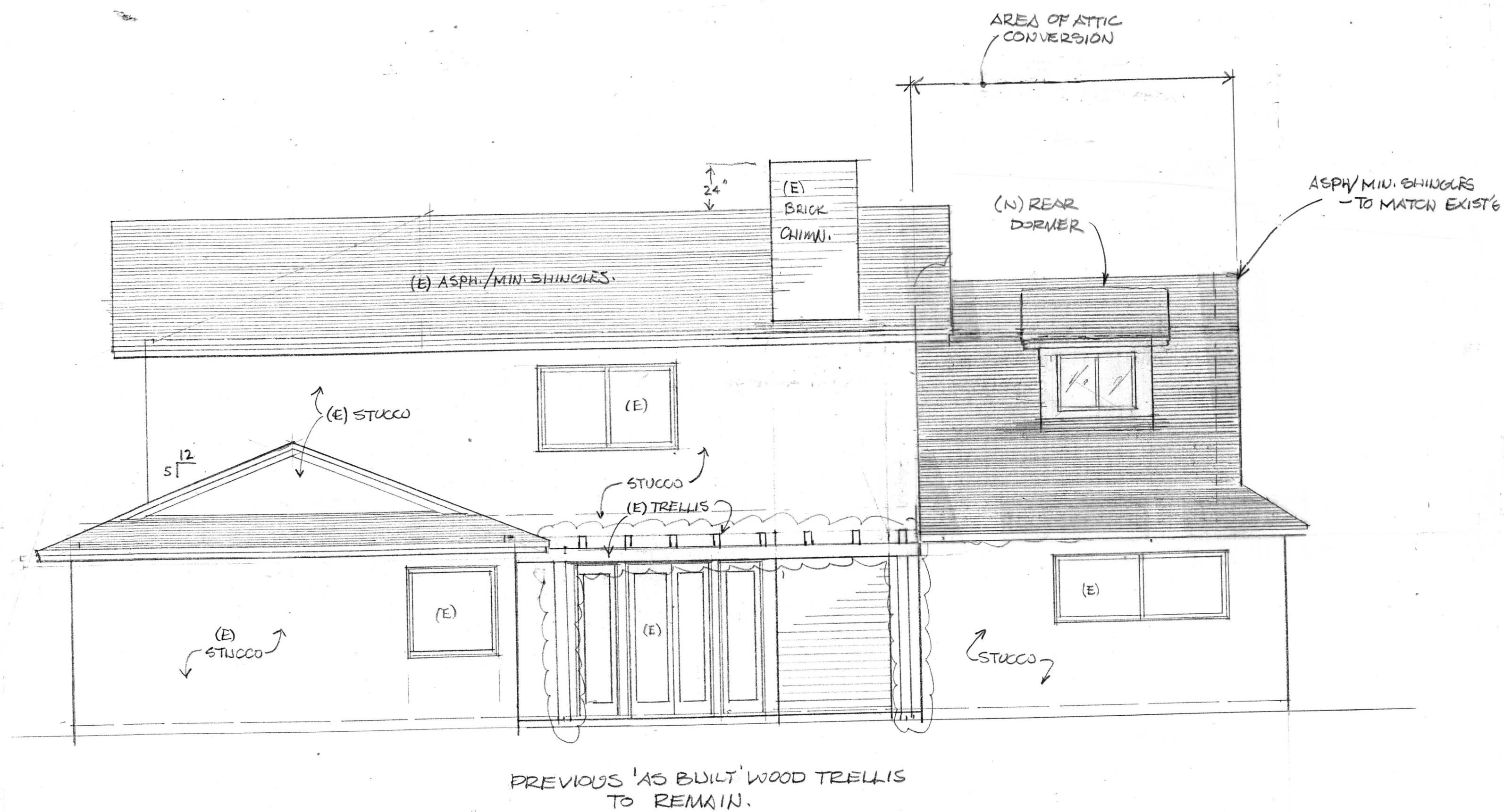
PROPOSED ELEVATIONS

REMODEL of (E) RES.
& ATTIC CONVERSION
7026 SCRIPPS CRES.
GOLETA CA 93117

Date	11 6 19
Scale	1/4" = 1'
Drawn	TVS
Job	BEST
Sheet	A-3.0
Of	Sheets



NORTH ELEVATION - EXISTING



NORTH ELEVATION - PROPOSED

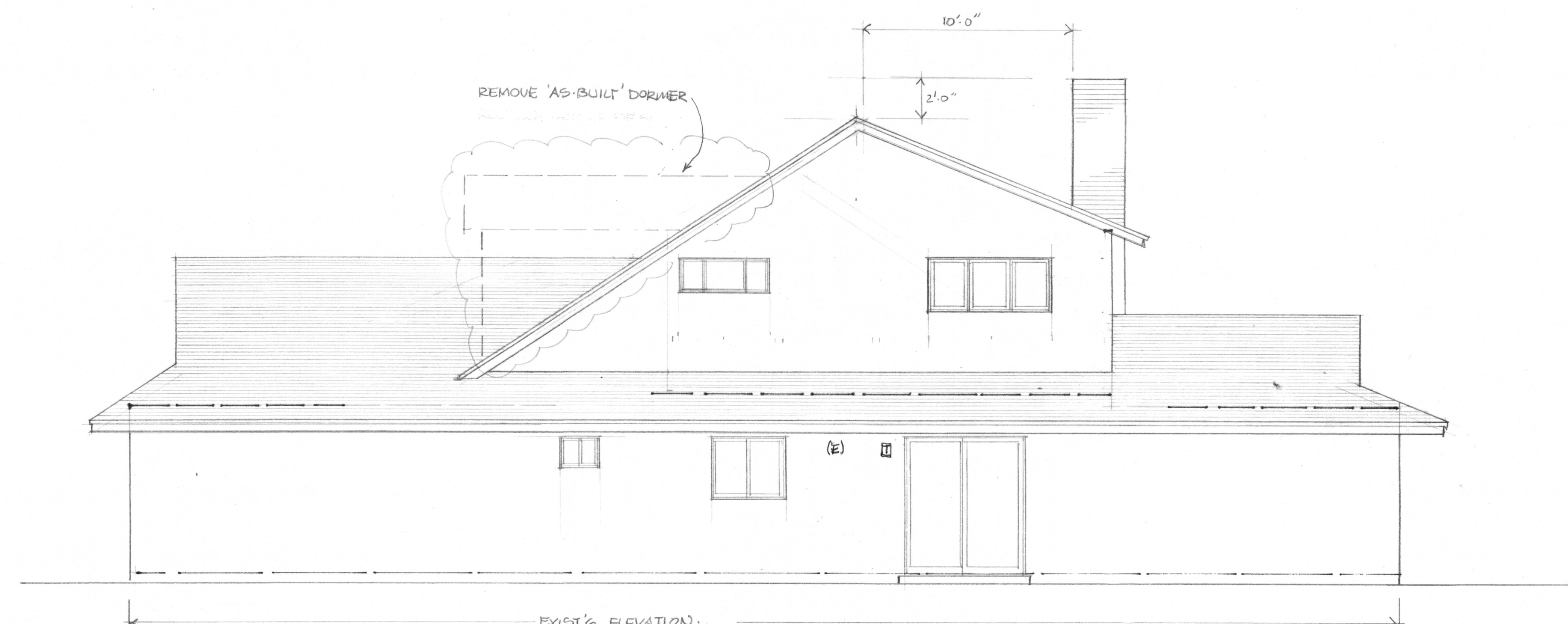
REVISIONS	BY
1/17/20	

Tom Smith - ARCH.
1115 COAST VILLAGE RD.
S.B., CA. 93108
805 252 7966

EXISTING ELEVATIONS

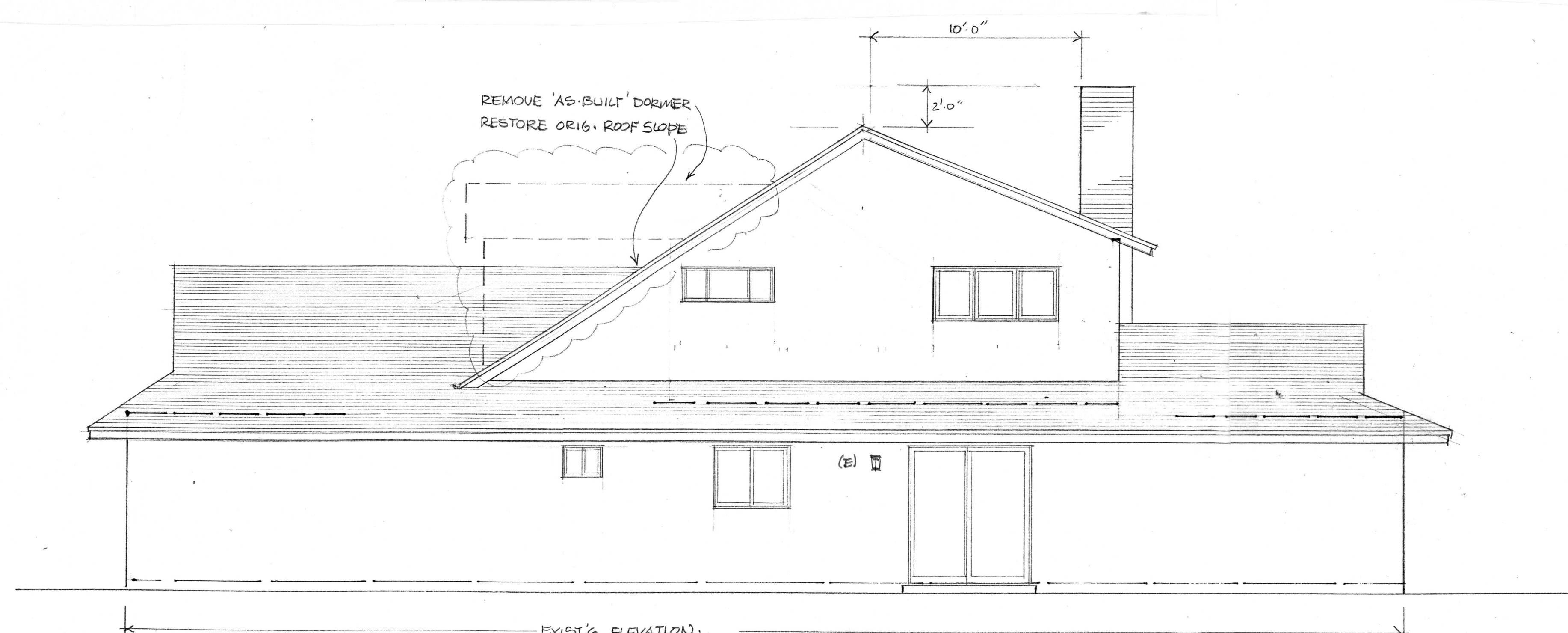
REMODEL OF (E) RES
ATTIC CONVERSION
7028 SCRIPPS CRES.
GOLETA CA 93117

Date 11.6.19
Scale 1/4" = 1'
Drawn TVS
Job BEST
Sheet A3.1
Of Sheets



EAST ELEVATION - EXISTING

1/4"=1'-0" SCALE



EAST ELEVATION - PROPOSED NO CHANGE

1/4"=1'-0" SCALE

REVISIONS	BY
1/17/20	

TOM SMITH-ARCH.
1115 COAST VILLAGE RD.
S.B. CA. 93108
805 252 7966

EXISTING ELEVATIONS

REMODEL of (E) RES.
& ATTIC CONVERSION
7026 SCRIPPS CRES.
GOLETA CA 93117

Date	11.6.19
Scale	1/4"=1'-0"
Drawn	TVS
Job	BEST
Sheet	A3.2
Of	Sheets

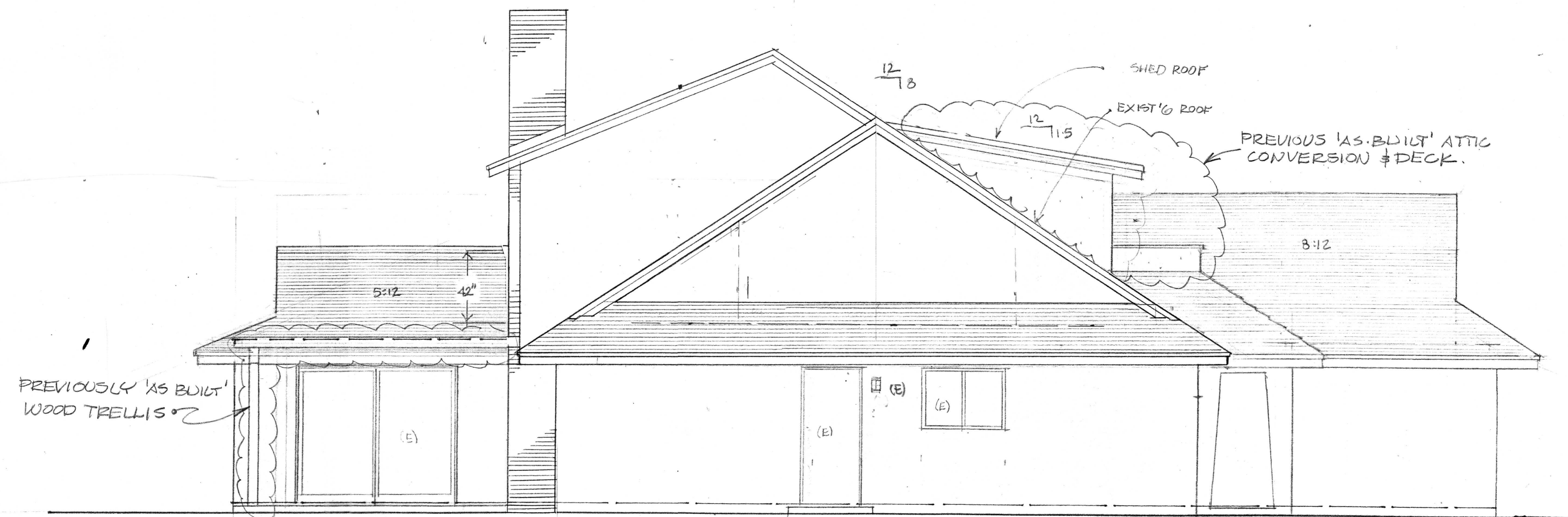
REVISIONS	BY
1/17/20	

TOM SMITH - ARCH.
1115 COAST VILLAGE RD
S.B. CA. 93108

PROPOSED ELEVATIONS

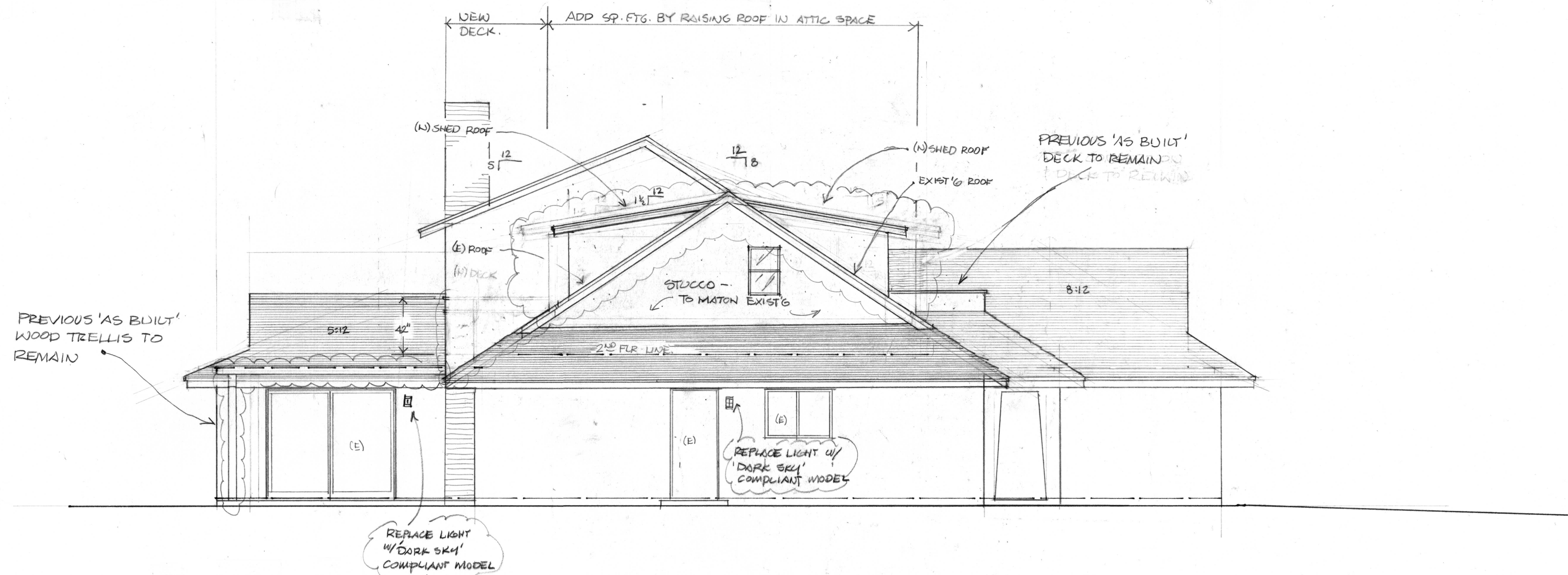
REMODEL of (E) RES.
& ATTIC CONVERSION
7028 SCRIPPS CRES.
GOUETA CA 93117

Date	11.6.19
Scale	1/4" = 1'-0"
Drawn	TJS
Job	BEST.
Sheet	A-3.3
Of	Sheets



WEST ELEVATION - EXISTING

1/4" = 1'-0" SCALE



WEST ELEVATION - PROPOSED

1/4" = 1'-0" SCALE