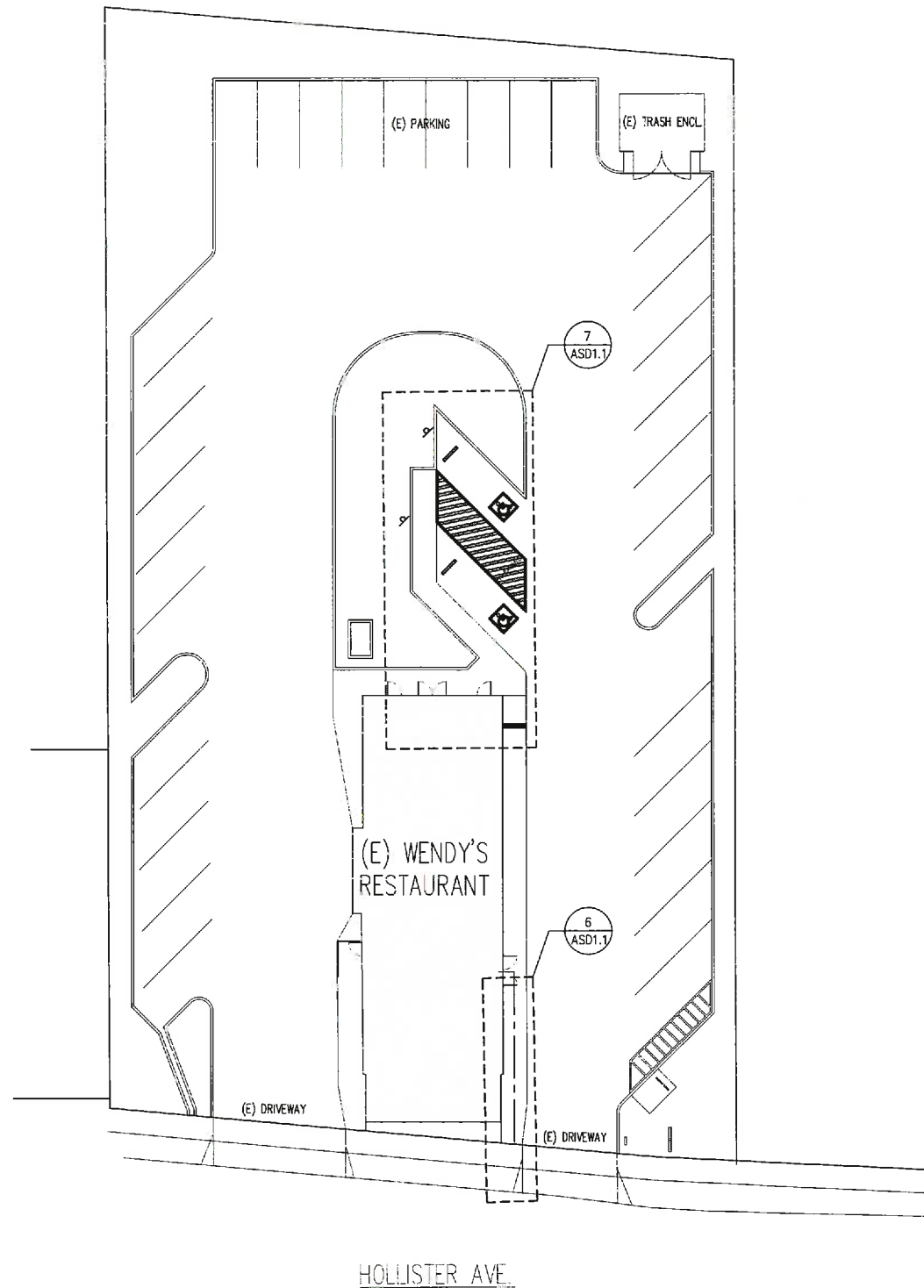


1/7/2020, 4:07 PM, C:\Users\jgarcia\Documents\Projects\010000\010000.dwg, 24/12/2019, 3:57 PM, SITE PLAN.dwg, jgarcia



01 OVERALL ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"



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JAN 22 2020
City of Goleta
Planning & Environmental
Review

GENERAL NOTES

- IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWINGS, SPECIFICATIONS, OR SCOPE OF WORK SUMMARY IN THIS PACKAGE, NOTIFY THE CLIENT REP. IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE TO SEE THAT WORK IN FIELD IS DONE IN ACCORDANCE WITH ALL CURRENT APPLICABLE NATIONAL, STATE & LOCAL CODES, ORDINANCES & REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS AND FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS, TO THE SATISFACTION OF THE CLIENT REP.
- UNLESS DELIVERY IS BY THE CLIENT TO THE JOB SITE, CONTRACTOR SHALL DELIVER SUCH EQUIPMENT, DAMAGE-FREE TO THE JOB SITE.
- PRIOR TO ANY EXCAVATION, DETERMINE AND VERIFY LOCATION OF UTILITY SERVICES IN ALL AREAS TO BE EXCAVATED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT LAWS, CODES, REGULATIONS, BUILDING CODES, GOVERNING AGENCIES & MANUFACTURER SPECIFICATIONS, UNLESS GREATER REQUIREMENTS ARE INDICATED, AND/OR ARE NECESSARY FOR THE SAFETY OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING JURISDICTIONS AS REQUIRED FOR INSPECTIONS.
- THE CONTRACTOR SHALL PROVIDE THE CLIENT REPRESENTATIVE WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK. A QUALIFIED JOB SUPERINTENDENT THROUGHOUT THE WORK, PHOTOS SHOWING PIPING AND ELECTRICAL TRENCHES PRIOR TO BACKFILL, AND RECORD DRAWINGS OF ALL UNDERGROUND CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS PER OSHA REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROMSION OF A DERRIS BOX WITH WEEKLY SERVICING, REMOVAL OF ALL CONTRACTOR/SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF THE ENTIRE YARD AREA AT THE COMPLETION OF THE WORK.
- UNLESS STATED OTHERWISE IN THE SCOPE OF WORK SUMMARY, ALL OTHER PROCEDURES, TESTING, MATERIALS AND EQUIPMENT SHOWN ON THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE CLIENT REP. IF SITE CONDITIONS OR DIMENSIONS DISAGREE WITH INFORMATION SHOWN ON THE DRAWINGS. WORK IS NOT TO PROCEED UNTIL SUCH DIFFERENCES ARE RESOLVED.
- DO NOT USE THE BUILDING PERMIT SET FOR CONSTRUCTION OR FIELD REFERENCE. THE PERMIT SET GENERALLY LACKS CERTAIN DRAWINGS AND SPECIFICATIONS, WHICH ARE IN THE BID AND CONSTRUCTION SETS. IN ADDITION TO REVISIONS MADE AFTER THE PERMIT PROCESS. FOR CONSTRUCTION AND FIELD REFERENCE, CONTRACTOR SHALL USE ONLY THE SET, WHICH IS CLEARLY SIGNED AND DATED 'ISSUED FOR CONSTRUCTION'. THE APPROVED PERMIT SET SHALL BE KEPT ON SITE AND REFERENCED FOR PROJECT SPECIFIC MARK-UPS AND/OR REQUIREMENTS WHICH MAY HAVE BEEN NOTED BY LOCAL AGENCIES DURING PLAN CHECK.

BARRIER REMOVAL NOTE

SITE SCOPE OF WORK LIMITED TO READILY ACHIEVABLE BARRIER REMOVAL AS REQUIRED BY THE ADA - TITLE III REGULATION 28 CFR PART 36. A PUBLIC ACCOMMODATION SHALL REMOVE ARCHITECTURAL BARRIERS IN EXISTING FACILITIES, INCLUDING COMMUNICATION BARRIERS THAT ARE STRUCTURAL IN NATURE, WHERE SUCH REMOVAL IS READILY ACHIEVABLE, I.E., EASILY ACCOMPLISHABLE AND ABLE TO BE CARRIED OUT WITHOUT MUCH DIFFICULTY OR EXPENSE.

FOR THE PURPOSE OF THIS STORE, SITE BARRIER REMOVAL IS IDENTIFIED AS PROVIDING AN ACCESSIBLE ROUTE FROM THE PUBLIC RIGHT OF WAY, PROVIDING ACCESSIBLE PARKING AND SIGNAGE, AND PROVIDING AN ACCESSIBLE ENTRANCE.

ACCESSIBLE ROUTE NOTES

- PROVIDE ISA DIRECTIONAL SIGNS AS REQUIRED.
- PRELIMINARY SITE INVESTIGATION DETERMINED THAT EXISTING ACCESSIBLE ROUTES PROVIDE 5% MAXIMUM RUNNING SLOPES WITH 2% MAX CROSS SLOPES. GENERAL CONTRACTOR TO VERIFY SITE CONDITIONS AND ROUTES MAINTAIN COMPLAINT SLOPES, CHANGES OF LEVEL AND GAPS.

LEGEND

- (N) CONCRETE PAVING. SEE DETAIL 2/S01
- (N) ASPHALT PAVING. SEE DETAIL 1/S01
- (E) PAVING TO BE USED AS ACCESSIBLE ROUTE. SEE DETAIL 8/AS1
- ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY

PARKING ANALYSIS

EXISTING PARKING	19 STALLS (1 ACCESSIBLE)
PROPOSED PARKING	18 STALLS (2 ACCESSIBLE)

SITE NUMBER:	3570
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	REFRESH LITE
OWNER:	OWNER NAME
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2018
FURNITURE PACKAGE:	2018
DRAWING RELEASE:	SPRING 2018



Architectural
Solutions Group

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info@pmdesign.com

Rev W, Pedro, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's

5724 HOLLISTER AVE.
GOLETA, CA 93117

REV.	DATE	DESCRIPTION
1	10/09/17	BUILDING SUBMITTAL
2	-	-
3	-	-
4	-	-
5	-	-

SUBMITTAL DATED 09/02/2019

PROJECT NUMBER: E2000

DRAWN BY: JTA

CHECKED BY: JG

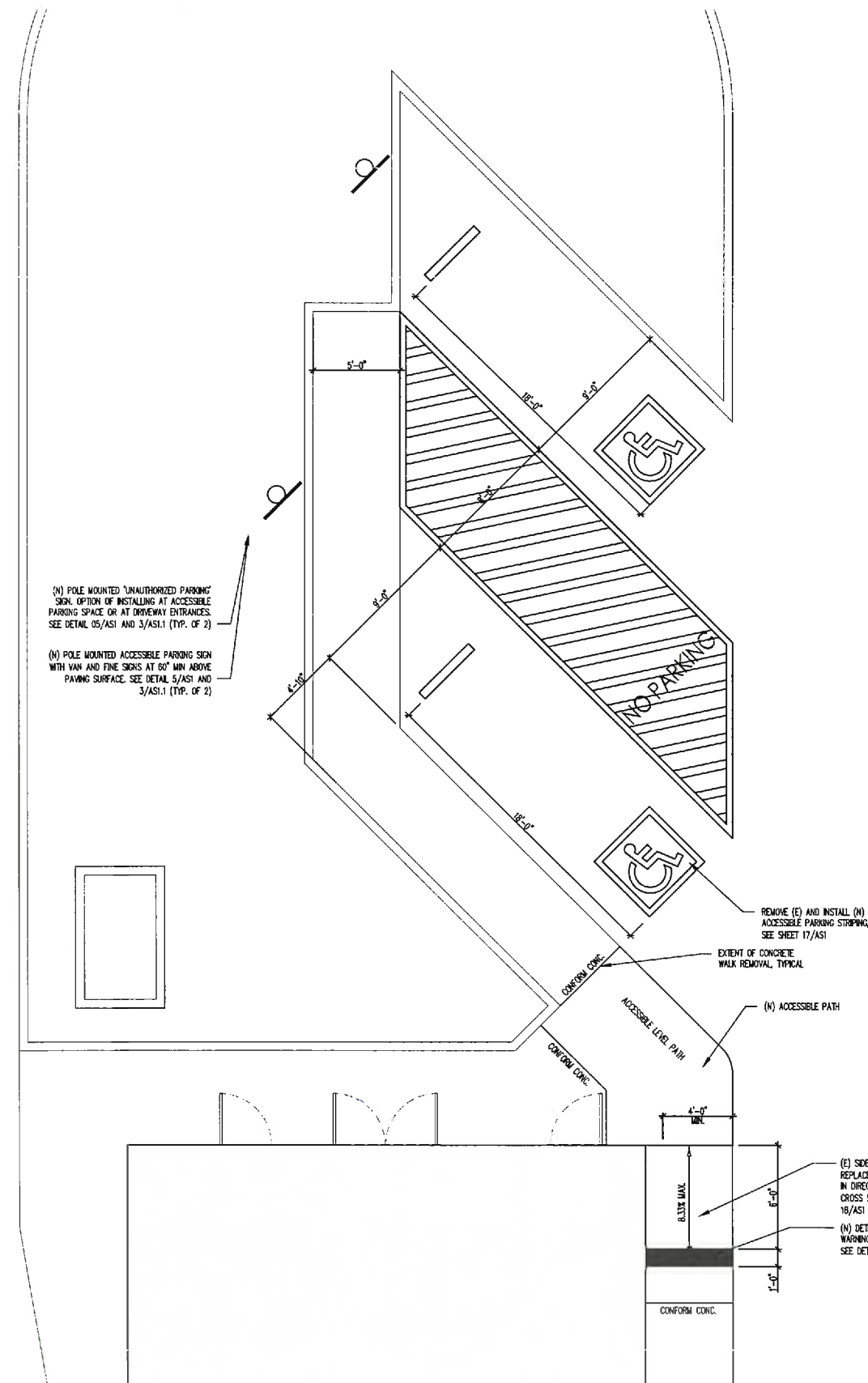
SEAL

SHEET NAME
OVERALL
SITE PLAN

SHEET NUMBER

AS1.0

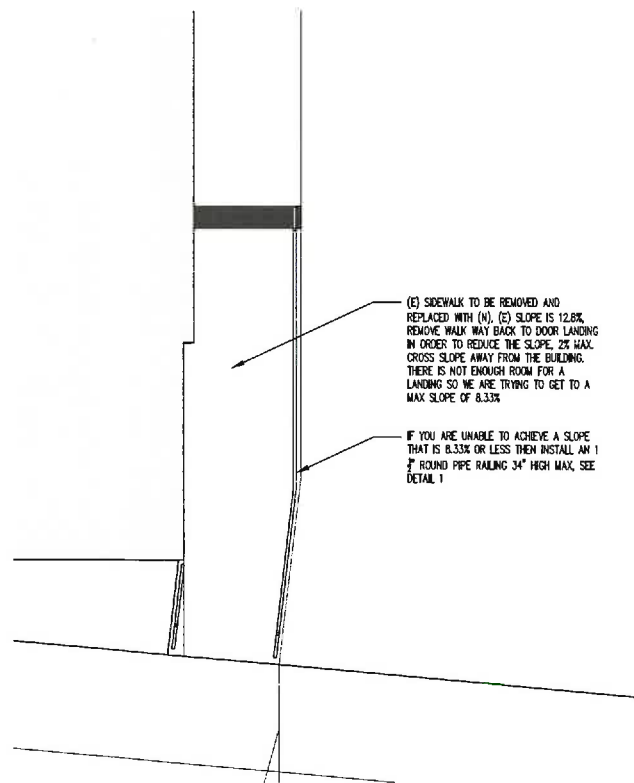
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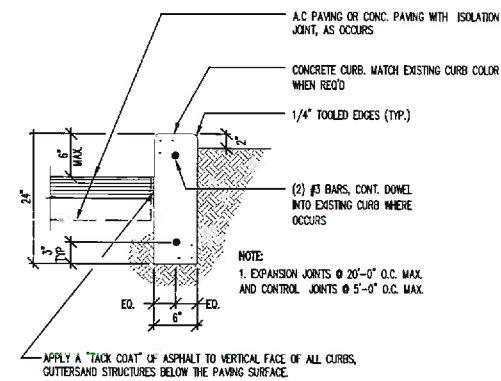
LANDSCAPE NOTE:
CONTRACTOR TO REPAIR/REPLACE IN KIND ANY LANDSCAPE DISTURBED DURING CONSTRUCTION.

PAVING NOTE:
GENERAL PAVING SLOPES ARE PROVIDED FOR ACCESSIBILITY COMPLIANCE. GC SHALL ENSURE PROPER DRAINAGE IS MAINTAINED WITH NEW CONSTRUCTION, SO THAT WATER IS DIRECTED AWAY FROM BUILDINGS. NEW PAVING SHALL CONFORM TO EXISTING SITE, IN ORDER TO DIRECT WATER FLOW TOWARDS EXISTING ESTABLISHED DRAINAGE PATTERNS AND INLETS.

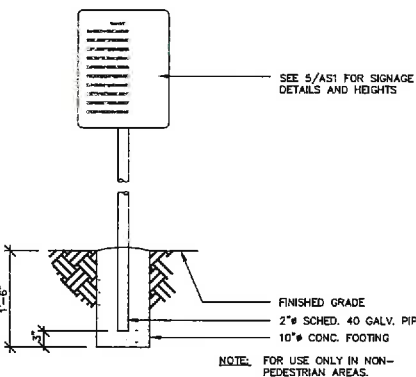
07 ENLARGED SITE DETAILS
SCALE: 1/4"=1'-0"



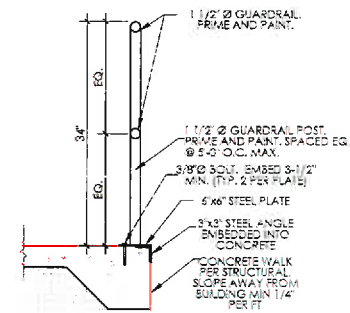
06 ENLARGED SITE DETAILS
SCALE: 1/4"=1'-0"



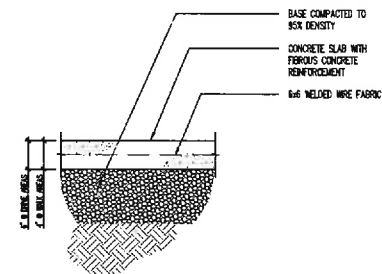
04 CONC. SIDEWALK/PAVING SECTION (TYP)
SCALE: N.T.S.



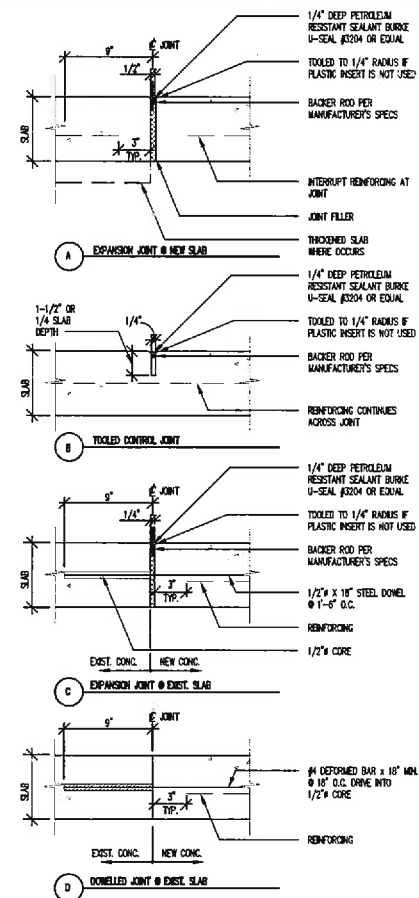
05 ACCESSIBLE PARKING SIGNAGE
SCALE: 3/4"=1'-0"



01 RAILING
SCALE: N.T.S.



02 CONC. SIDEWALK/PAVING SECT. (TYP)
SCALE: 1"=1'-0"



03 CONCRETE JOINTS
SCALE: 1-1/2"=1'-0"

SITE NUMBER:	3570
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	REFRESH/LITE
OWNER:	OWNER NAME
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2018
FURNITURE PACKAGE:	2018
DRAWING RELEASE:	SPRING 2018

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Ray W. Padgett, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLETA, CA 93117

REV.	DATE	DESCRIPTION
1	12/18/19	BUILDING COLLATERAL
2		
3		
4		

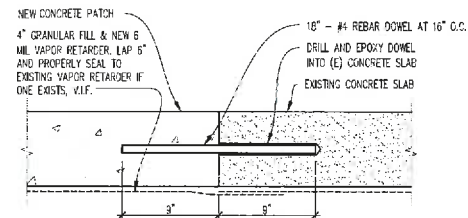
STUDY DATE: 12/18/19
PROJECT NUMBER: 1403
DRAWN BY: JKA
CHECKED BY: JAC

SHEET NAME
ENLARGED SITE PLANS
& DETAILS

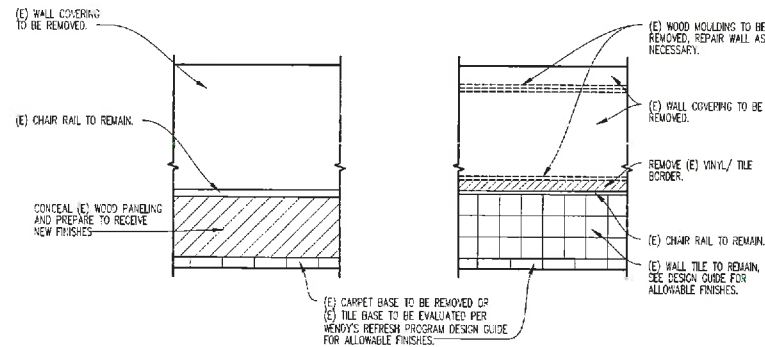
SHEET NUMBER

AS1.1

1/17/2020, 4:08 PM, F:\DEMOLITION\Projects\Wendy's\Wendy's 1000's 01 - DEMOLITION FLOOR PLAN.dwg, Project: Wendy's 1000's 01 - DEMOLITION FLOOR PLAN.dwg



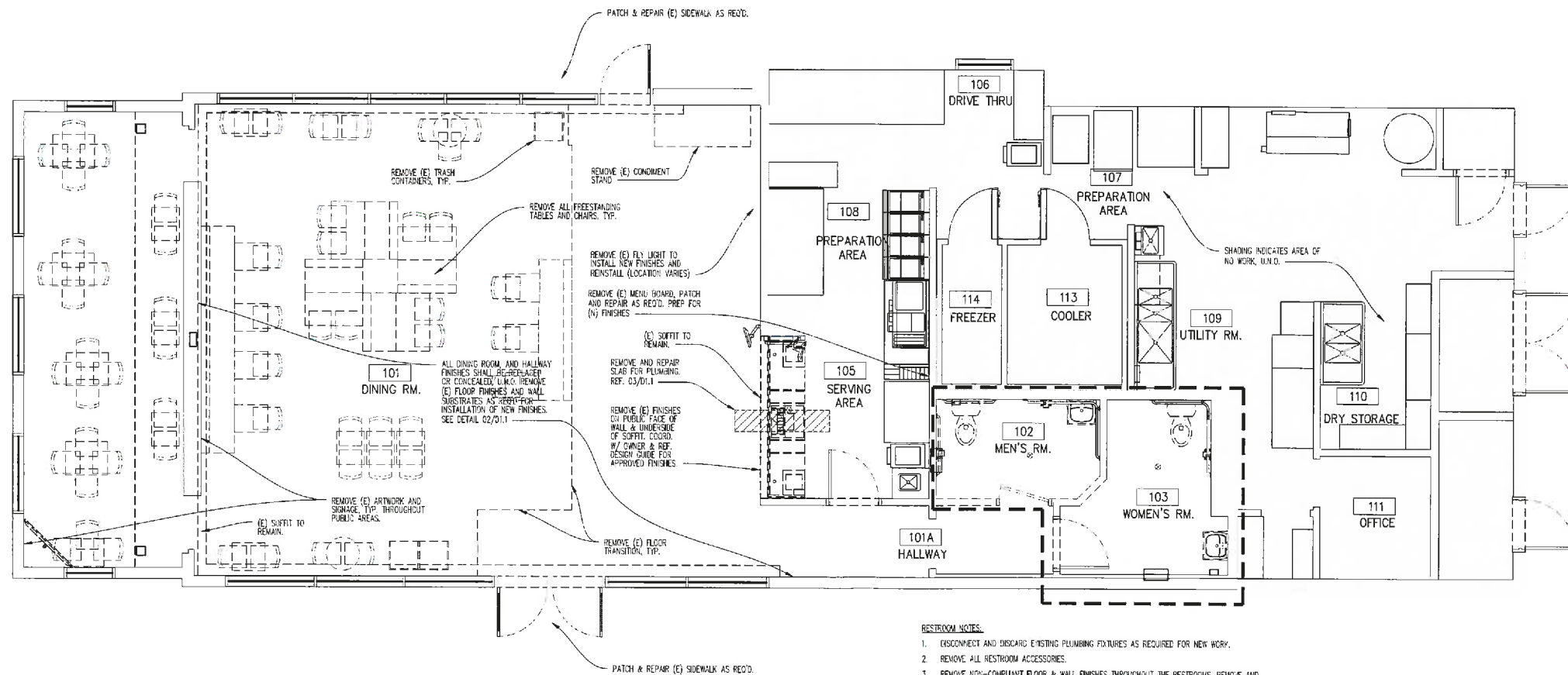
03 SLAB SPlice DETAIL
1/4" = 1'-0"



02 EXISTING ELEVATIONS - VARIATIONS
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO IMPLEMENT NEW WORK, AS SHOWN ON OTHER DRAWINGS. THIS PLAN INDICATES ONLY THE APPROXIMATE DEMOLITION REQUIRED. EXISTING CONDITIONS NOT SHOWN OR NOTED SHALL REMAIN UNCHANGED UNLESS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. EXISTING MATERIALS ADJACENT TO THE NEW CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND FINISHED TO PROVIDE A SMOOTH, LEVEL AND UNDISTURBED TRANSITION BETWEEN NEW AND EXISTING FINISHES.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- CEASE OPERATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED. NOTIFY PROJECT ARCHITECT AND OWNER'S REPRESENTATIVE OF HAZARDOUS CONTAINING MATERIALS ENCOUNTERED DURING DEMOLITION THAT MAY NEED TESTING OR REMEDIATION.
- PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE CODES TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
- WHEN DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, NOTIFY THE LOCAL UTILITY COMPANY AND OWNER'S REPRESENTATIVE IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO OWNER'S REPRESENTATIVE.
- G.C. TO REMOVE F.F.A.E. SCHEDULED TO BE REMOVED PRIOR TO DEMOLITION START. G.C. TO PROTECT AND SHOWN-WRAP REMAINING F.F.A.E. NOT AFFECTED BY SCOPE OF WORK FOR DURATION OF JOB. G.C. TO COORDINATE WITH OWNER REPRESENTATIVE.
- PRIOR TO BID SUBMISSION, THE G.C. SHALL MAKE A SITE VISIT TO REVIEW THE DEMOLITION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SITE WORK, EXTERIOR & INTERIOR OF THE EXISTING STRUCTURE. REVIEW M.E.P. DRAWINGS FOR DEMOLITION REQUIREMENTS / UTILITY RELOCATIONS. COORDINATE DEMOLITION WITH OWNER'S REPRESENTATIVE.
- REMOVE EXISTING FLOOR & WALL FINISHES AS NOTED AND AS REQUIRED FOR NEW FINISHES. CLEAN, PREP, AND REPAIR SUBSTRATES TO SPECIFICATION REQUIREMENTS OF NEW SCHEDULE FINISHES.
- DISCONNECT AND/OR REMOVE UNUSED / ABANDONED ELECTRICAL CIRCUITS FROM ELECTRICAL SOURCE PER CODE.
- CAP, DISCONNECT AND/OR REMOVE ALL PLUMBING LINES NOTED FOR DEMOLITION IN ACCORDANCE WITH CODE.
- WHENEVER REQUIRED BY LOCAL AUTHORITIES AND AS DIRECTED BY OWNER'S REPRESENTATIVE UNUSED UTILITIES SHALL BE REMOVED IN THEIR ENTIRETY.
- REMOVE (E) FINISHES THROUGHOUT DINING ROOM, HALLWAY, VESTIBULE & RESTROOMS AS REQUIRED FOR NEW WORK. EXISTING GYPSUM BOARD TO REMAIN IF POSSIBLE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
- REFER TO PERFECTED CEILING PLAN FOR ADDITIONAL DEMOLITION SCOPE.



RESTROOM NOTES:

- DISCONNECT AND DISCARD EXISTING PLUMBING FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ALL RESTROOM ACCESSORIES.
- REMOVE NON-COMPLIANT FLOOR & WALL FINISHES THROUGHOUT THE RESTROOMS. REMOVE AND REPLACE WALL SHEATHING AS REQUIRED. OTHER SUBSTRATES NOT REMOVED SHALL BE CLEANED OR REPLACED AS REQUIRED FOR NEW FINISHES. DO NOT ADD ADDITIONAL LAYERS OVER EXISTING SUBSTRATES AS ADA CLEARANCES MAY BE VIOLATED.
- REMOVE STALL DOORS, FRAME & HARDWARE.
- DISCONNECT AND REMOVE VANITY. PREPARE FOR REPLACEMENT.

01 DEMOLITION PLAN
1/4" = 1'-0"

SITE NUMBER: 3570
BASE MODEL: E2000
ASSET TYPE: FRANCHISE
CLASSIFICATION: REFRESH LITE
OWNER: OWNER NAME
BASE VERSION: 2018
UPGRADE CLASSIFICATION: N/A
PROJECT YEAR: 2018
FURNITURE PACKAGE: 2018
DRAWING RELEASE: SPRING 2018

PM DESIGN
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SUITE 100
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(916) 415-5558
pedro@pmdesign.com
Ray W. Pedro, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's
5724 HOLLISTER AVE.
GOLETA, CA 93117

REV.	DATE	DESCRIPTION
1	10/15/19	SERIAL SUBMITTAL
2		
3		
4		
5		

ISSUE DATE: 10/15/2019
PROJECT NUMBER: 3570
DRAWN BY: JCK
CHECKED BY: JCK

SHEET NAME
DEMOLITION
FLOOR PLAN

SHEET NUMBER
D1.1

ALTERNATE PLACEMENT, OR
OPTIONAL SECOND
DRINK FIXTURE

OPTION 1

OPTION 2

NOTE: OPTIONAL CONFIGURATIONS ABOVE ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLAN CONFIGURATION BELOW FOR SELF-SERVE DRINK TOWER LOCATION (MAY BE AT EITHER END OR BOTH). COORDINATE FINAL ORIENTATION AND PLACEMENT WITH OWNER'S REPRESENTATIVE.

SYMBOL	DESCRIPTION
	CEILING FINISHES. SEE FINISH SCHEDULE WALL FINISHES. SEE FINISH SCHEDULE BASE FINISHES. SEE FINISH SCHEDULE FLOOR FINISHES. SEE FINISH SCHEDULE
	FLOORING TRANSITION WHERE DIMENSION PROVIDED IS WITHIN 2" OF EXISTING, TRANSITION SHALL BE LOCATED AT EXISTING.
	EQUIPMENT TAGS

AP-1	ENTRY BRAND MOMENT	WF-6	WOMEN'S ROOM DOOR SIGN
AP-1B		WF-7	WOMEN'S ROOM SIGN ADA
AP-2	QUALITY IS OUR RECIPE (NOT USED)	WF-8	WOMEN'S ROOM SIGN ADA
AP-3	DAVE THOMAS QUOTE	WF-9	CREW MUST WASH HANDS
AP-4	MEDALLION MELODY'S SEAL	WF-10	RESTROOM CLEANLINESS
WF-1	TACTILE EXIT SIGN	WF-12	EMPLOYEES ONLY
WF-3	WF-FI SIGN	WMW-11	HESMAN - CITA
WF-4	NO SMOKING SIGN	NP	NUTRITION POSTER
WF-5	MEN'S ROOM DOOR SIGN		

1. G.C. SHALL BE RESPONSIBLE FOR VERIFYING "AS-BUILT" CONDITIONS AND LAYING OUT WORK BEFORE PROCEEDING WITH WORK.

2. EXTERIOR FINISHES ARE NOTED ON EXTERIOR ELEVATIONS.

3. SEE INTERIOR ELEVATIONS FOR EXTENT OF NEW INTERIOR WALL FINISHES.

4. KITCHEN EQUIPMENT DISTRIBUTOR WILL SUPPLY CITICAL DIMENSIONS, PLUMBING AND ELECTRICAL SPECIFICATIONS FOR EQUIPMENT SUPPLIED BY THE KITCHEN EQUIPMENT DISTRIBUTOR.

5. ELECTRICAL AND PLUMBING CONTRACTOR TO MAKE FINAL CONNECTION TO EQUIPMENT.

6. DESIGN INTENT IS FOR EXISTING FINISHES TO BE REPLACED WITH EQUIVALENT NEW FINISHES, U.S.O. COORDINATE WITH OWNER FOR OPTIONAL FINISH UPDATES.

7. G.C. TO PROVIDE AND INSTALL CRACK ISOLATION/WATERPROOF MEMBRANE AT ALL AREAS OF PORCELAIN, CERAMIC AND MARBLE TILES. "HYDRO-BAY" BY LAITORET. PROVIDE TATASIL SEALANT @ ALL AREAS OF EXPANSION JOINTS IN SUBSTRATE PRIOR TO INSTALLATION OF "HYDRO-BAY". CONTACT LAITORET AT (203) 376-8113.

8. PAINTER SHALL BE RESPONSIBLE FOR THE REMOVAL OF HARDWARE, SWITCH AND OUTLET COVERS, ETC. AND REINSTALLATION OF SAME AFTER PAINTING.

9. RETOUCH OR REFINISH SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY GENERAL CONTRACTOR. THE COST OF SUCH RESTORATION WORK SHALL BE BORNE BY THE CONTRACTOR.

10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER PROTECTION AGAINST DAMAGE TO EXISTING FURNITURE, ADJACENT FINISHED WORK, FLOORING, ETC. IF APPLICABLE.

11. REFER TO REFLECTED CEILING PLAN FOR CEILING TYPES, HEIGHTS & FINISHES.

12. COORDINATE MUSIC & A/V SYSTEM REQUIREMENTS WITH HENRY'S REPRESENTATIVE.

13. FOR NEW BATH STATIONS BEING ADDED, NEW CONDENSERS (OR R/GS ARE REQUIRED). CONDENSERS TO BE INSTALLED ON EXISTING RAILS SUPPLIED WITH UNITS. G.C. TO INSTALL EQUIPMENT RAILS AND CONDENSERS NO CLOSER THAN 10" FROM ANY ROOF EDGE AND OUTSIDE AIR INTAKE. INSTALL RAILS PARALLEL WITH ROOF SLOPE TO ENSURE POSITIVE DRAINAGE. G.C. TO INSTALL NEW PIPE CURB FOR CONDENSER LINES PER DETAIL 05/01.11. COORDINATE FINAL LOCATION OF CONDENSERS AND NEW CURB WITH HENRY'S CONSTRUCTION MANAGER AND A.H.J. PATCH AND REPAIR EXISTING ROOF MEMBRANE AS REQUIRED USING MEMBRANE MANUFACTURER'S STANDARD DETAILS TO ENSURE EXISTING WARRANTY IS MAINTAINED.

14. VERIFY LOCATION(S) OF EXISTING FLOOR DRAIN TO SERVE DRINK SINK. PROVIDE NEW DRAIN TO SERVE DRINK SINK WHEN EXISTING IS NOT AVAILABLE. NEW CUB FLOOR SLAB AS REQUIRED FOR INSTALLATION OF NEW DRAIN AND PATCH TO MATCH EXISTENT AFTER REPAIRS TO MAINTAIN EXACT LOCATIONS.

15. (N) SOLID SURFACE COUNTERTOP & REFRIG. COUNTER BASE CABINET AS REQUIRED FOR ORDER/PAY AND PICK-UP DELIVERY, INCLUDING (4) UNDER-COUNTER ICE BIN, MOUNTAIN ICE BIN, DRINK FILLER BIN, REPAIR NOT AVAILABLE THROUGH K.E.D., COORDINATE REQUIREMENTS WITH K.E.D. & CC AS REQUIRED. CC SHALL COORDINATE FINAL CASH DROP PLACE, MEET WITH HENRY'S REPRESENTATIVE, INCLUDING ACCESS TO SAFE KEYS FROM RESTAURANT MANAGER.

THE GENERAL CONTRACTOR SHALL PROVIDE A CONTINGENCY BID FOR WORK IN THE BACK OF HOUSE/KITCHEN AREA BEYOND THE SCOPE OF THIS REFRESH SHOWN ON THESE DOCUMENTS. COORDINATE ANY/ALL WORK BEG. PROPOSED, OR REQUIRED WITH THE NEWBY'S CONSTRUCTION REPRESENTATIVE PRIOR TO PURCHASING OR BEGINNING ANY WORK BEYOND THE LIMITED SCOPE SHOWN ON THESE CONSTRUCTION DOCUMENTS.

UNR	EQUIPMENT SCHEDULE		THANKED BY	INSTALLED BY
	DESCRIPTION OF EQUIPMENT	REMARKS		
A0100	BEVERAGE SYSTEM DRYICE-TURN	PRESTITLE	0	0
A0200	BEVERAGE SYSTEM SELF-SERVE DINING ROOM	PRESTITLE US STEEL "SILVER", CANADA STEEL "RED"	0	0
A0401	USED TEA DISPENSER-NARROW OVAL		ES	ES
04043	HARPOON DISPENSER		ES	ES
C1502	KETCHUP PUMP		ES	ES
C1801	10/15 STRAW DISPENSER		ES	ES
00100	PDS MONITOR	NUMBER SCREEN ON ARM	0	0
00300	PDS TERMINAL	EXISTING TO BE RELOCATED, OR (NEW OPTIONAL)	0	0
E0405	FRONT COUNTER (COUNTER TOP ONLY)		ES	ES
N0203	CASH DROP BOX	EXISTING TO BE RELOCATED, OR (NEW OPTIONAL)	ES	ES
N0205	DESSERT CASE	VERIFY WITH MOND'S REPRESENTATIVE	ES	ES
00189	REMOTE CONDENSING UNIT - DINING ROOM (ROOF)	A NITCOEN EQUIPMENT SUPPLIER TO VERIFY ACTUAL EQUIPMENT / MODEL / FINISH TO BE USED	ES	ES
00299	ICE MACHINE - DINING ROOM	*QUANTITY WILL VARY DEPENDING ON EXACT BEVERAGE SYSTEM CONFIGURATION	ES	ES
R010102	TRASH RECEPTACLE		ES	ES
R0302	CONDIMENT STAND (W/DRAIN)	OPTIONAL	ES	ES
R0406	SMALL DRINK CONDIMENT STAND (W/DRAIN)		ES	ES
R0491	SELF-SERVE CHASE ASSEMBLY		ES	ES
R0503	LOUNGE CHAIR		ES	ES
R0506	CHAIR - STANDARD HEIGHT		ES	ES
R0506	CHAIR - COUNTER HEIGHT		ES	ES
R0507	CHAIR - BAR HEIGHT		ES	ES
R1603	HIGH CHAIRS		ES	ES
R1706	BOOSTER CHAIR		ES	ES
R2001	TABLE TOP 20"x24"			
R2005	TABLE TOP 22"x42" (W/ 4 EASED CORNERS)			
R2010	TABLE TOP 20"x42"		ES	ES
R2015	TABLE TOP 20 1/2"x20 1/2"			
R2022	TABLE TOP 24" ROUND CLIPPED			
R2023	TABLE TOP 42" ROUND			
R2044	6-TOP FAMILY-TABLE-AND-BASE			
R2045	CANTILEVERED COMMUNITY W-TABLE (6 SEAT)			
R2109	TABLE BASE (22"x22") - STANDARD HEIGHT			
R2106	TABLE BASE (22"x22") - COUNTER HEIGHT			
R2108	TABLE BASE (42") STANDARD HEIGHT			
R2105	TABLE BASE (ACCESSIBLE) - STANDARD HEIGHT	2 BASKETS PER TABLE		
R2121	TABLE BASE (26x26) - LOUNGE TABLE			
R2601	14'-0" BANQUETTE			
R2607	W/1 BAR (6 SEAT)	POWER RECEPTACLES REQUIRED		
R3001	CONDIMENT STAND - 54"			
R309	WELCOME WALL			
R3102	8'-0" INTERIOR RED BLIND			
U0509	BACULIT STATIC MERCHANTMANS (REDHEAD ROASTERS)	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0
U0509	BACULIT STATIC CIGARETTE BOARDS	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0
U0509	BACULIT STATIC MENU BOARDS	# OWNER TO VERIFY ACTUAL EQUIPMENT/MODEL TO BE USED	0	0
R0000	C.S.S. STATION	FUTURE	0	0

*INDICATES SPECIAL ITEMS 0=OWNER CO=GENERAL CONTRACTOR ES=ELECTRICAL CONTRACTOR PO=PLUMBING CONTRACTOR RD=EQUIPMENT DISTRIBUTOR



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Roy W. Pedro, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLETA, CA. 93117

REV.	DATE	DESCRIPTION
1	10/09/19	BUILDING SUBMITTAL
2	-	-
3	-	-
4	-	-
5	-	-

ISSUE DATE: 06/10/2019

PROJECT NUMBER: 1821

DRAWN BY:

CHECKED BY:

SCALE:

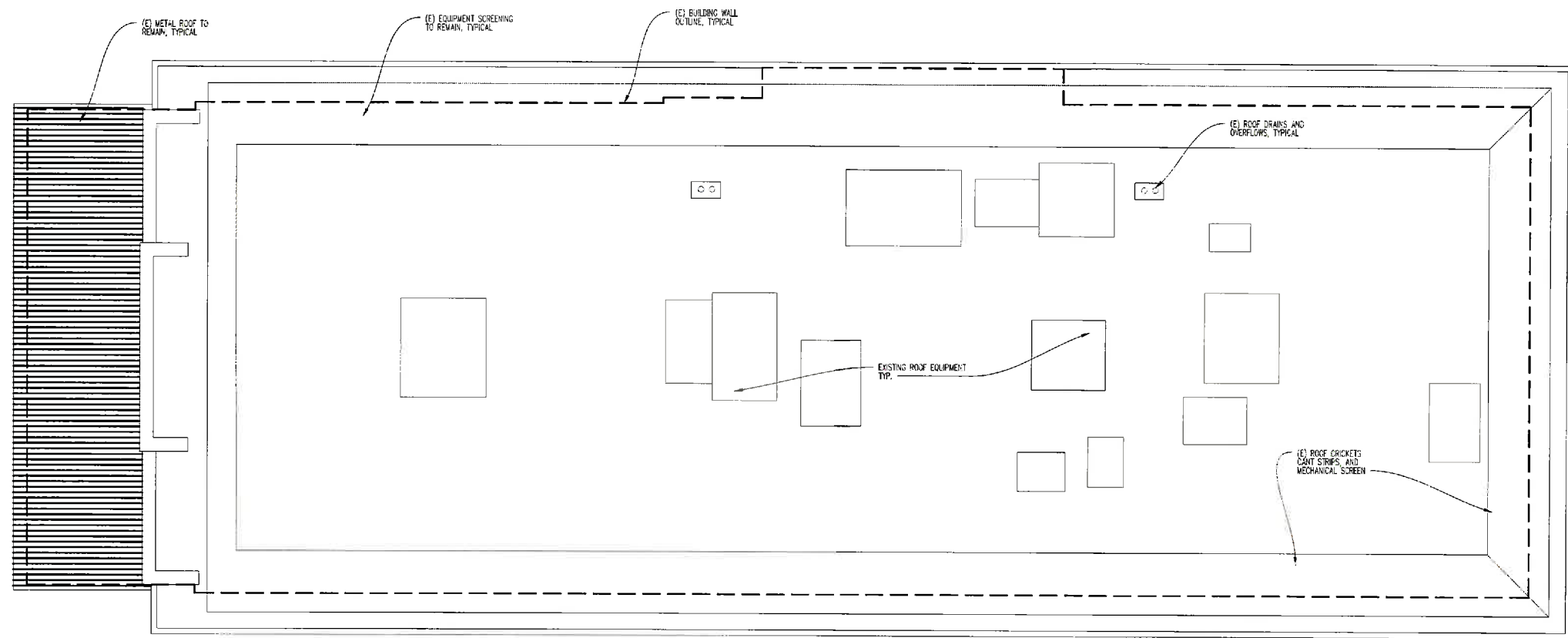
SHEET NAME
FLOOR, FINISH, &
EQUIPMENT PLAN

SHEET NUMBER

A1.1

01 FLOOR, FINISH AND EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

10/20/2018 4:05 PM, P:\DENALI-Projects\Colorado\Wendy's\6003.0\Colors CAD -CURRENT\DWGS\10_3570 A1.3 ROOF PLAN.dwg, inches



01 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

SITE NUMBER:	3570
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	REFRESH LITE
OWNER:	OWNER NAME
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	
	N/A
PROJECT YEAR:	2018
FURNITURE PACKAGE:	2018
DRAWING RELEASE:	SPRING 2018



Architectural
Solutions Group

6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677

(916) 415-5358
mpedro@pmdesign.com
Roy W. Pedro, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLETA, CA. 93117

REV.	DATE	DESCRIPTION
1	10/20/18	BUILDING SUBMITTAL
2	-	-
3	-	-
4	-	-
5	-	-

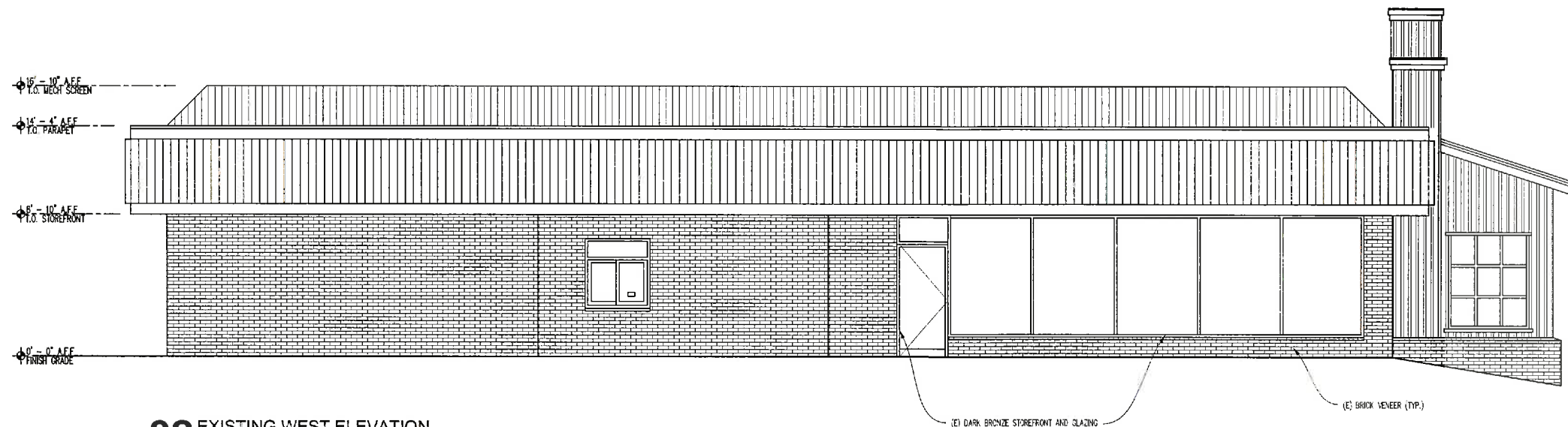
DESIGN DATE: 09/04/2018
PROJECT MANAGER: T.A.G.
DRAWN BY: J.S.K.
CHECKED BY: J.S.K.
YEAR: 2018

SHEET NAME
EXISTING ROOF PLAN

SHEET NUMBER
A1.3



01 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

SITE NUMBER:	357C
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	REFRESH LITE
OWNER:	OWNER NAME
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2018
FURNITURE PACKAGE:	2018
DRAWING RELEASE:	SPRING 2018



Architectural
Solutions Group

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Roy M. Pedro, Architect

PROJECT TYPE:	E2000
	REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLETA, CA. 93117

REV.	DATE	DESCRIPTION
1	10/20/18	BUILDING SUBMITTAL
2	-	-
3	-	-
4	-	-

ISSUE DATE: 04/10/2019

PROJECT NUMBER: 1202

DRAWN BY: JOK

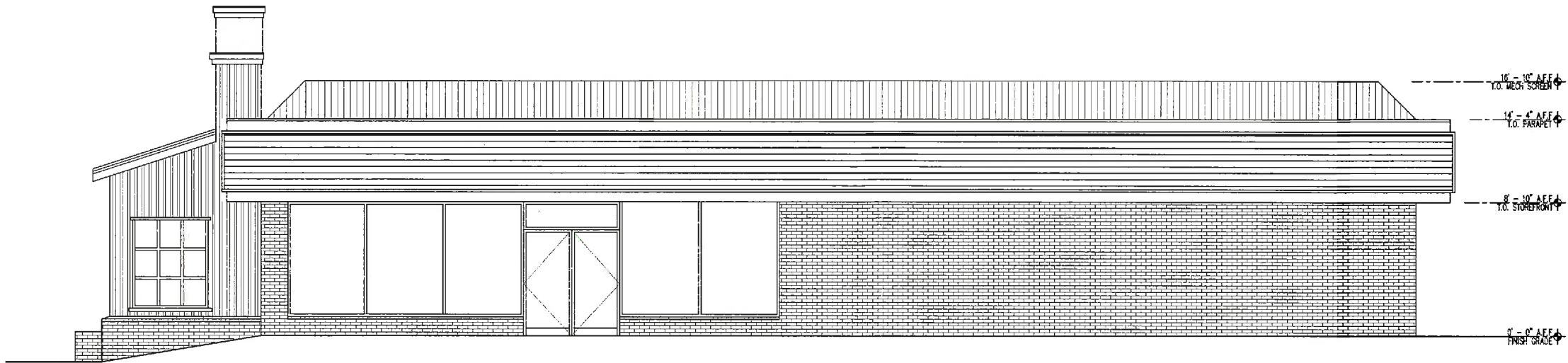
CHECKED BY: JOK

SEAL

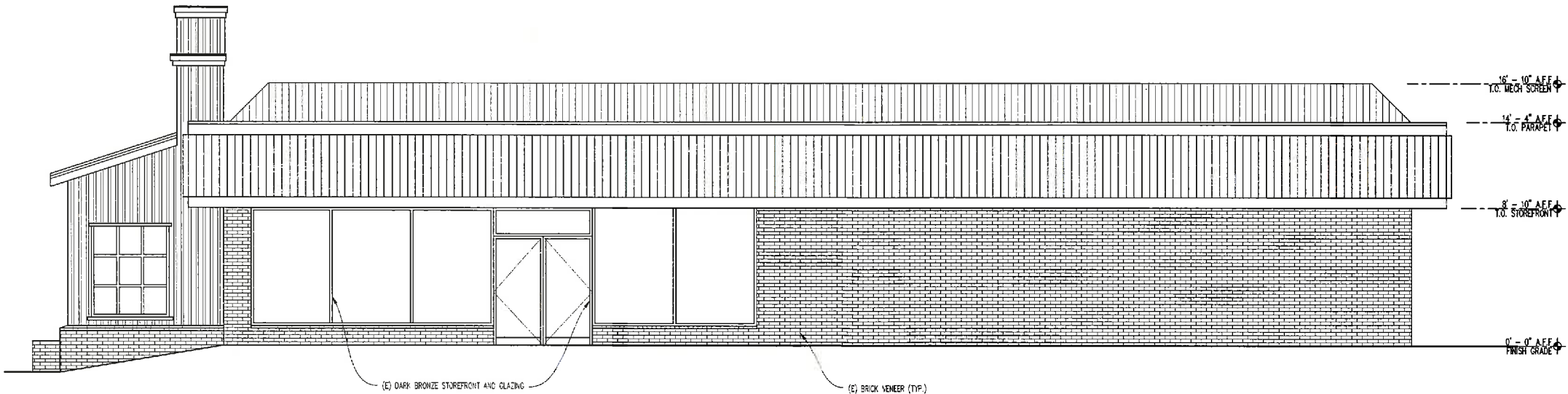
SHEET NAME
EXTERIOR ELEVATIONS
WEST

SHEET NUMBER
A2.2

1/7/2020, 4:19 PM, P:\000001 Projects\Colorado\Wendy\KINGS10003 10 Gables Candy Current DWGSET, JNTD, A, EXTERIOR ELEVATIONS.dwg, Jntd



01 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



02 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

SITE NUMBER:	3570
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	REFRESH LITE
OWNER:	OWNER NAME
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2018
FURNITURE PACKAGE:	2018
DRAWING RELEASE:	SPRING 2018



Architectural
Solutions Group

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pedro@pmagnc.com

Rev W. Pedro, Architect

PROJECT TYPE:	E2000
	REFRESH LITE

Wendy's.

5724 HOLLISTER AVE.
GOLETA, CA, 93117

REV	DATE	DESCRIPTION
1	10/20/19	BUILDING INITIAL
2	-	-
3	-	-
4	-	-

APPROVATE (SIGNATURE)

PROJECT NUMBER T.O.D.

DRAWN BY: JDD

CHECKED BY: JDD

T&A

SHEET NAME
EXTERIOR ELEVATIONS
EAST

SHEET NUMBER

A2.3



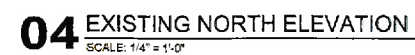
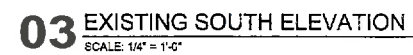
Roy W. Peck, Architect

Wendy's.
5724 HOLLISTER AVE.
GOLETA, CA. 93117

ISSUE DATE: 02.02.2019
PROJECT NUMBER: 14.0.
OFFICE BY: XXX
CHECKED BY: XXX

ET NUMBERS

A2.4



16' - 10" AFF
T.O. MECH. SCREEN

15' - 4" AFF
T.O. PARAPET

8' - 10" AFF
T.O. STOREFRONT

8' - 0" AFF
FINISH GRADE

01 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"

16' - 10" AFF
T.O. MECH. SCREEN

15' - 4" AFF
T.O. PARAPET

8' - 10" AFF
T.O. STOREFRONT

8' - 0" AFF
FINISH GRADE

02 EXISTING WEST ELEVATION
SCALE 1/4" = 1'-0"

SITE NUMBER	3573
BASE MODEL	E2000
ASSET TYPE	FRANCHISE
CLASSIFICATION	REFRESH LITE
OWNER	OWNER NAME
BASE VERSION	2018
UPGRADE CLASSIFICATION	N/A
PROJECT YEAR	2018
FUTURE PACKAGE	2018
DRAWING RELEASE	SPRING 2018



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Ray W. Fields, Architect

PROJECT TYPE E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLEATA, CA. 93117

REV.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
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DESIGNED BY: [blank]
CHECKED BY: [blank]
DATE: [blank]

EXTERIOR ELEVATIONS
WEST

A2.2



01 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



02 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

SITE NUMBER	3570
BASE MODEL	E2000
ASSET TYPE	FRANCHISE
CLASSIFICATION	REFRESH LITE
OWNER	OWNER NAME
BASE VERSION	2018
UPGRADE CLASSIFICATION	N/A
PROJECT YEAR	2018
FURNITURE PACKAGE	2018
DRAWING RELEASE	SPRING 2018

PM

DESIGN

Architectural
Solutions Group

6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677

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Roy W. Pedro, Architect

PROJECT TYPE E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLEATA, CA. 93117

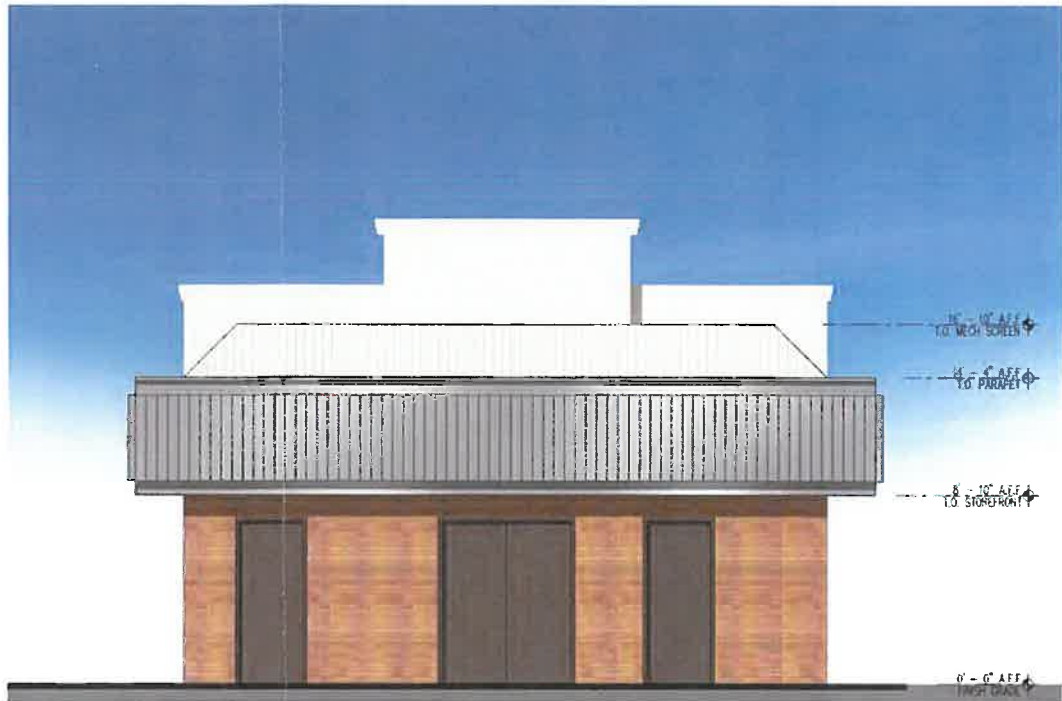
REV.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
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EXTERIOR ELEVATIONS
EAST

A2.3



01 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



02 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

E.F.I.S.
Color: Wendy's Red
Sherwin Williams
Red Bay SW 6321

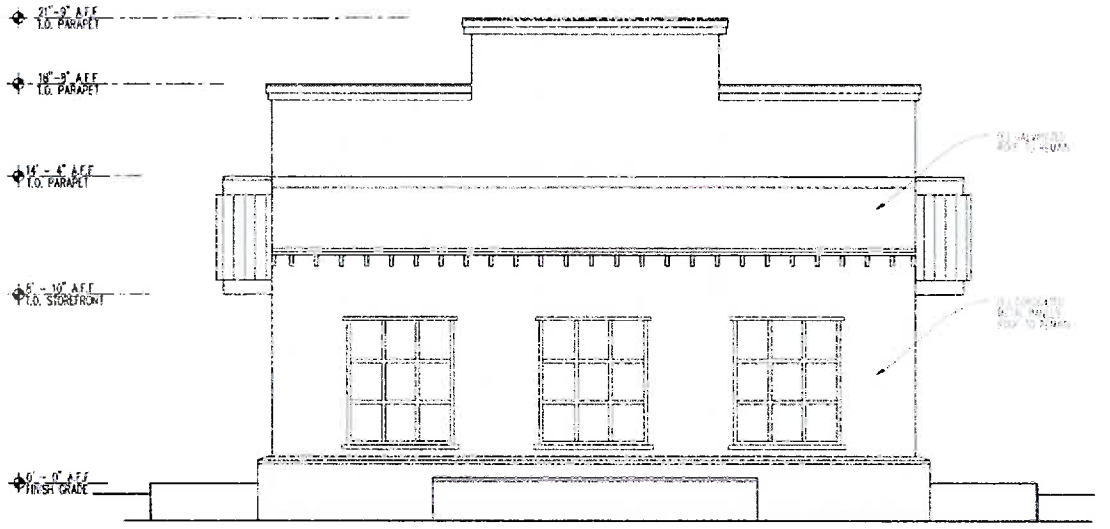
Ribbed Metal Panel
System
ALCOA Reynolux
7.2" rib panel
Color: Classic Bronze

Paint
Sherwin Williams
Color: Biscuit SW 6112

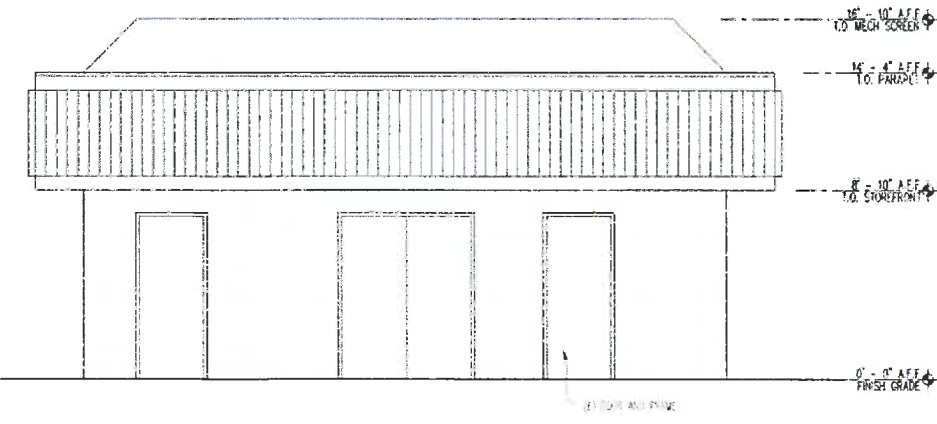
Exterior Brick
Existing to remain

Existing Shed Roof
to remain

Paint
Sherwin Williams
Color: Urbane Bronze
SW 7048



03 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



04 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SITE NUMBER	3570
BASE MODEL	E2000
ASSET TYPE	FRANCHISE
CLASSIFICATION	REFRESH LITE
OWNER	OWNER NAME
BASE VERSION	2018
UPGRADE CLASSIFICATION	N/A
PROJECT YEAR	2018
FURNITURE PACKAGE	2018
DRAWING RELEASE	SPRING 2018

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POCKLIN, CA 95677
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pdesign@pmid.com
Roy W. Pedro, Architect

PROJECT TYPE: E2000
REFRESH LITE

Wendy's.
5724 HOLLISTER AVE.
GOLEATA, CA. 93117

DATE	DESCRIPTION
10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT
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10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT
10/1/18	ISSUED FOR PERMIT

EXTERIOR ELEVATIONS
NORTH & SOUTH

A2.4