261 IRIS AVE

PROFESSIONALS

DESIGNER

KATE SVENSSON DESIGN, INC
KATE SVENSSON
961 MIRAMONTE DR, STE 1
SANTA BARBARA, CA, 93109
T. 805.708.8052
E. KATE@KATESVENSSON.COM
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OWNER

SHARI POWELL
261 IRIS AVE,
GOLETA, CA, 93117

STRUCTURAL ENGINEER

DARKMOON BUILDING DESIGN & ENGINEERING
JONATHAN VILLEGAS
591 RANCH RD, SOLVANG, CA 93463
(805) 680-6874

CONTRACTOR

TBD

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

SANTA BARBARA CITY ORDINANCE #5780
COUNTY AIR POLLUTION CONTROL DISTRICT REQUIREMENTS.
2016 CALIFORNIA BUILDING ADMINISTRATIVE CODE, PART 1
2016 CALIFORNIA BUILDING CODE, PART 2
2016 CALIFORNIA RESIDENTIAL CODE, PART 2.5
2016 CALIFORNIA ELECTRICAL CODE, PART 3
2016 CALIFORNIA MECHANICAL CODE, PART 4
2016 CALIFORNIA PLUMBING CODE, PART 5
2016 CALIFORNIA ENERGY CODE, PART 6
2016 CALIFORNIA FIRE CODE, PART 9
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11
2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12
2016 CALIFORNIA CODE, TITLE 24 CD-ROM
2016 CALIFORNIA TITLE 24 COMPLETE COLLECTION
NATIONAL ELECTRIC CODE
FEDERAL - OSHA

CITY OF SANTA BARBARA MUNICIPAL CODE #5639 FOR GRADING AND PRECONSTRUCTION STORMWATER MANAGEMENT.
3. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
4. STANDARD SPECIFICATIONS OF ASTM.
5. IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
6. "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE DESIGNER'S AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL REPORT TO DESIGNER AND PROJECT SUPERINTENDENT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK. CLIENT'S DESIGNER AND PROJECT SUPERINTENDENT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR AND SUB-CONTRACTOR SHOULD ANY DISCREPANCY, ERROR, OMISSION, ADDITION, OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK. SUB- CONTRACTOR SHALL: INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR PERFORMANCE. SUB- CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, DESIGNER OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER, RAIN, WIND, STORMS, FROST, HEAT OR BREAKAGE SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO HIM FROM IN AND ABOUT THE BUILDING AND LEAVE WORK SITE "BROOM CLEAN". AT THE END OF THE DAY'S WORK, ALL WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED DUE TO FAILURE OF PROTECTION AS DEFINED ABOVE SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.

WORKMANSHIP: COMPLIANCE WITH DRAWINGS AND/OR SPECIFICATIONS WITH REGARD TO MATERIALS AND METHODS OF ASSEMBLY WILL NOT, IN ITSELF, ASSURE ACCEPTANCE OF THE WORK. OF EQUAL IMPORTANCE IS GOOD WORKMANSHIP, THE LACK OF WHICH WILL BE SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK.

MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON JOB SITE AT TIME OF INSPECTION.

BEST MANAGEMENT PRACTICES

ALL OF THE FOLLOWING MUST BE FOLLOWED

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARE DRAINS, NATURAL DRAINAGE COURSES OR WIND.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

3.FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

4.EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.

5.TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

6. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

7. ANY SLOPE WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

8. ALL CONSTRUCTION SHALL COMPLY WITH ALL AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 5780

WASTE MANAGEMENT

CONSTRUCTION WASTE MANAGEMENT:

COUNTY APPROVED WASTE MANAGEMENT COMPANY IS TO BE MARBORG INDUSTRIES, 136 N QUARANTINA ST, SANTA BARBARA, CA, 93103. PHONE 805.963.1852

CONSTRUCTION WASTE REDUCTION TO COMPLY WITH DISPOSAL AND RECYCLING PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.408.1

CUT/FILL QUANTITIES

CUT AND FILL QUANTITIES:

CUT	**0 C.Y.**
FILL	**0 C.Y.**
EXPORT	**0**
IMPORT	**0**

SHEET INDEX

T1.0	TITLE SHEET
T1.2	PHOTO PAGES
AS0.1	EXISTING / PROPOSED SITE PLAN
A0.1	EXISTING / DEMO FLOOR PLAN
A1.1	PROPOSED FLOOR PLAN
A1.4	EXISTING / PROPOSED ROOF PLAN
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A8.0	DOOR - WINDOW SCHEDULE

TOTAL SHEETS: 10

SPECIAL INSPECTIONS AND OBSERVATIONS

SPECIAL INSPECTION OF THE FRAMING MEMBERS WITH A MOISTURE METER IS REQUIRED PER SECTION 4.505.3 OF THE GREEN BUILDING STANDARDS CODE. [§R109.1.4.1 CRC]

SPECIAL INSPECTIONS:

REFER TO SHEET S 002 FOR LIST OF REQUIRED SPECIAL INSPECTIONS

PROJECT DESCRIPTION

PROPOSAL FOR AN ADDITION TO THE EXISTING SINGLE FAMILY RESIDENCE. ADDITION IS PARTIALLY IN THE REAR SETBACK. THIS PROJECT REQUIRES A MODIFICATION TO ALLOW FOR SUCH ENCROACHMENT
CASE NUMBER 20-0001-MOD-LUP

CONVERSION OF (E) 2-CAR GARAGE TO JUNIOR ACCESSORY DWELLING UNIT (UNDER A SEPARATE PERMIT)

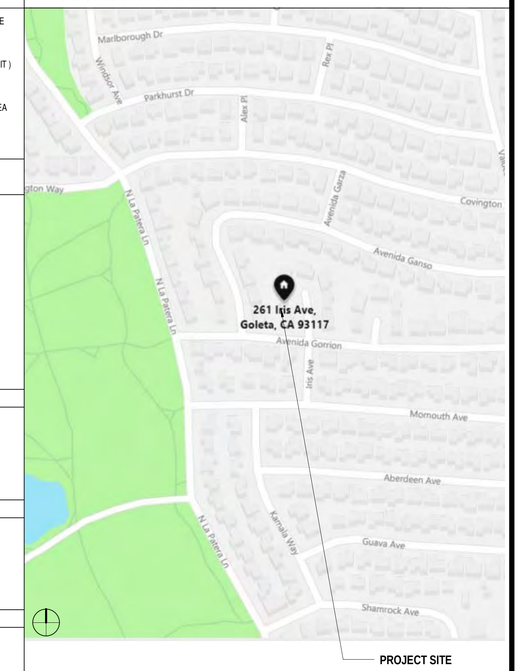
THERE ARE EXISTING VIOLATION ON THIS PROPERTY, THEY ARE TO BE ABATED UNDER THIS PERMIT.
THESE INCLUDE:
- RELOCATING EXISTING STORAGE SHED CURRENTLY IN THE REAR SETBACK, OUTSIDE OF SETBACK AREA
- DEMOLITION OF UNPERMITTED STRUCTURE IN THE REAR SETBACK

AREA BREAKDOWN

PROJECT ADDRESS:	261 IRIS AVE GOLETA, CA, 93117	
A.P.N.	077-254-008	
SLOPE:	3%	
LAND USE ZONE:	RS	
SETBACKS: FRONT : REAR: INTERIOR:	 20'-0" 25'-0" 10% OF WIDTH	
LOT AREA: GROSS:	0.23 AC	
BUILDING AREA:	NET SF	GROSS SF
EXISTING		
HOUSE		
1ST FLOOR RESIDENCE	1202	1276
GARAGE	385	434
SUBTOTAL WITH GARAGE	**1587**	**1710**
SHED	**35.5**	**37.3**
UNPERMITTED SHED II	**262**	**273**
PROPOSED DEMO		
HOUSE		
1ST FLOOR RESIDENCE	0	0
GARAGE	0	0
SHED	**0**	**0**
UNPERMITTED SHED II	**262**	**273**
PROPOSED ADDITION		
HOUSE		
1ST FLOOR RESIDENCE	205	242
GARAGE	0	0
PROPOSED NEW RESIDENCE	1407	1518
PROPOSED NEW TOTAL WITH GARAGE	**1792**	**1952**
SHED	**0**	**0**
PARKING TOTAL PARKING SPACES PROVIDED:	**2 COVERED (EXISTING)**	

VICINITY MAP

NOT TO SCALE



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CLIENT

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No.	Date	Description

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TITLE SHEET

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PHOTO PAGES

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GENERAL NOTES - SITE PLAN

1. BUILDING PAD IS ASSUMED TO BE COMPLETE PRIOR TO CONSTRUCTION W/ AN APPROX. SLOPE OF <2%.

2. SEE FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS & BUILDING DIMENSIONS.

3. PLANTERS & HARDSCAPE SHOWN ARE SCHEMATIC. REFER TO LANDSCAPE PLANS FOR COMPLETE INFORMATION.

4. DATUM ELEVATION OF 0'-0" SET AT PROPOSED FINISH FLOOR @ GROUND LEVEL. SEE FLOOR PLAN FOR BUILDING LOCATION & LAYOUT.

GENERAL NOTES - GRADING

1. ALL GRADING SHALL CONFORM WITH SANTA BARBARA COUNTY CODE CHAPTER 14 GRADING ORDINANCE #4477 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO, THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE SOILS ENGINEER AND ENGINEERING GEOLOGIST.

2. CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST **48 HOURS** BEFORE START OF GRADING WORK OR PRE-CONSTRUCTION MEETING.

3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS **OR** CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.

4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.

5. THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.

6. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.

7. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.

8. AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.

9. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 ASTM D - 1557 - 91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.

10. CUT SLOPES SHALL NOT EXCEED A GRADE OF 1½-HORIZONTAL TO 1-VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2-HORIZONTAL TO 1-VERTICAL. SLOPES OVER 3-FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.

11. SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.

12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION.

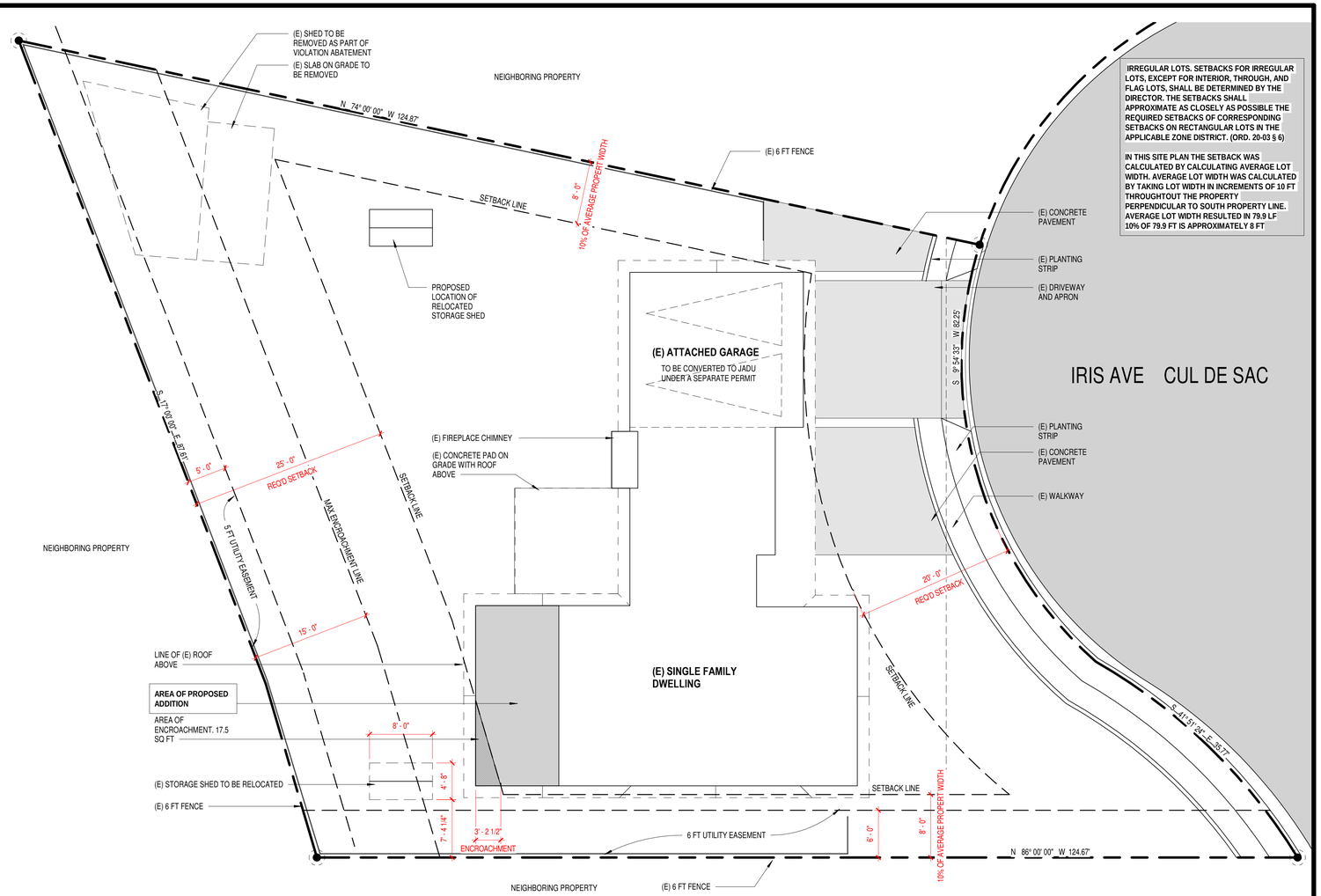
13. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.

LEGEND - SITE PLAN

- PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- EXTENT OF "INSERT TEXT HERE"

KEYNOTES

X.XX KEYNOTE DESIGNATION



IRREGULAR LOTS. SETBACKS FOR IRREGULAR LOTS, EXCEPT FOR INTERIOR, THROUGH, AND FLAG LOTS, SHALL BE DETERMINED BY THE DIRECTOR. THE SETBACKS SHALL APPROXIMATE AS CLOSELY AS POSSIBLE THE REQUIRED SETBACKS OF CORRESPONDING SETBACKS ON RECTANGULAR LOTS IN THE APPLICABLE ZONE DISTRICT. (ORD. 20-03 § 6)

IN THIS SITE PLAN THE SETBACK WAS CALCULATED BY CALCULATING AVERAGE LOT WIDTH. AVERAGE LOT WIDTH WAS CALCULATED BY TAKING LOT WIDTH IN INCREMENTS OF 10 FT THROUGHTOUT THE PROPERTY PERPENDICULAR TO SOUTH PROPERTY LINE. AVERAGE LOT WIDTH RESULTED IN 79.9 LF 10% OF 79.9 FT IS APPROXIMATELY 8 FT

N

EXISTING / DEMO SITE PLAN 1

SCALE: 1/8" = 1'-0"

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Author

EXISTING / PROPOSED SITE PLAN

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GENERAL NOTES - DEMOLITION

1. THE INTENT OF THE DEMOLITION WORK IS TO COMPLETE REMOVALS NECESSARY IN ORDER TO CONSTRUCT THE NEW WORK. THE REMOVAL NOTES ARE GENERAL IN NATURE AND IT SHALL BE UNDERSTOOD THAT IT IS NOT FEASIBLE TO SHOW EACH AND EVERY SPECIFIC REMOVAL. DEMOLITION DRAWINGS SHOULD NOT BE USED ALONE BUT SHOULD BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS. SEE STRUCTURAL DRAWINGS FOR CERTAIN ADDITIONAL WORK TO BE REMOVED, RE-USED, AND/OR REVISED NOT MENTIONED HERE. UNLESS OTHERWISE NOTED, THE SCOPE OF WORK OUTLINED BY DEMOLITION NOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PLEASE REFERENCE PROJECT GENERAL NOTES ON SHEET A0.00 PRIOR TO COMMENCEMENT OF DEMOLITION WORK.

2. STRUCTURAL ITEMS SHOWN AS 'TO BE REMOVED' ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.

3. ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL / ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL / ABATEMENT AT LOCATIONS NECESSARY. IN THE EVENT TOXIC MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY HEALTH & SAFETY AGENCIES OF THE GOVERNING JURISDICTION.

4. DEMOLITION DRAWINGS SHOW REMOVALS IN GENERAL AND ARE BASED ON ORIGINAL DRAWINGS. THERE MAY HAVE BEEN CHANGES SINCE THAT DATE. CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND TO FIELD VERIFY CONDITIONS.

5. RESPECTIVE CONTRACTORS SHALL REMOVE PLUMBING, MECHANICAL, ELECTRICAL, OR MISCELLANEOUS AS REASONABLY INFERRED. CAP OR RECONNECT ALL EXISTING LINES AS REQUIRED.

6. CONTRACTOR FOR GENERAL WORK SHALL REMOVE REMAINING PLUMBING, MECHANICAL, ELECTRICAL OR MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN SUCH AS PIPES AND CONDUITS IN WALLS THAT HAVE BEEN DISCONNECTED AND REMAINING PORTIONS CAPPED OR RECONNECTED.

7. THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC., INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.

8. DEMOLISHED MATERIAL OR ITEMS REMOVED AND NOT SCHEDULED TO BE TURNED OVER TO THE OWNER SHALL BE REMOVED FROM THE SITE.

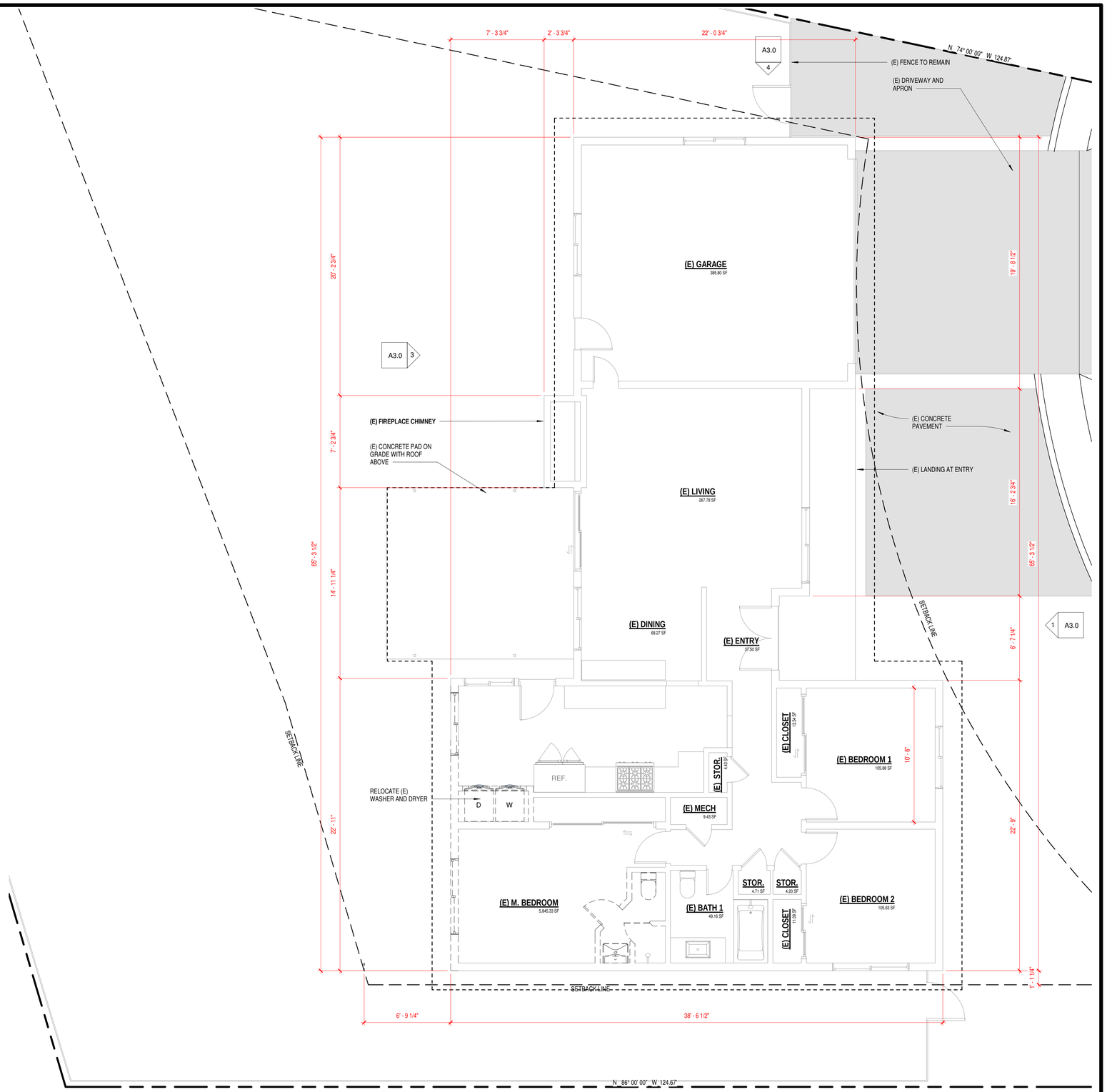
9. GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH NATIONAL, STATE, AND/OR LOCAL REQUIREMENTS, AS APPROPRIATE.

LEGEND - WALL TYPES

SYMBOL	TAG	DESCRIPTION
	X	(E) 2X4 WALL TO REMAIN, SIDING
		(N) 2X6 WALL , NEW SIDING
		(E) 2X4 WALL TO BE REMOVED

KEYNOTES

X.XX KEYNOTE DESIGNATION



DEMO FLOOR PLAN 1

SCALE: 1/4" = 1'-0"

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KS

EXISTING / DEMO FLOOR PLAN

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LEGEND - WALL TYPES

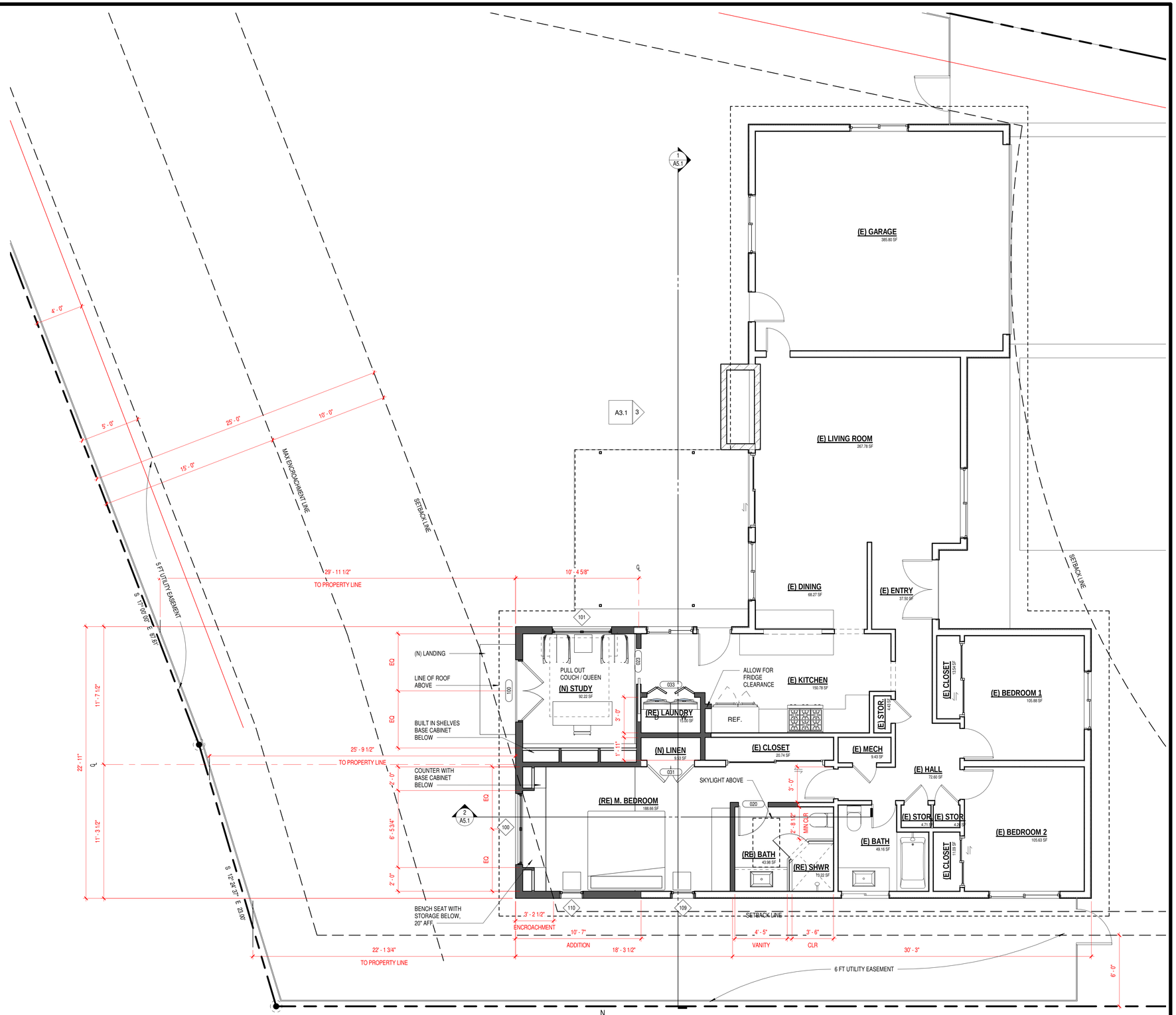
SYMBOL	TAG	DESCRIPTION
	X	(E) 2X4 WALL TO REMAIN, SIDING
		(N) 2X6 WALL , NEW SIDING
		(E) 2X4 WALL TO BE REMOVED

GENERAL NOTES - FLOOR PLAN

1. HARDWIRED SMOKE DETECTORS W/ BATTERY BACK-UP ARE REQUIRED IN EA BEDROOM & IN AREAS LEADING TO BEDROOMS & AT TOP OF STAIRS.
2. ALL BEDROOMS REQUIRE AT LEAST ONE EGRESS WINDOW PER CBC SECTION 310.
3. GLAZING MUST CONFORM TO CBC SECTION 2406 WHERE APPLICABLE.
4. FURNITURE NOT IN CONTRACT.
5. EMERGENCY ESCAPE AND RESCUE OPENINGS: MINIMUM CLEAR OPENING OF 5.7 SQ. FT. (5 SF MIN. AT GRADE FLOOR OPENINGS), MINIMUM 20 INCHES NET CLEAR OPENING WIDTH, MINIMUM 24 INCH NET CLEAR OPENING HEIGHT, BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES FROM FLOOR.
6. A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED.
7. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES OF EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTED BY AGENCY.(SEC 4.406.1)

KEYNOTES

X.XX KEYNOTE DESIGNATION



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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216 IRIS AVE, GOLETA, CA, 93117

No.	Date	Description

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KS

PROPOSED FLOOR PLAN

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GENERAL NOTES - ROOF PLAN

1. CLASS 'A' RATED HEAVY COMPOSITION SHINGLE BY CERTAINTEED "PRESIDENTIAL SERIES" , OVER 15# FELT & MEMBRANE W/ ROOFS OF 2:12 PITCH OR LESS

2. ALL ROOF EDGES TO HAVE G.I. DRIP EDGE, PAINTED TO MATCH ADJOINING SURFACES.

3. ALL ROOF TO WALL CONNECTIONS TO RECEIVE 26 GA. G.I. FLASHING, PAINTED TO MATCH ADJOINING SURFACES.

4. 2ND LEVEL DECK ROOF TAKE TO HAVE G.I. DRIP EDGE, LAP OVER 3/4" MIN. ONTO T&G RAKE BARGE, PAINTED TO MATCH ADJOINING SURFACES.

5. ALL EXPOSED CRICKETS & SADDLES TO BE 26 GA. G.I., PAINT TO MATCH ADJOINING SURFACES.

6. VALLEY FLASHING TO BE 36" WIDE 26 GA. G.I. FLASHING RUN 18" ONTO EACH ROOF PLANE, OVER 36" MIN. WIDE UNDERLAYMENT CONSISTING OF 1-LAYER OF 72# MINERAL SURFACE NON-PERFORATED CAP SHEEP COMPLYING W/ ASTM D3909 RUNNING THE ENTIRE LENGTH OF THE VALLEY, INSTALLED OVER THE COMBUSTIBLE DECKING PER CRC R327.5.3, AND PAINTED TO MATCH ADJOINING SURFACES

7. OVERHANG SIZE AS NOTED ON PLAN.

8. ROOF PITCH AS INDICATED ON PLAN

9. GUTTER GUARDS ARE TO BE PROVIDED AT ALL ROOF GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS PER CRC SECTION R327.

10. COORDINATE LOCATION OF ALL VENT RISERS WITH ARCHITECT.

11. COORDINATE ALL REQUIRED ROOF PENETRATIONS AND LOCATIONS WITH ARCHITECT.

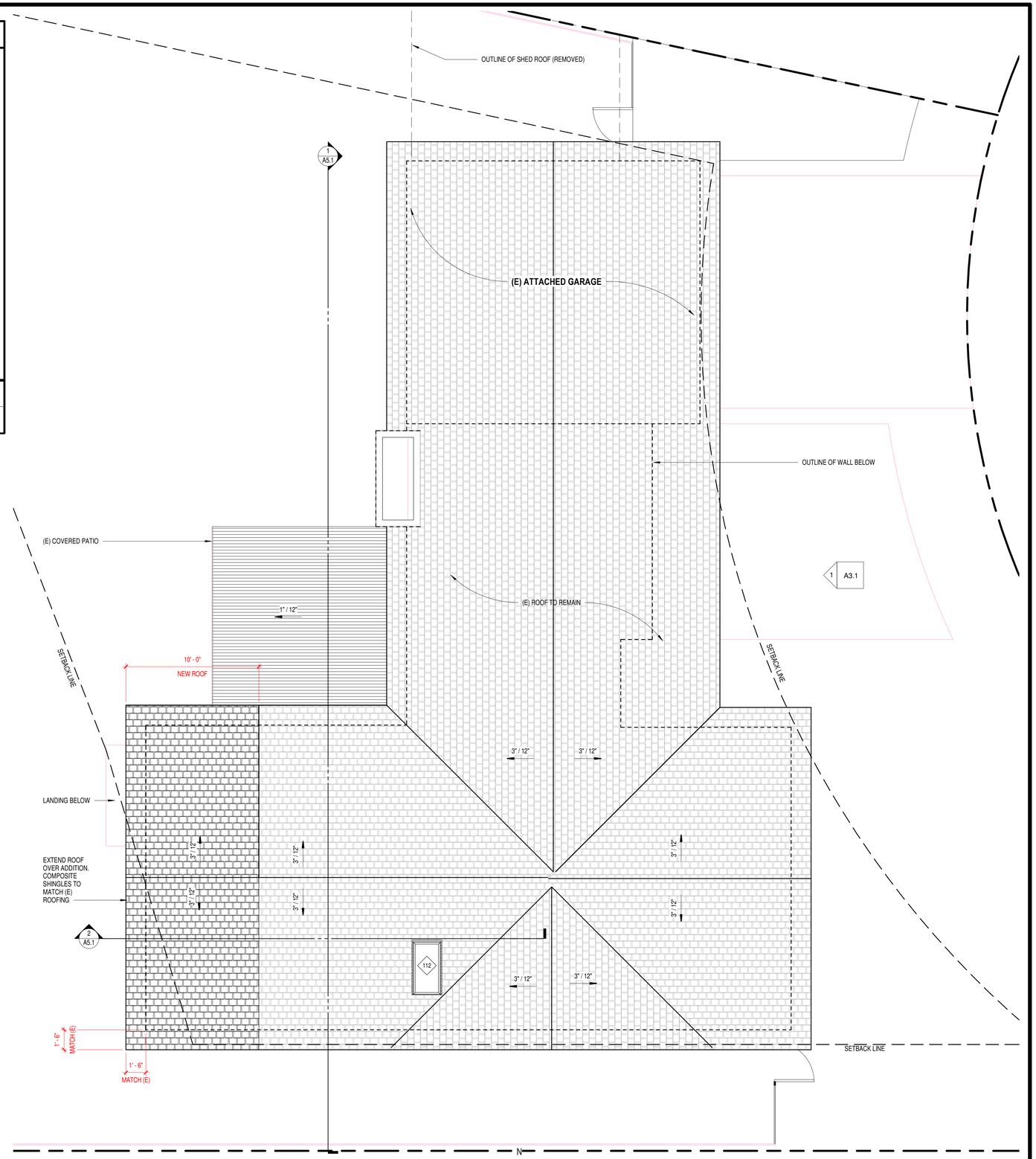
12. ROOF DRAINS AND OVERFLOW DRAINS, WHERE CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT PLUMBING CODE REQUIREMENTS AND 2013 CBC SECTION 506.4.

13. NO ENCLOSED ATTIC SPACE PROVIDED, ICYNENE INSULATION APPLIED TO UNDERSIDE OF ROOF SHEATHING.

14. ALL ROOFING INSTALLATIONS SHALL BE CONSTRUCTED PER MANUFACTURER'S RECOMMENDATIONS TO RECEIVE MANUFACTURER'S INSTALLATION WARRANTY.

KEYNOTES

X.XX KEYNOTE DESIGNATION



EXISTING / PROPOSED ROOF PLAN 1

SCALE: 1/4" = 1'-0"

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7/13/2020 1:04:56 PM

CLIENT

SHARI POWELL

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EXISTING / PROPOSED ROOF PLAN

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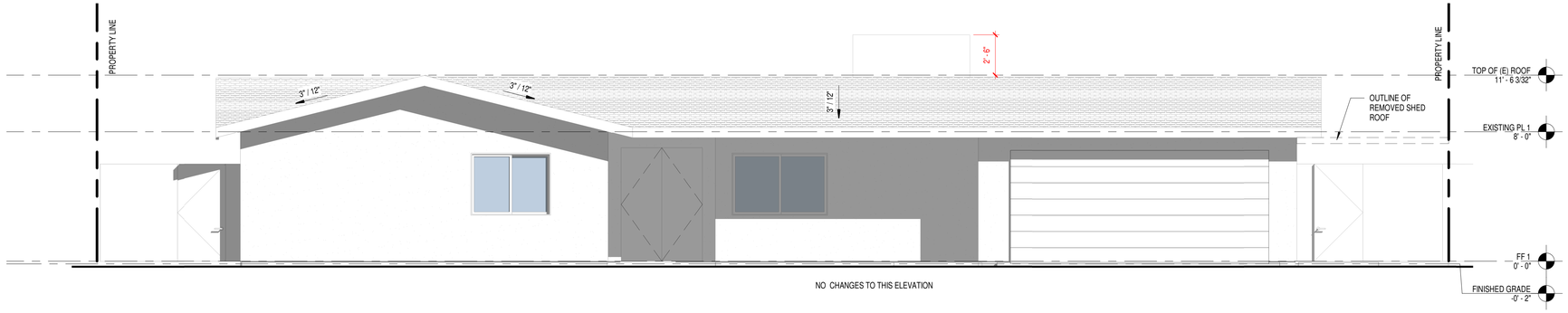
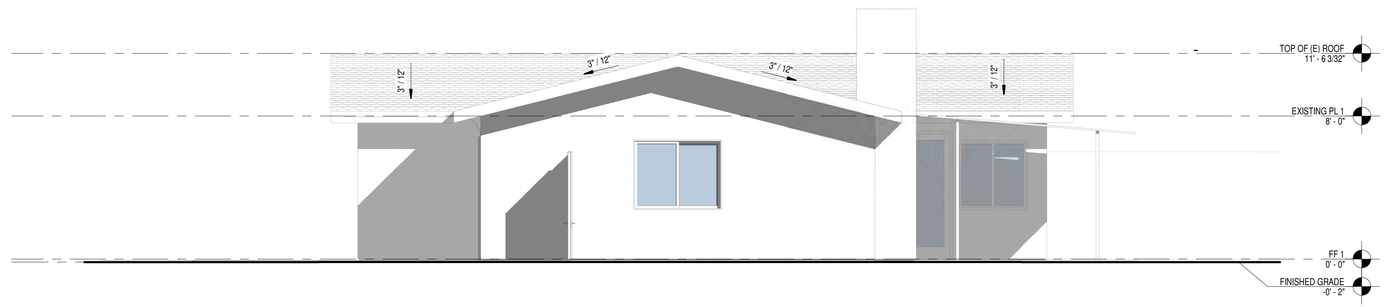


EAST ELEVATION 1
SCALE: 1/4" = 1'-0"



NORTH ELEVATION 4
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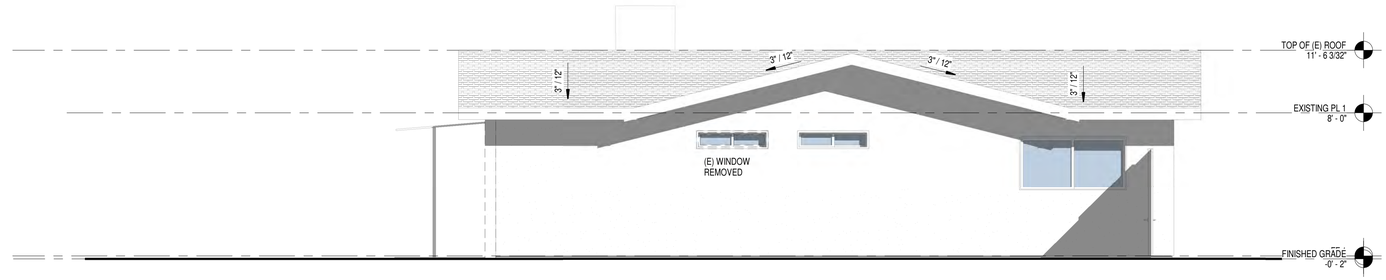
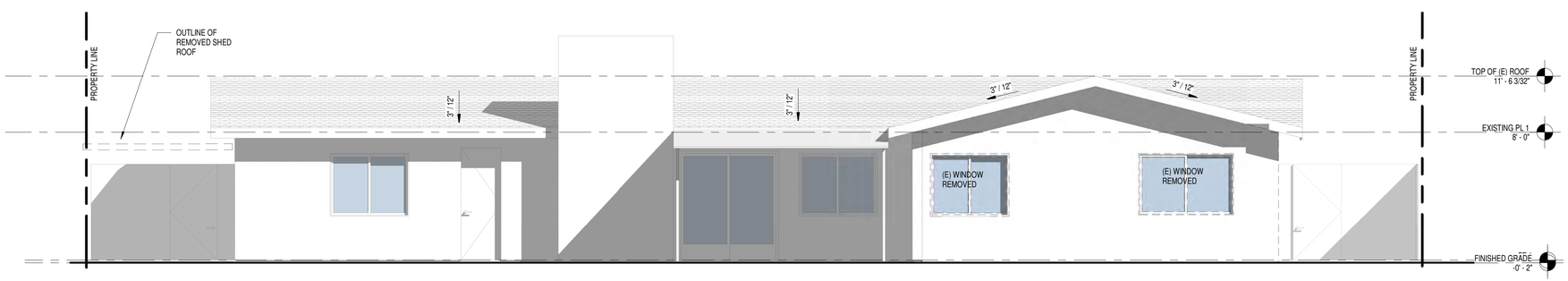


SOUTH ELEVATION 2
SCALE: 1/4" = 1'-0"



WEST ELEVATION 3
SCALE: 1/4" = 1'-0"

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Author

EXISTING EXTERIOR ELEVATIONS

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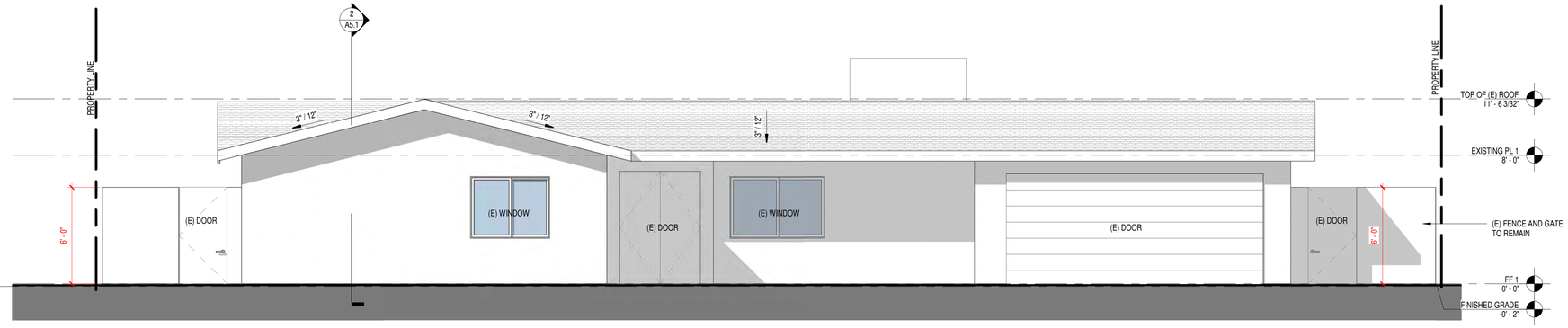
EXTERIOR FINISH & MATERIAL INDEX

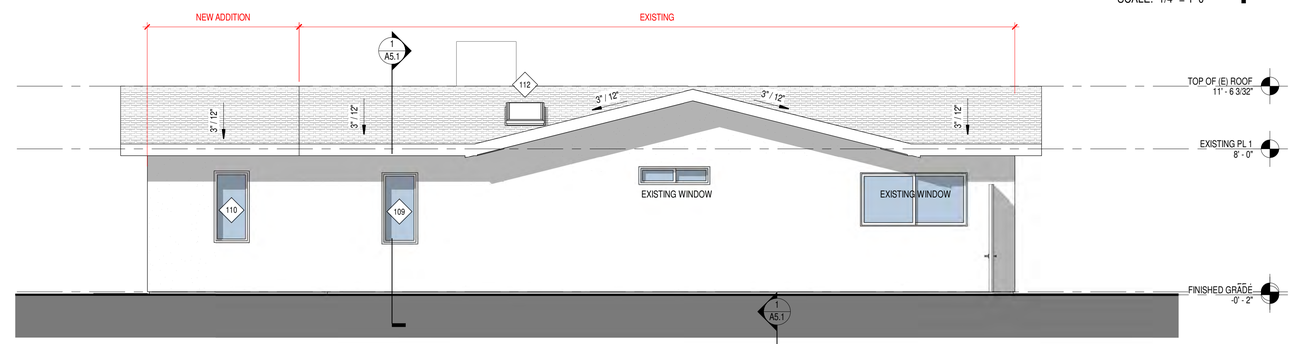
TAG	DESCRIPTION
EX-01	ROOFING: ROOFING: CERTAINTEED PRESIDENTIAL SHAKE, COLOR: SHADOW GRAY, 'CLASS A' ICC-ESR# 3537
EX-02	SHINGLE SIDING: HARDIE-SHINGLE: STRAIGHT EDGE PANEL COLOR: GRAY SLATE
EX-03	PAINTED WOOD TRIM: VISTA PAINT, COLOR: WHITE - "PRISMATIC PEARL" 0025
EX-04	ALUMINUM GUTTER AND DOWNSPOUT, COLOR: BRONZE
EX-05	PAINTED WOOD GUARDRAIL: VISTA PAINT, COLOR: WHITE - "PRISMATIC PEARL" 0025

KEYNOTES

X.XX KEYNOTE DESIGNATION



PROPOSED EAST ELEVATION 1
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION 2
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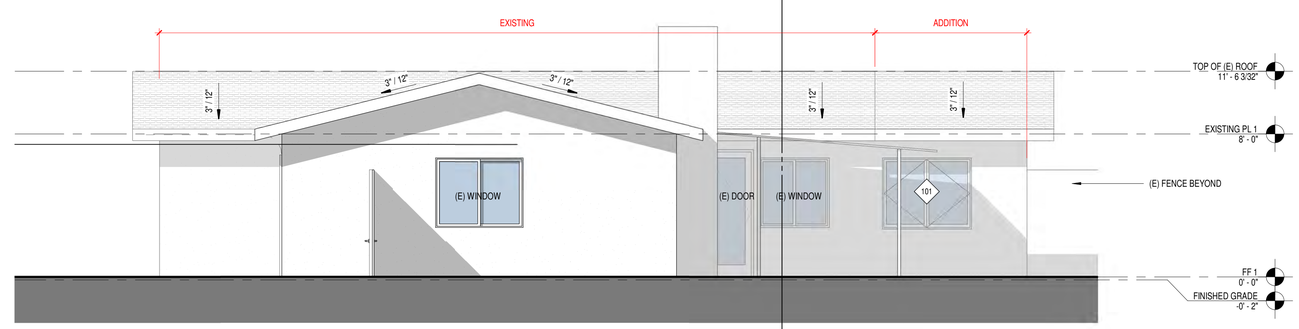

PROPOSED NORTH ELEVATION 4
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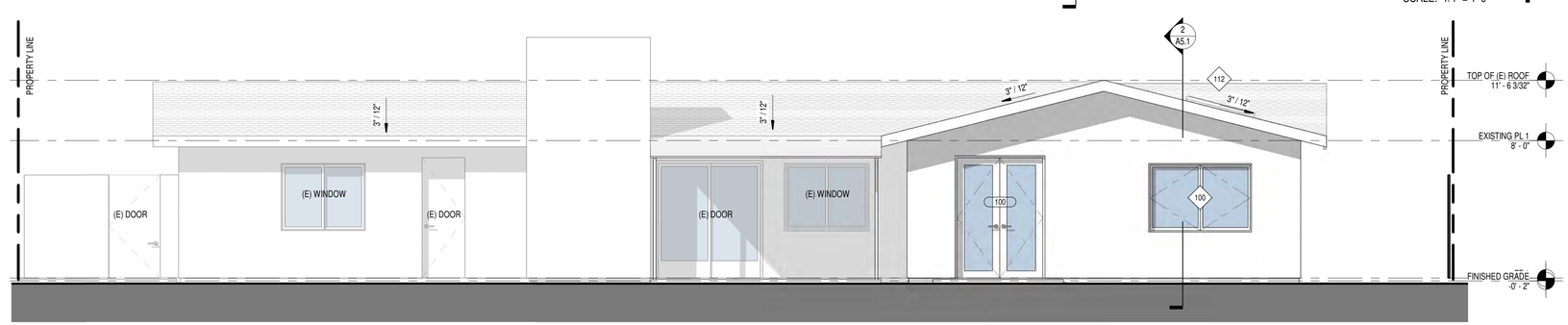

PROPOSED WEST ELEVATION 3
SCALE: 1/4" = 1'-0"

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PROPOSED EXTERIOR ELEVATIONS

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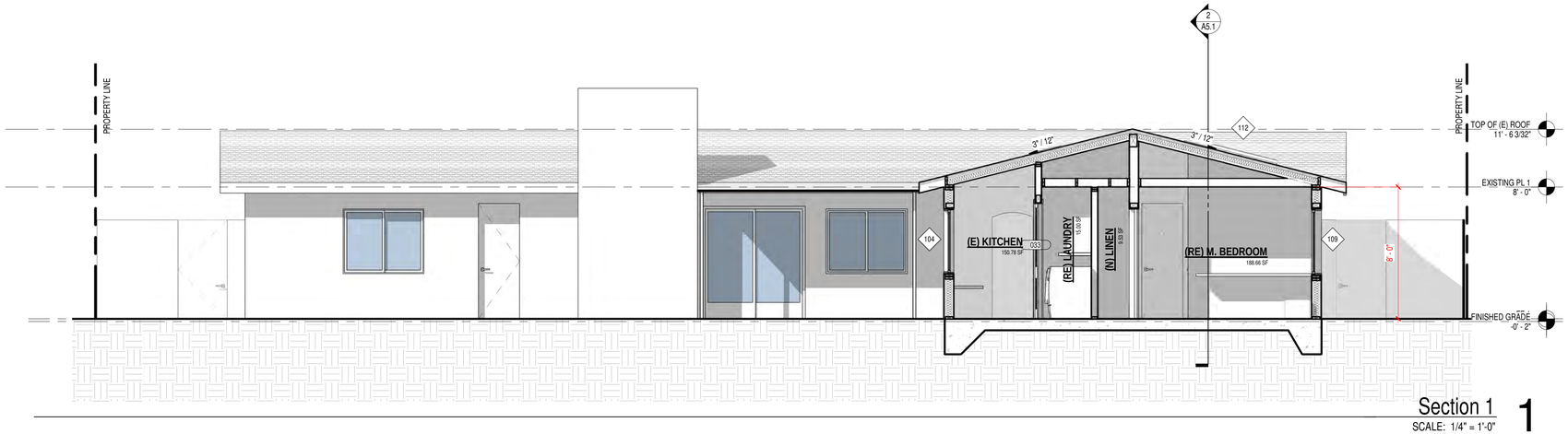

Section 1 1

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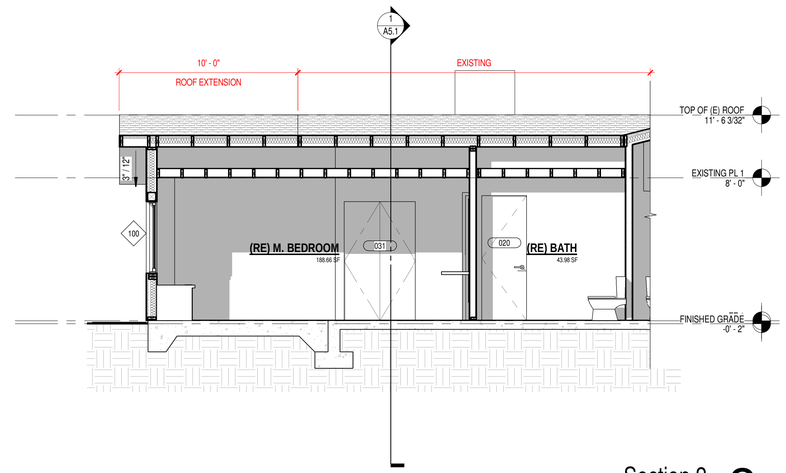
KEYNOTES

X.XX	KEYNOTE DESIGNATION



Section 2 2

SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

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DOOR/WINDOW ABBREVIATIONS

ALUM =	ALUMINUM	P =	PAINT
BF =	BI-FOLD	PH =	PANIC HARDWARE
CL =	CLOSET	PR =	PAIR
GL =	GLASS	PF =	PRE-FINISHED
HCW =	HOLLOW CORE WOOD	RM =	REMOVABLE MULLION
HM =	HOLLOW METAL	RO =	ROUGH OPENING
CF =	CLEAR FINISH	SCW =	SOLID CORE WOOD
CP =	COPPER	STL =	STEEL
CSMT =	CASEMENT	T -	TEMPERED
FA =	FACTORY	TR =	TERRACE
FX =	FIXED	VGDF =	VERTICAL GRAIN DOUGLAS
HDG =	HDG	WD =	FIR
LG =	LAMINATED GLASS	SS =	WOOD
MANUF. =	MANUFACTURED	ST=	SMOKE SEAL
CLR.ANNOD. =	CLEAR ANNODIZED	§ =	STAIN SECURITY PROVISIONS APPLY

GENERAL NOTES - DOORS

1. REFER TO PLAN DRAWINGS FOR DOOR SWING.

2. ALL GLAZING IN DOORS TO BE TEMPERED.

3. FIELD VERIFY ALL CONDITIONS FOR PLACEMENT, SIZE, AND DETAILS.

4. PER CBC 2013, SECTION 2406, ALL GLAZING IN STALLED IN HAZARDOUS LOCATIONS TO BE SAFETY GLASS

5. UNDERCUT DOOR FOR MINIMUM CLEARANCE ABOVE FLOOR FINISH.

6. PROVIDE DOOR SCHEDULE SHOP DRAWINGS AND HARDWARE SPECIFICATIONS FOR ARCHITECT'S APPROVAL.

7. A ONE HOUR OCCUPANCY SEPARATION OCCURS BETWEEN THE HOUSE & GARAGE, DOORS TO BE (1) HOUR RATED PER CBC - SEC. 302.2, 302.4.3.

GENERAL NOTES - WINDOWS

1. SIZES ARE NOMINAL. ALL OPENINGS SHALL BE FIELD MEASURE AND VERIFIED WITH SHOP DRAWINGS PRIOR TO FABRICATION.

2. ALL GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE TEMPERED PER CBC 2406.3.5. ALL GLAZING, OPERABLE OR INOPERABLE, ADJACENT TO A DOOR IN ALL BUILDINGS AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE TEMPERED PER CBC SEC. 2406.3.
6. GLAZING IN FIXED PANELS OTHER THAN THOSE COVERED BY ITEMS 5 & 6 WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING SHALL BE TEMPERED PER CBC SEC. 2406.3 7. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE SHALL BE TEMPERED PER CBC 2406.3.10. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF THE STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD SHALL BE TEMPERED PER CBC SECTION 2406.3.11.

3. SEE DETAILS FOR INSTALLATION DETAILS.

4. CONTRACTOR TO VERIFY WALL THICKNESS & COORDINATE JAMB WIDTH ACCORDINGLY.

5. PER CBC CODES 2013, SECTION 2406, ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLASS. THE SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING SHALL BE PER CBC 2013, 2406.3, 1-11.

6. FIELD VERIFY ALL WINDOW DIMENSION ROUGH OPENINGS. VERIFY DIMENSIONS WITH HEAD, JAMB, SILL & DETAILS.

7. ALL GLAZING SHALL BE SPECIFIED TO MATCH REQUIREMENTS OF ATTACHED TITLE 24 CALCULATIONS SHEET

8. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOM(S) BELOW THE FOURTH STORY ABOVE GROUND PLANE. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 sq. ft.. MIN NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR. MIN NET WINDOW OPENING WIDTH, 20" CLEAR. FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR. PER CBC 1026.

GENERAL NOTES - DOOR HARDWARE

1. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL REQUIRED BUCK ASSEMBLIES AS SHOWN ON ARCHITECTS DRAWINGS, U.N.O.

2. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL DOORS AS SPECIFIED ON ARCHITECTURAL DRAWINGS, U.N.O.

3. ALL LOCKSETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO TENANT PROPERLY TESTED AND/OR TAGGED. THE NUMBER OF MASTER AND PASS KEYS SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

4. CONTRACTOR SHALL SUBMIT A DETAILED HARDWARE LIST WHICH INDICATES THE QUANTITIES, TYPES, MANUFACTURERS, CATALOG NUMBERS AND LOCATIONS OF THE VARIOUS ARTICLES OF HARDWARE REQUIRED. HARDWARE LIST SHALL BE SUBMITTED NO LATER THAN (30) DAYS BEFORE THE DATE THE SUPPLIER MUST PLACE THE ORDER WITH THE MANUFACTURERS IN ORDER TO MEET THE PROJECT SCHEDULE. REVIEW OF THE HARDWARE LIST BY ARCHITECT SHALL NOT BE CONSTRUED AS CERTIFYING THAT THE LIST IS COMPLETE AND DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.

5. EACH ARTICLE OF HARDWARE SHALL BE INDIVIDUALLY PACKAGED IN ITS MANUFACTURERS CONTAINER; PROPERLY MARKED OR LABELED IN CONFORMITY WITH THE APPROVED HARDWARE LIST.

6. ALL HARDWARE APPLIED TO METAL DOORS OR JAMBS SHALL BE MADE TO TEMPLATE AND SHALL BE SECURED BY MACHINE SCREWS.

7. FURNISH TWO BUTT HINGES FOR DOORS UP TO 5 FT. HIGH AND ONE ADDITIONAL BUTT FOR EACH 2 1/2 FT.

8. CONTRACTOR SHALL FURNISH STANDARD STRIKE PLATES WITH EXTENDED LIPS WHERE REQUIRED TO PROTECT TRIM FROM BEING MARRED OR DAMAGED BY THE LATCH BOLT.

9. CONTRACTOR SHALL PROVIDE DUST COVERS AT ALL STRIKE PLATES.

10. HARDWARE SUPPLIER SHALL PROVIDE GRANDMASTER KEY MASTER KEY, KEY-ALIKE AND/OR KEY-DIFFERENT ALL LOCKS IN ACCORDANCE WITH KEYING SCHEDULE PROVIDED BY THE TENANT.

11. ALL FASTENERS SHALL MATCH THE HARDWARE MATERIAL AND FINISH.

12. THE ATTACHED HARDWARE SCHEDULE IS INTENDED TO COVER ALL DOORS IN THE PROJECT AND ESTABLISH A TYPE AND STANDARD OF QUALITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COMPLETE AND OPERATIONAL SYSTEM OF DOOR FINISH HARDWARE ITEMS, ENCOMPASSING ALL OPENINGS WITHIN THE PROJECT AREA.

13. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED NOT LESS THAN 30" NOR MORE THAN 44" HIGH AND SHALL BE OPERABLE WITH A SINGLE EFFORT NOT REQUIRING GRASPING OF THE OPENING HARDWARE.

14. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL TO THE COMMERCIAL SPACES OF THIS PROJECT SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATED BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.

15. CLOSERS, WHERE REQUIRED, SHALL HAVE AN OPENING FORCE NOT EXCEEDING 5 LBS FOR EXTERIOR DOORS AND INTERIOR DOORS WITH THE EXCEPTION OF FIRE-RATED DOORS WHICH MAY NOT EXCEED 15 LBS.

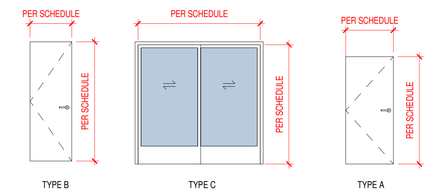
16. THRESHOLDS SHALL NOT BE GREATER THAN 1/2" IN TOTAL HEIGHT WITH THE LEADING EDGES REVEALED OR SLOPED AT AN ANGLE NOT EXCEEDING 45 DEGREES SO THAT NO SINGLE VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4".

17. THE BOTTOM 10" OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE. NARROW FRAME DOORS SHALL BE EQUIPPED WITH A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF THE DOOR.

18. REFER TO GENERAL NOTES AND RESPECTIVE DOOR SCHEDULE SHEETS FOR ADDITIONAL NOTES ON DOORS, FRAMES AND HARDWARE.

DOOR AND FRAME SCHEDULE

NUMBER	TYPE MARK	Head Height	WIDTH	HEIGHT	THICKNESS	COMMENTS	EXISTING / NEW
FINISHED GRADE							
028	G	7' - 0"	16' - 0"	7' - 0"	1 1/2"	GARAGE DOOR	Existing
FINISHED GRADE: 1							
FF 1							
008	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
009	A	7' - 0"	2' - 6"	7' - 0"	1 3/8"		Existing
010	A	7' - 0"	2' - 6"	7' - 0"	1 3/8"		Existing
011	A	7' - 0"	2' - 6"	7' - 0"	1 3/8"		Existing
012	B	7' - 0"	8' - 0"	7' - 0"	1 3/8"		Existing
015	O	8' - 0"	2' - 6"	8' - 0"	0"		Existing
016	O	8' - 0"	2' - 6"	8' - 0"	0"		Existing
017	B	7' - 0"	4' - 0"	7' - 0"	2"		Existing
018	B	6' - 8"	6' - 0"	6' - 8"	2"		Existing
020	A	7' - 0"	2' - 6"	7' - 0"	1 3/8"		New Construction
023	P	6' - 8"	3' - 0"	6' - 8"	2"		New Construction
024	A	7' - 0"	2' - 8"	7' - 0"	1 1/2"		Existing
025	A	7' - 0"	5' - 0"	7' - 0"	1 1/2"		Existing
026	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
027	B	6' - 8"	5' - 11"	6' - 8"	1 3/8"		Existing
029	A	7' - 0"	2' - 6"	7' - 0"	1 3/8"		Existing
030	H	6' - 5"	2' - 0"	6' - 5"	1/2"		New Construction
031	A	6' - 8"	4' - 0"	6' - 8"	2"		New Construction
033	BF	7' - 0"	4' - 0"	7' - 0"	1 1/2"		New Construction
035	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
036	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
037	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
038	A	7' - 0"	2' - 0"	7' - 0"	1 3/8"		Existing
039	A	6' - 0"	3' - 0"	6' - 0"	2"	GATE	Existing
040	A	6' - 0"	3' - 0"	6' - 0"	2"	GATE	Existing
100	C	7' - 0"	5' - 0"	7' - 0"	1 1/2"		New Construction
FF 1: 26							
Grand total: 27							

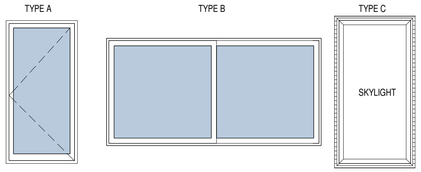


DOOR TYPE LEGEND

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

MARK	TYPE MARK	R.O. WIDTH	R.O. HEIGHT	HEAD HEIGHT	EXISTING / NEW	COMMENTS
100	B	6' - 0"	4' - 0"	6' - 8"	New Construction	
101	B	5' - 0"	4' - 0"	6' - 8"	New Construction	
102	B	4' - 11"	3' - 10"	6' - 8"	Existing	
103	E	6' - 0"	3' - 0"	6' - 8"	Existing	
104	B	3' - 11"	3' - 11"	6' - 8"	Existing	
105	B	5' - 11"	3' - 10"	6' - 8"	Existing	
106	B	4' - 11"	3' - 11"	6' - 8"	Existing	
107	B	4' - 11"	3' - 11"	6' - 8"	Existing	
108	B	4' - 11"	3' - 11"	6' - 8"	Existing	
109	A	2' - 0"	4' - 0"	6' - 8"	New Construction	
110	A	2' - 0"	4' - 0"	6' - 9"	New Construction	EGRESS
111	B	4' - 0"	1' - 0"	7' - 0"	Existing	
112	C	2' - 0"	4' - 0"		New Construction	SKYLIGHT
Grand total: 13						



WINDOW TYPE LEGEND

SCALE: 1/2" = 1'-0"

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PROJECT CONTACT: KATE SVENSSON
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CLIENT

SHARI POWELL

216 IRIS AVE, GOLETA, CA, 93117

ADDITION TO SINGLE FAMILY RESIDENCE

216 IRIS AVE, GOLETA, CA, 93117

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the designer in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the designer prior to the client or clients subcontractors proceeding with the work.

TG

DOOR - WINDOW SCHEDULE

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